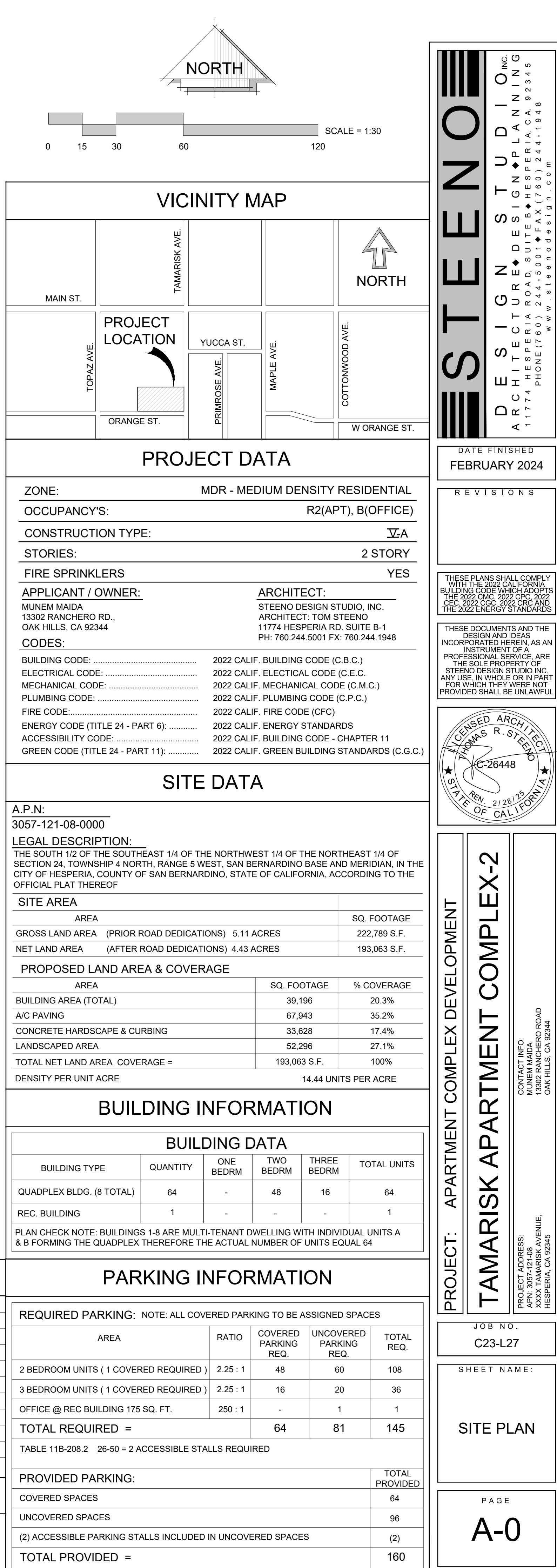
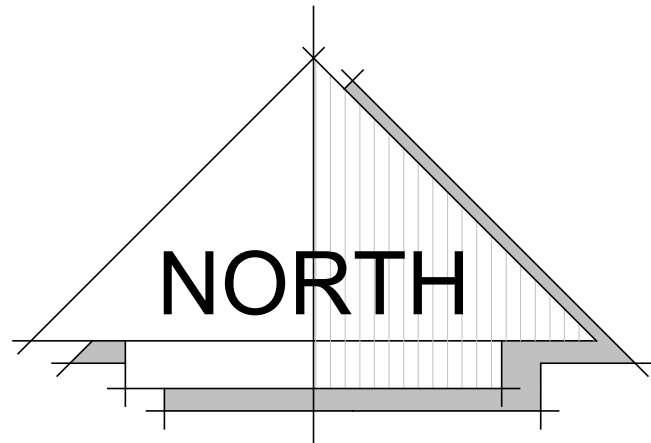


Appendix G

Project Plans

Steenno Designs







CLUB HOUSE

TAMARISK APARTMENT COMPLEX

AREA TABULATION		
RECREATION ROOM	=	716 SQ.FT.
OFFICE	=	175 SQ.FT.
LOBBY	=	141 SQ. FT.
STORAGE	=	186 SQ. FT.
A.R.R. 1	=	67 SQ. FT.
A.R.R. 2	=	65 SQ.FT.
A.R.R. 3	=	68 SQ.FT.
HALLWAY	=	66 SQ.FT.
JANITOR CLOSET	=	16 SQ.FT.
TOTAL BUILDING	=	1,500 SQ. FT.
COVERED PATIO	=	2,064 SQ. FT.
GROSS BLDG.	=	3,564 SQ.FT.

	
DATE FINISHED	FEBRUARY 2024
THESE PLANS SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE WHICH ADOPTS THE 2022 CMC 2022 CBC 2022 CCS 2022 CECS 2022 EBCS AND THE 2022 ENERGY STANDARDS	
THESE DOCUMENTS AND THE DESIGN AND IDEAS INCORPORATED HEREIN AS AN INSTRUMENT OF A PROFESSIONAL SERVICE ARE THE SOLE PROPERTY OF STEENO DESIGN STUDIO INC. ANY USE IN WHOLE OR IN PART FOR WHICH THEY WERE NOT PROVIDED SHALL BE UNLAWFUL	
	
PROJECT:	APARTMENT COMPLEX DEVELOPMENT
TAMARISK APARTMENT COMPLEX-2	
PROJECT ADDRESS:	MUNEM MAIDA 13307 RANCHOERO ROAD HESPERIA, CA 92345
CONTACT INFO:	TAMARIK@AEDSG.COM GUILDS.AEDSG.COM
JOB NO. C23-L27	
SHEET NAME: FLOOR PLAN	
PAGE A-1.1	

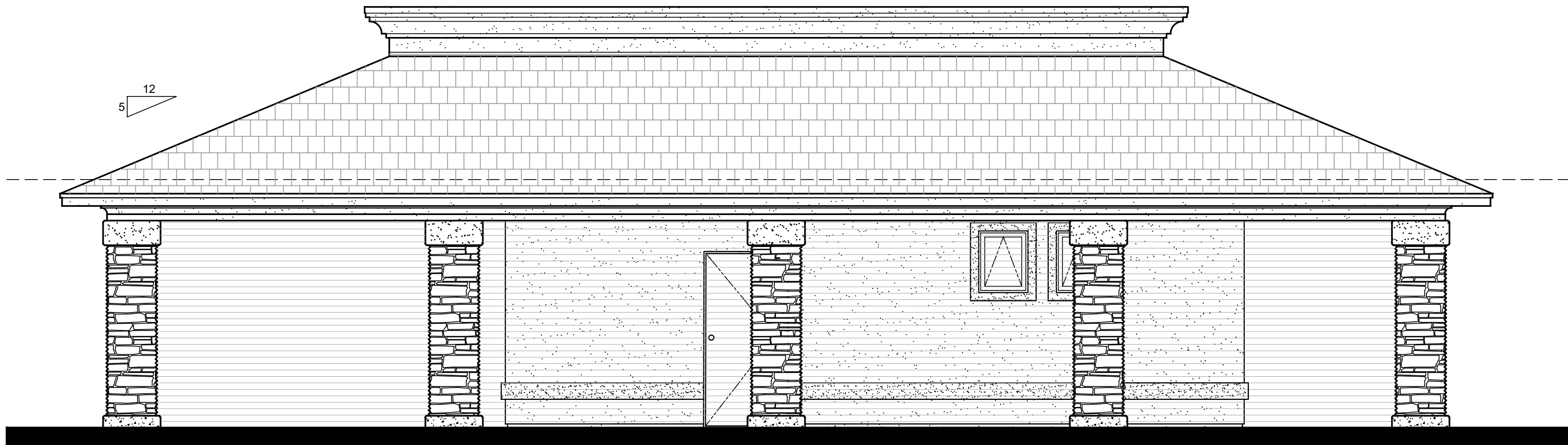


NOTE:
SEE COLOR BOARD FOR COLOR
PALETTE & MATERIALS.

FRONT -SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



REAR -NORTH ELEVATION
SCALE: 1/4" = 1'-0"



LEFT - WEST ELEVATION
SCALE: 1/4" = 1'-0"



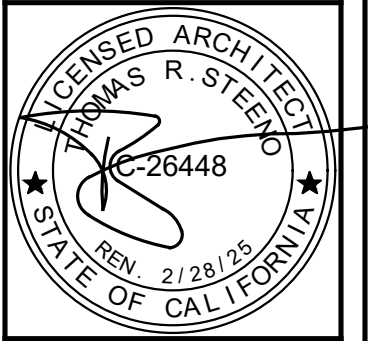
RIGHT - EAST ELEVATION
SCALE: 1/4" = 1'-0"

DATE FINISHED
FEBRUARY 2024

REVISIONS
JULY 2024

THESE PLANS SHALL COMPLY
WITH THE 2022 CALIFORNIA
BUILDING CODE WHICH ADOPTS
THE 2022 CBC, 2022 CBC 2005
COR., 2022 COR., 2022 CBC AND
THE 2022 ENERGY STANDARDS

THESE DOCUMENTS AND THE
DESIGN AND IDEAS
INCORPORATED HEREIN AS AN
INSTRUMENT OF A
PROFESSIONAL SERVICE ARE
THE SOLE PROPERTY OF
STEENO DESIGN STUDIO INC.
ANY USE, IN WHOLE OR IN PART,
FOR WHICH THEY WERE NOT
PROVIDED SHALL BE UNLAWFUL.

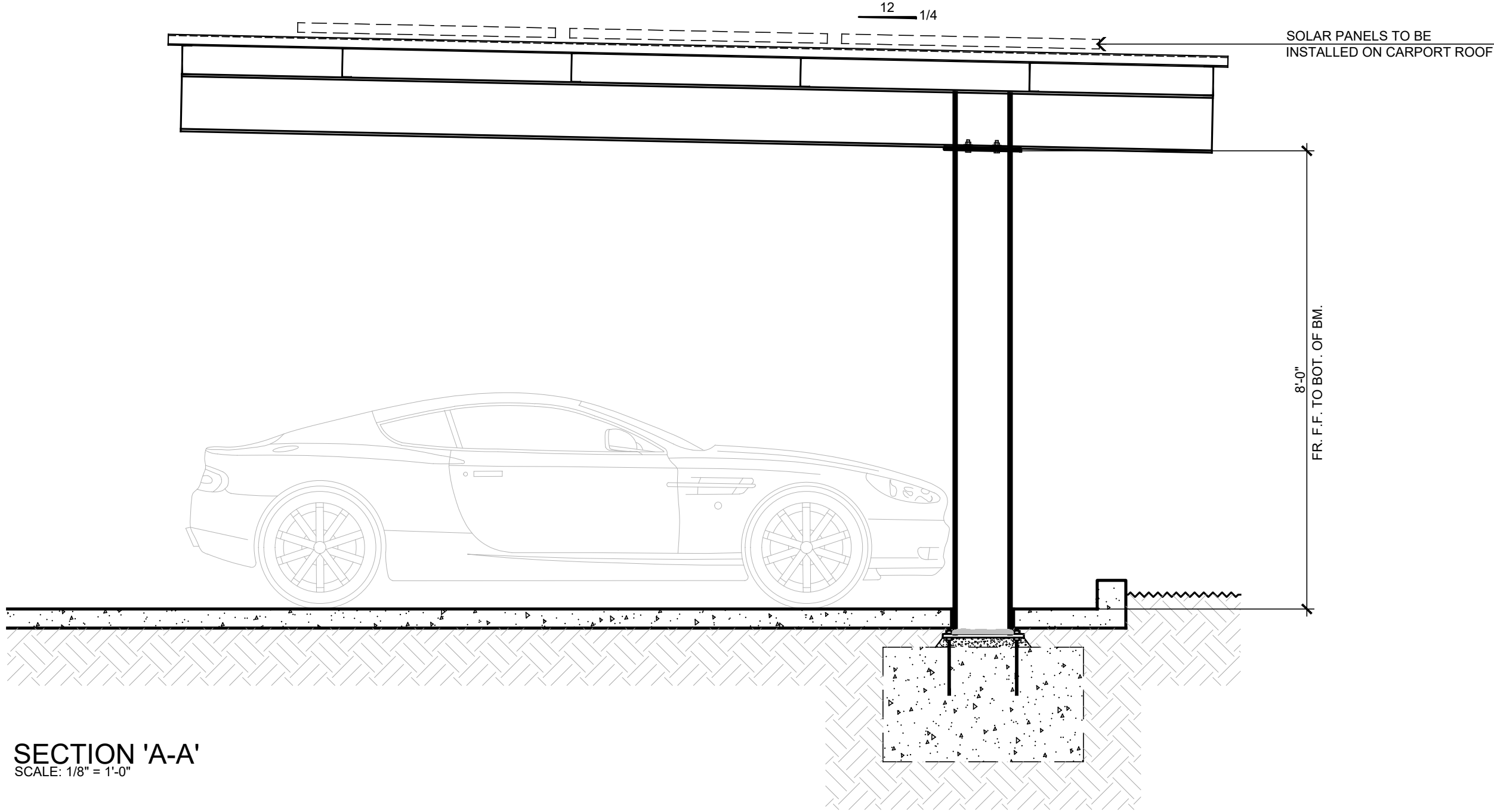
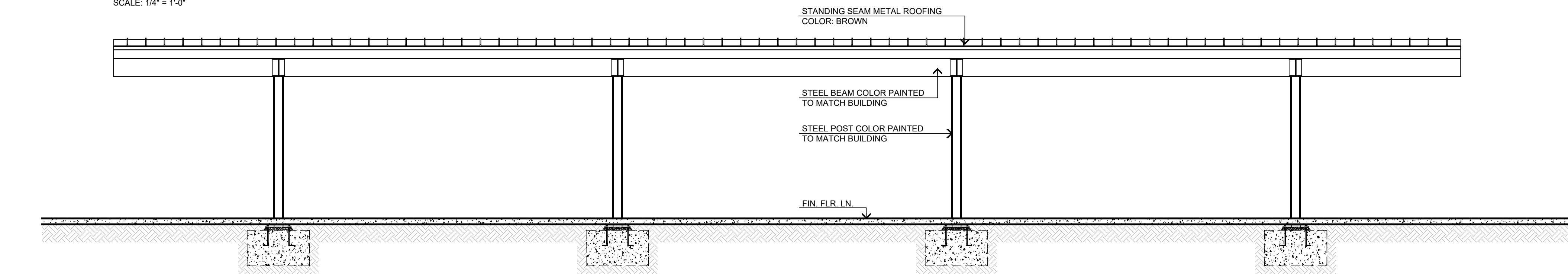
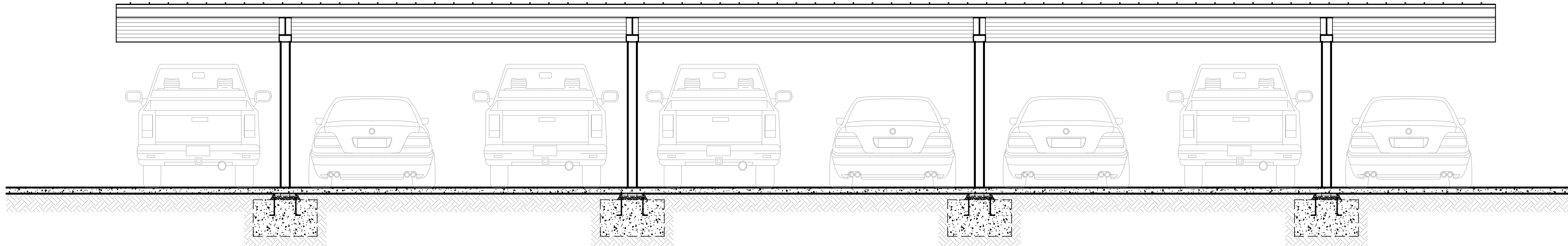
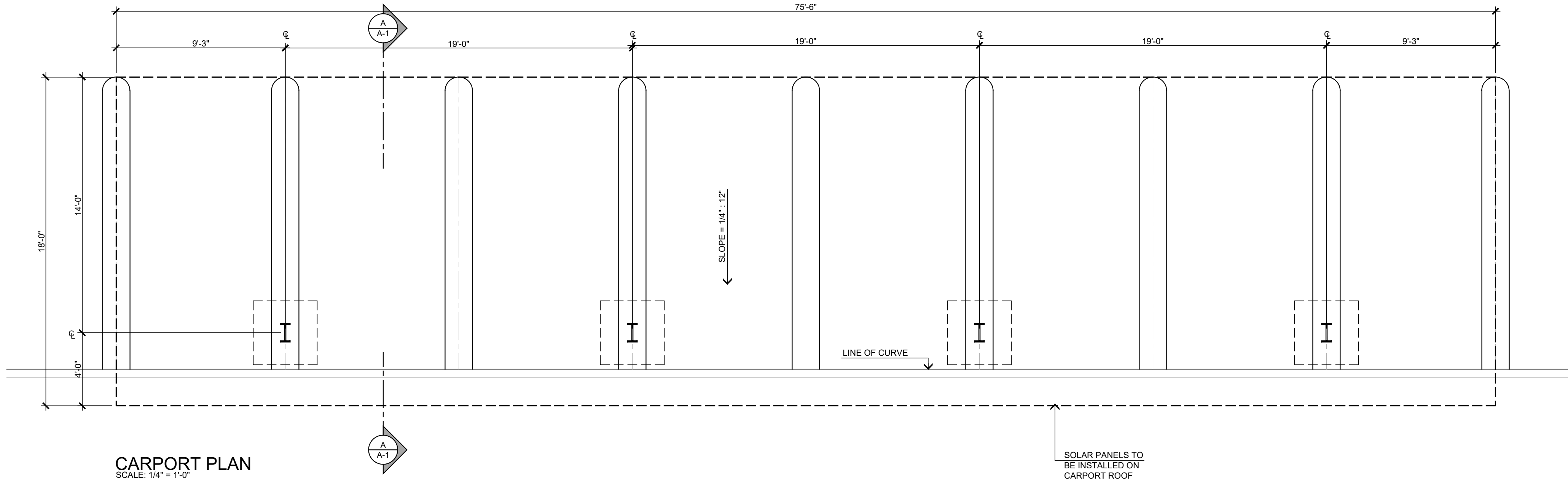


PROJECT: APARTMENT COMPLEX DEVELOPMENT
TAMARISK APARTMENT COMPLEX-2
CONTACT INFO:
13302 RANCHERO ROAD
OAK HILLS, CA 92344
PROJECT ADDRESS:
XXXX TAMARISK AVENUE,
HESPERIA, CA 92345

JOB NO.:
C23-L27

SHEET NAME:
EXTERIOR
ELEVATIONS

PAGE
A-2.1



STEENO

DESIGN STUDIO INC

ARCHITECTURE ♦ DESIGN ♦ PLANNING

11774 HESPERIA ROAD, SUITE B ♦ HESPERIA, CA 92345

PHONE (760) 244-5001 ♦ FAX (760) 244-1948

www.steenodesign.com

DATE FINISHED

FEBRUARY 2024

REVISIONS

JULY 2024

THESE PLANS SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE WHICH ADOPTS THE 2022 CMC, 2022 CBC, 2022 CFC, 2022 CEC, 2022 CFS, 2022 CFA AND THE 2022 ENERGY STANDARDS

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REGISTERED ARCHITECT

THOMAS R. STEENO

C-26448

REV. 2/28/25

STATE OF CALIFORNIA

PROJECT: APARTMENT COMPLEX DEVELOPMENT

TAMARISK APARTMENT COMPLEX-2

CONTACT INFO:
XXXX TAMARISK AVENUE
HESPERIA, CA 92344

PROJECT ADDRESS:
XXXX TAMARISK AVENUE
HESPERIA, CA 92345

JOB NO.:

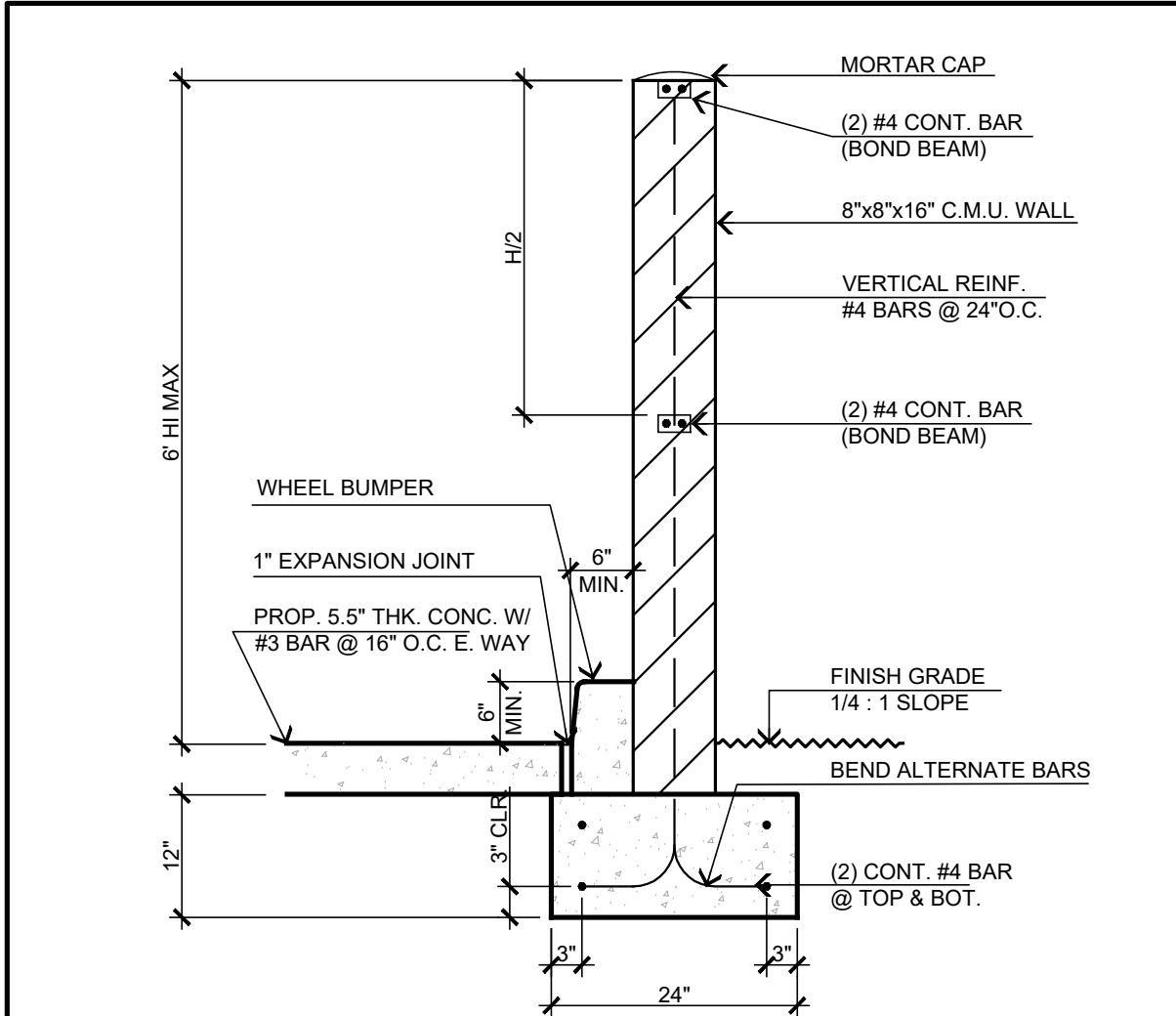
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SHEET NAME:

CARPORT PLAN/
ELEVATIONS

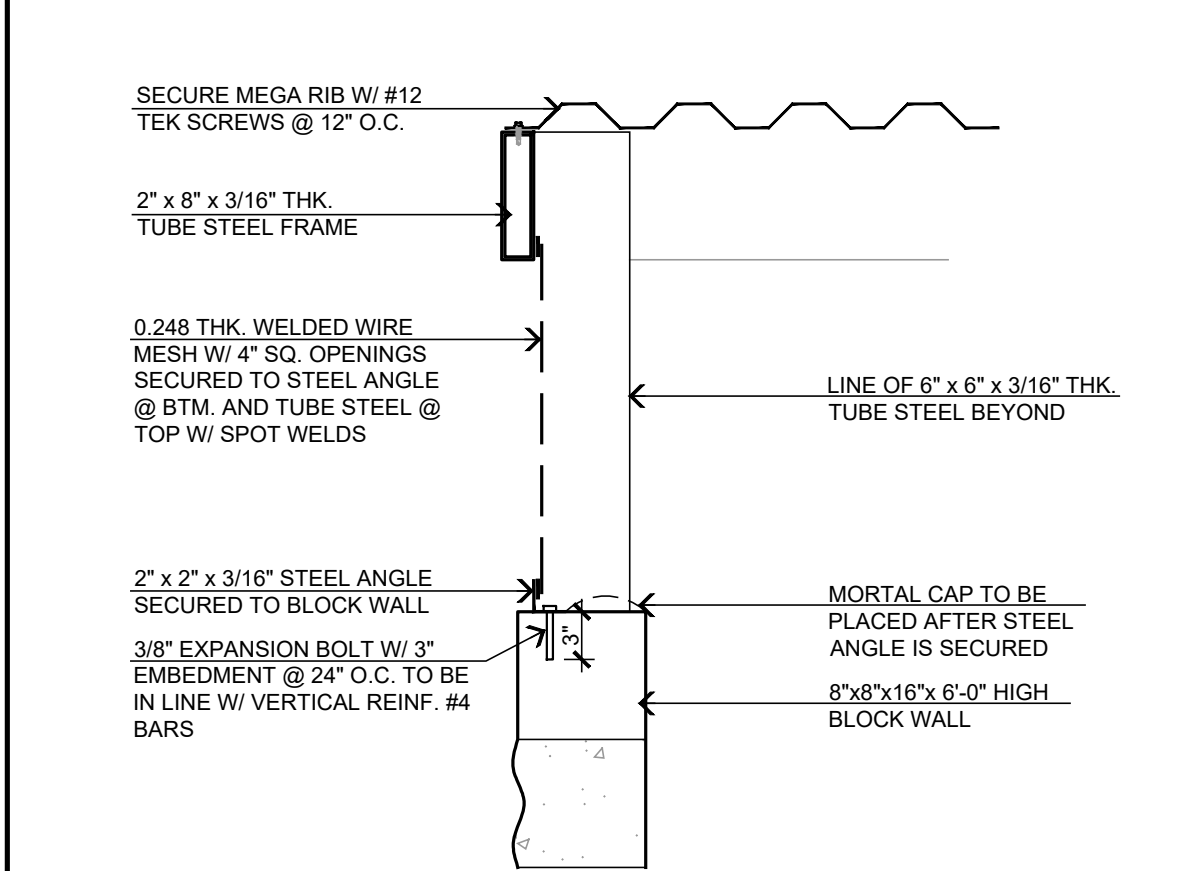
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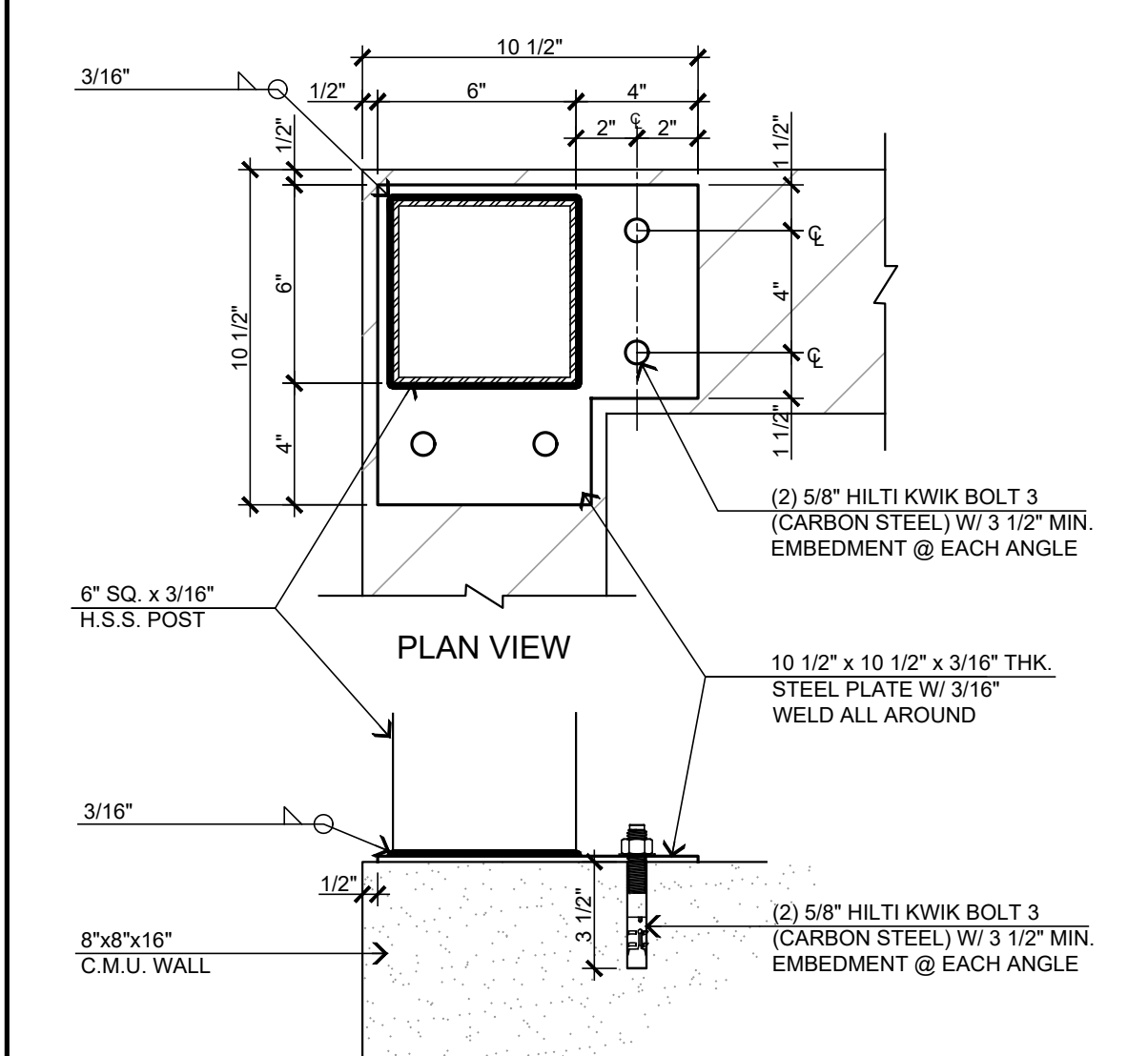


- ALL VERTICAL CELLS CONTAINING REINFORCING STEEL SHALL BE FILLED WITH GROUT. IN ADDITION, WHERE 6" BLOCKS ARE USED ALL CELLS WITHOUT VERTICAL REINFORCING STEEL SHALL BE FILLED WITH GROUT TO TOP OF BOND BEAM AT MIDHEIGHT OF WALL.
- THE BLOCK WALL COURSES AND FOOTINGS MAY BE BUILT PARALLEL WITH THE STREET GRADE (7% MAX.) OR STEPPED.
- ALL WALLS SHALL BE PLUMB.
- BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 90%.
- FOOTING SHALL BE CLASS "B" CONCRETE.
- CONCRETE BLOCK SHALL BE GRADE "A" UNITS CONFORMING TO ASTM DESIGNATION NO C90.
- REINFORCING STEEL, GROUT MORTAR, AND CLASS "B" CONCRETE SHALL CONFORM TO THE STANDARD SPECIFICATIONS.
- ELIMINATE MORTAR IN ALL VERTICAL JOINTS IN FIRST COURSE ABOVE FINISH GRADE.
- 1/2" OPEN JOINTS EXTENDING THROUGH THE ENTIRE HEIGHT OF THE BLOCK WALL, SHALL BE SPACED AT A MAXIMUM OF 50'.
- ELIMINATE MID-HEIGHT BOND BEAM IN WALLS WHERE H = 4' OR LESS.

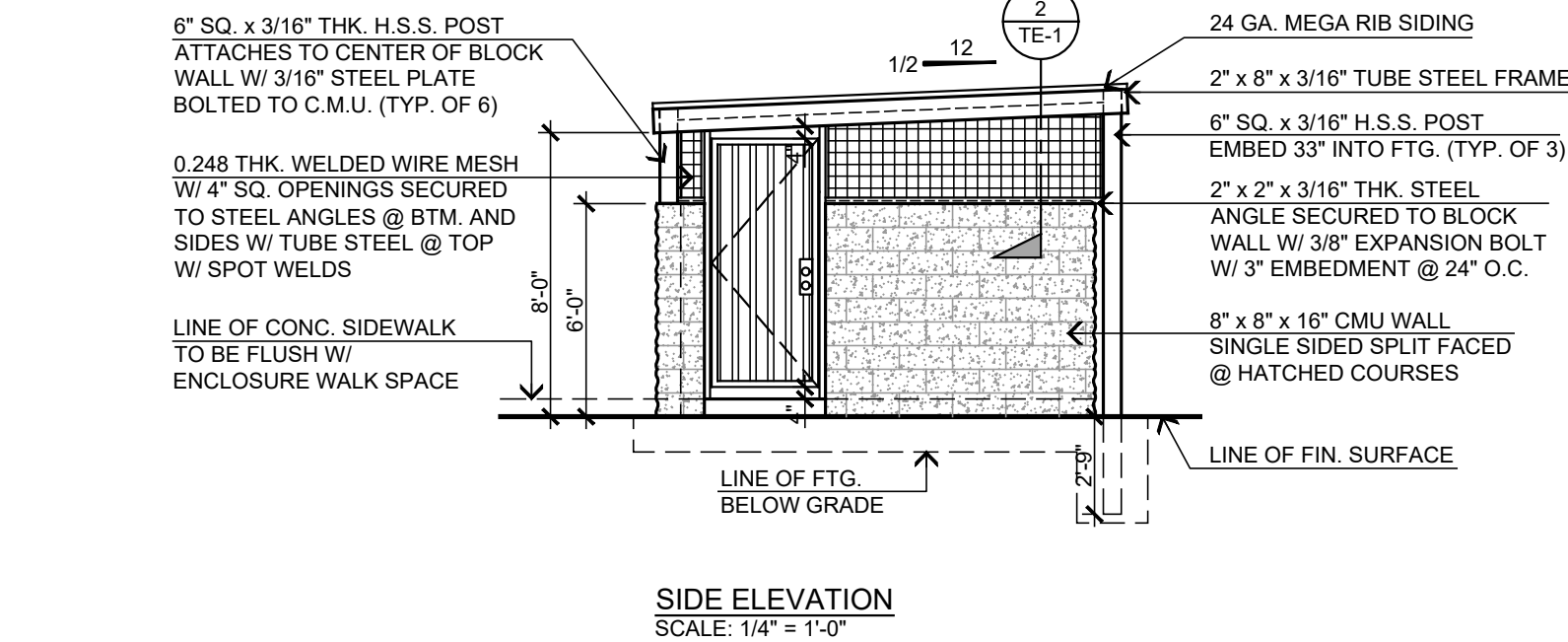
C.M.U. TRASH ENCLOSURE WALL SCALE: NTS 1



WELDED WIRE MESH DETAIL SCALE: 1"=1'-0" 2



POST CONNECTION TO C.M.U. DETAIL SCALE: 2"=1'-0" 3



- MATERIAL SPECIFICATIONS:**
- STEEL/ BOLTS**
- STRUCTURAL STEEL AND MISCELLANEOUS IRON SHALL CONFORM TO ASTM A36.
 - STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36 AND TO AISC SPECIFICATIONS FOR FABRICATION AND ERECTION.
 - ALL STRUCTURAL STEEL PIPE SHALL CONFORM TO ASTM A501.
 - ALL STRUCTURAL STEEL TUBES SHALL CONFORM TO ASTM A500 GRADE B.
 - ALL BOLTS SHALL CONFORM TO ASTM A307 UNLESS NOTED OTHERWISE ON PLANS.
 - ALL STRUCTURAL STEEL EXPOSED TO WEATHER SHALL BE HOP-DIP GALVANIZED AFTER FABRICATION.

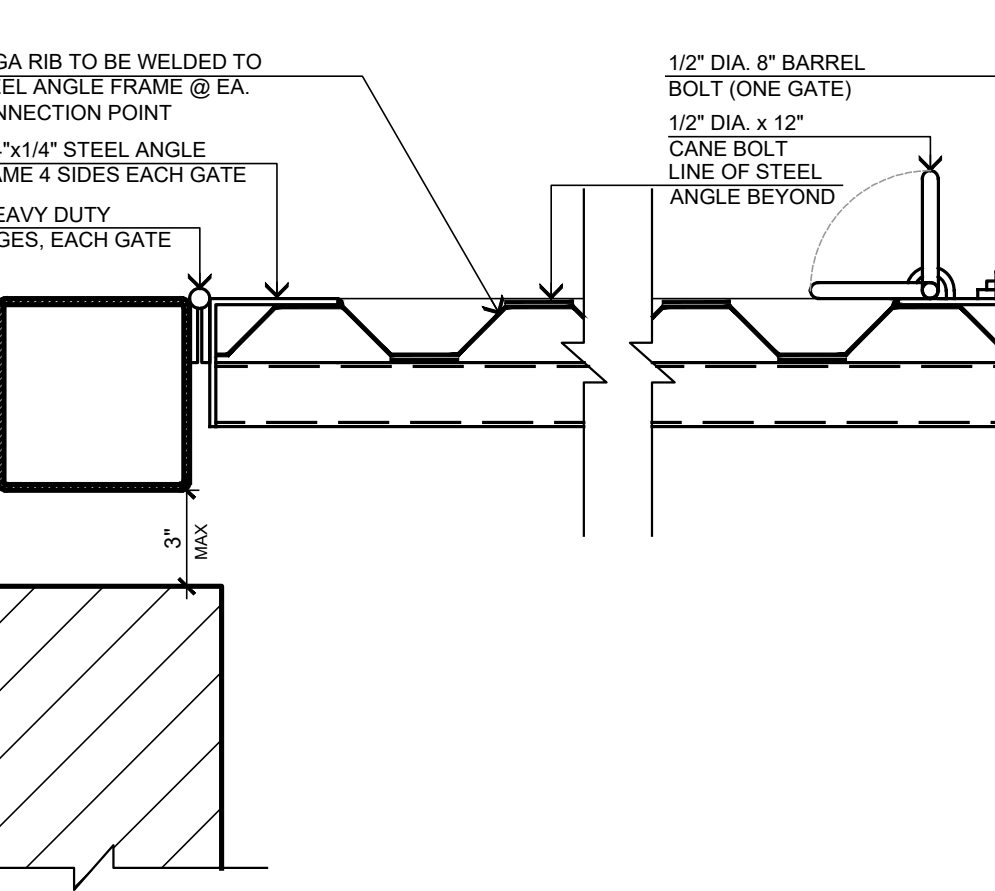
- WELDS**
- ALL WELDING OF STRUCTURAL STEEL SHALL BE DONE BY CERTIFIED WELDERS AND CONFORM TO THE AWS CODE. WELDING ELECTRODE SHALL BE E70.

- CONCRETE AND FOUNDATION**
- CONCRETE TO BE MACHINE MIXED WITH A MAXIMUM OF 7-1/2 GALLONS OF WATER PER SACK OF CEMENT. CONCRETE TO REACH A STRENGTH OF 2,500 PSI MINIMUM IN 28 DAYS.
 - REINFORCING BARS SHALL CONFORM TO ASTM A 615-40.
 - CONCRETE MASONRY TO BE IN CONFORMANCE W/ CHAPTERS 18, 19 AND 21 OF 2019 C.B.C.
 - CEMENT SHALL CONFORM TO ASTM C-150.
 - AGGREGATE SHALL CONFORM TO ASTM C-33.
 - CONC. COMPRESSIVE STRENGTH: 2,500 PSI MIN. ALLOWABLE SOIL BEARING CAPACITY: 2,000 PSF.

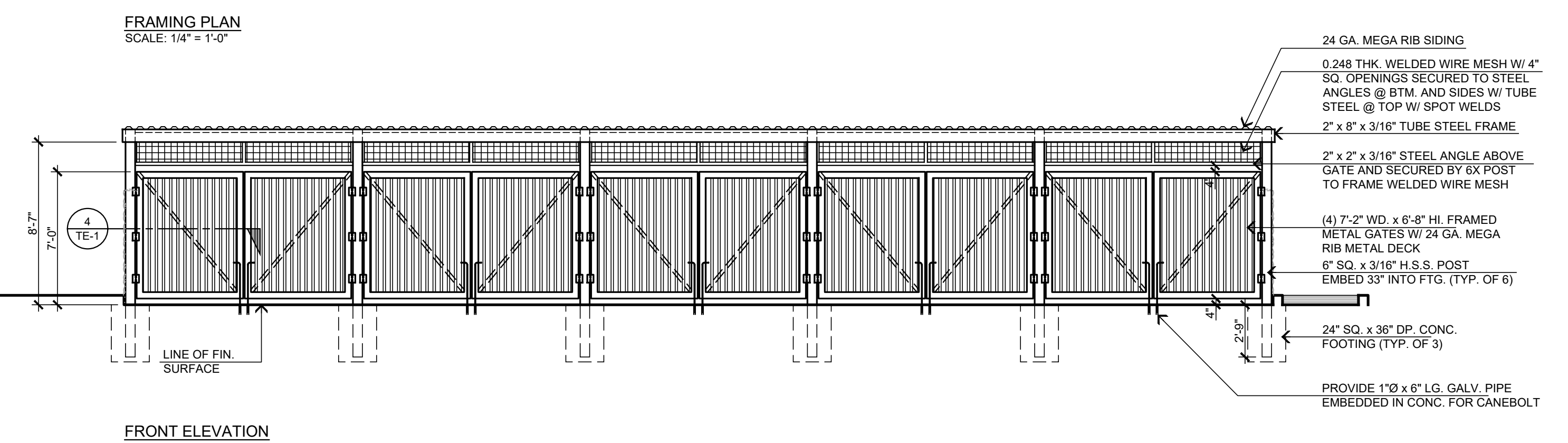
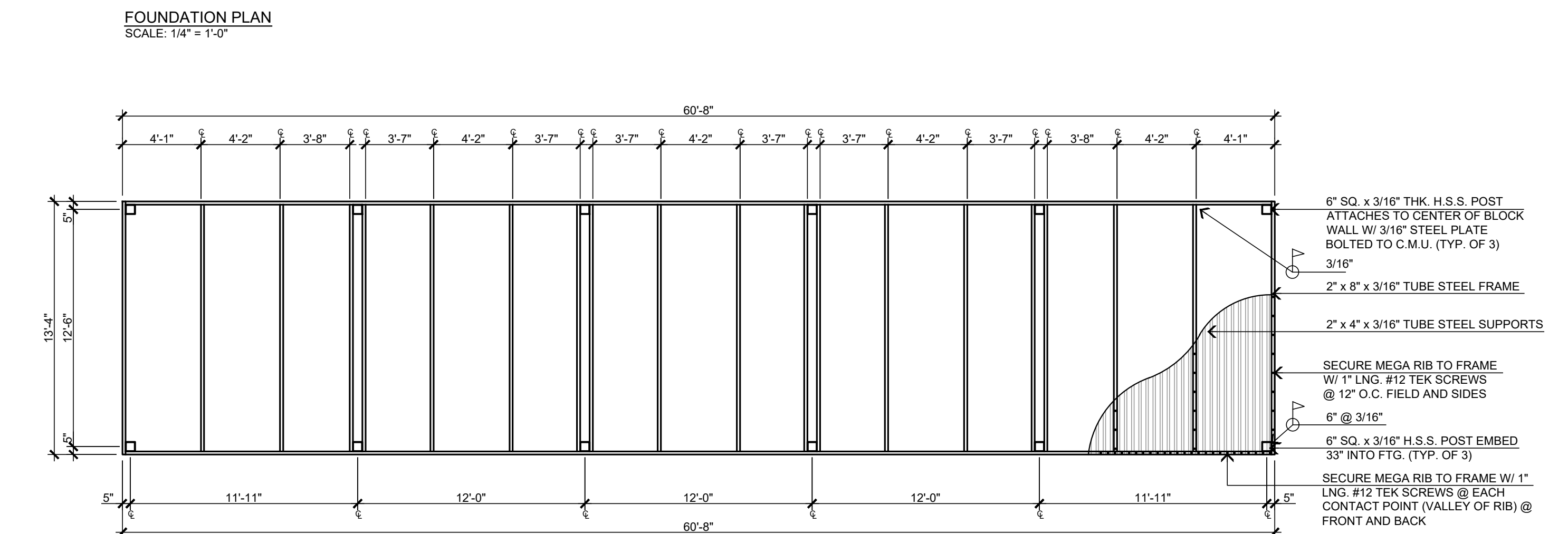
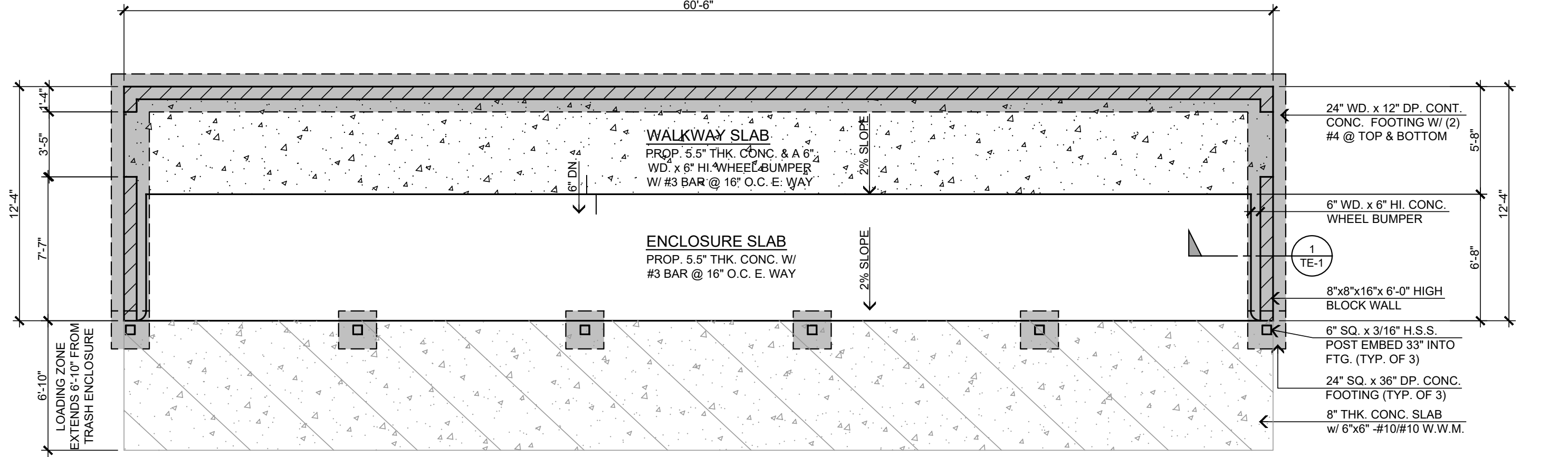
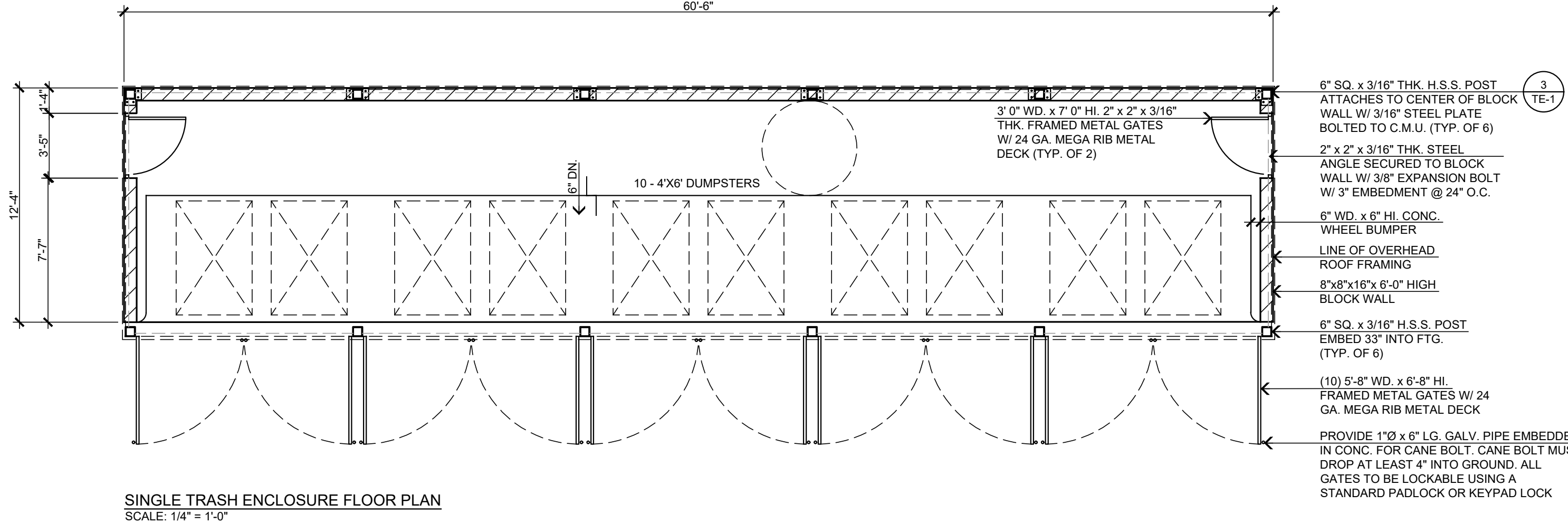
- REINFORCING STEEL**
- REINFORCING STEEL SHALL CONFORM TO THE ASTM A615, GRADED AS NOTED:
 - ALL # 4 BARS - GRADE 40
 - #4 BARS IN SLABS OR SITE WORK - GRADE 40
 - #4 BARS IN WALLS AND FOUNDATION - GRADE 60
 - #5 AND LARGER - GRADE 60
 - ALL REINFORCING STEEL, ANCHOR BOLTS, AND OTHER INSERTS SHALL BE SECURED IN PLACE PRIOR TO PLACING CONCRETE OR GROUTING OF MASONRY.
 - REINFORCING STEEL MAY BE LAP SPLICED WITH 50 BAR DIAMETER IN MASONRY OR 40 BAR DIAMETER IN CONCRETE WITH MIN. 18" LAP.
 - PROVIDE THE FOLLOWING MIN. CONCRETE COVER:
 - SURFACE CAST AGAINST EARTH - 3"
 - EXPOSED TO EARTH OR WEATHER - 2"
 - NOT EXPOSED TO WEATHER OR EARTH - 1"
 - BEAM AND COLUMN - 1.5"
 - SLAB ON GRADE - MID DEPTH.
 - NUMBER 5 OR LARGER REINFORCING BARS SHALL NOT BE RE-BENT.
 - PROVIDE DOWELS IN FOOTINGS AND / OR GRADE BEAMS THE SAME SIZE AND NUMBER AS VERTICAL WALL OR COLUMN REINFORCING. DOWELS SHALL HAVE A MIN. PROJECTION EQUAL TO STANDARD LAP-SPLICE UNLESS NOTED OTHERWISE.

- C.M.U.**
- ALL BLOCKS SHALL BE GRADE "N" ASTM C 90-03. NOMINAL WIDTH OF UNIT SHALL BE 6" MIN.
 - REINFORCEMENT SHALL BE DEFORMED STEEL BAR CONFORMING TO ASTM A-615 GRADE 40 OR GRADE 60.
 - MORTAR TYPE "S" MIX TO BE 1 PART CEMENT TO 1/2 PART LIME TO 3 PARTS LOOSE SAND.
 - GROUT TO BE MIX TO 1 PART CEMENT TO 3 PARTS SAND TO MAXIMUM 1/10 PART LIME. SUFFICIENT WATER SHOULD BE ADDED TO PRODUCE CONSISTENCY FOR POURING WITHOUT SEGREGATION OF THE CONSTITUENTS. MAY CONTAIN 2 PARTS PEA GRAVEL (MAX. SIZE 3/8").

SPECIAL INSPECTIONS (C.B.C. SECTION 1704)			
ITEM	REQUIRED	ITEM	REQUIRED
A. SOILS COMPACTANCE PRIOR TO FOUNDATION INSPECTION	NOT REQUIRED	F. STRUCTURAL CONCRETE OVER 2500 PSI	YES
B. STRUCTURAL WOOD	N/A	G. HIGH STRENGTH BOLTING	N/A
C. SUSPENDED CEILING/BS	N/A	H. EXPANSION/SHOCK ANCHORS	N/A
D. STRUCTURAL MASONRY (CMU)	YES	I. WOOD CONSTRUCTION	N/A
E. FIELD WELDING	YES	J. OTHERS	N/A



JAMB DETAIL SCALE: 2"=1'-0" 4



DATE FINISHED
FEBRUARY 2024

REVISIONS

THESE PLANS SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE (CBC) AND THE 2022 CALIFORNIA ELECTRICAL CODE (CEC) AND THE 2022 CALIFORNIA MECHANICAL CODE (CMC) AND THE 2022 CALIFORNIA PLUMBING CODE (CPL) AND THE 2022 CALIFORNIA FIRE CODE (CFR) AND THE 2022 CALIFORNIA ENERGY STANDARDS (CES).

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ARCHITECT
THOMAS R. STEENO
STATE OF CALIFORNIA
REV. 2/28/25
C-26448

PROJECT: TRASH ENCLOSURE
TAMARISK APARTMENT COMPLEX-2
CONTACT INFO:
13302 RANCHERO ROAD
OAK HILLS, CA 92344
PROJECT ADDRESS:
XXXX TAMARISK AVENUE
HESPERIA, CA 92345

JOB NO.:
C21-L25

SHEET NAME:
TRASH ENCLOSURE

PAGE
TE-1

SITE LOCATION

The map shows the project area in Las Vegas, NV, with the site location highlighted by a red box and a red arrow. The site is located in the central part of the map, near the intersection of I-15 and I-215. The map includes labels for various streets and landmarks, such as the Las Vegas Convention Center, the New York-New York Hotel & Casino, and the Flamingo Las Vegas. The site is situated in a residential area, surrounded by other developments and infrastructure.

ENGINEER:

HIGH DESERT MAPPING
16704 NEENACH ROAD
APPLE VALLEY, CA 92307
(760) 508-8555

RAYMOND J. ALLARD, RCE 36052

THE S 1/2, SE 1/4, NW 1/4, NE 1/4, SECTION 24, T4N,
R5W, S.B.M.

WATER _____ HESPERIA WATER DISTRICT
9700 SEVENTH AVENUE
HESPERIA, CA 92345
(760) 947-1840

SEWER _____ CITY OF HESPERIA PUBLIC WORKS
9700 SEVENTH AVENUE
HESPERIA, CA 92345
(760) 947-1400

ELECTRIC _____ SOUTHERN CALIFORNIA EDISON
18938 BEAR VALLEY ROAD
VICTORVILLE, CA
(760) 241-3805

TELEPHONE _____ VERIZON
15055 LA PAZ DRIVE
VICTORVILLE, CA

CABLE T.V. _____ CHARTER COMMUNICATIONS
12490 BUSINESS CENTER DRIVE
VICTORVILLE, CA

TRASH SERVICE _____ ADVANCE DISPOSAL CO.
17150 MESA STREET
HESPERIA, CA 92345
(760) 244-9773

GAS _____ SOUTHWEST GAS CORPORATION
13471 MARIPOSA ROAD
VICTORVILLE, CA
(760) 245-9321

1	TITLE SHEET _____	T-1
2	NOTES & DETAILS _____	N-1
3	TAMARISK AVENUE IMPROVEMENT PLAN _____	ST-1
4	ORANGE STREET IMPROVEMENT PLAN _____	ST-2
5	GRADING PLAN (WEST) _____	G-1
6	GRADING PLAN (EAST) _____	G-2
7	UTILITY PLAN _____	U-1
8	DETAILS _____	D-1
9	DETAILS _____	D-2
10	DETAILS _____	D-3
11	STORMTECH DETAILS (BED 1) _____	SD-1
12	STORMTECH DETAILS (BED 2) _____	SD-2
13	CROSS SECTIONS _____	CS-1

CUT: 1,700 CU. YDS
FILL: 5,420 CU. YDS.



PE	INDICATES PAD ELEVATION
FF	INDICATES FINISHED FLOOR ELEVATION
TC	INDICATES TOP OF CURB
FS	INDICATES FINISHED SURFACE ELEVATION
FL	INDICATES FLOWLINE ELEVATION
HP	INDICATES HIGH POINT
GB	INDICATES GRADE BREAK
TG	INDICATES TOP OF GRATE
INV	INDICATES INVERT ELEVATION
TW	INDICATES TOP OF WALL
TF	INDICATES TOP OF FOOTING
(xxx)	INDICATES EXISTING ELEVATION
---	INDICATES EXISTING 1-FOOT CONTOUR
---	INDICATES EXISTING 5-FOOT CONTOUR
●	INDICATES EXISTING POWER POLE
←	INDICATES EXISTING GUY WIRE
✱	INDICATES EXISTING JOSHUA TREE
---	INDICATES PROPOSED FLOWLINE
▬	INDICATES PROPOSED A.C. PAVEMENT
▨	INDICATES EXISTING IMPROVEMENTS TO BE REMOVED

I HEREBY DECLARE THAT IN MY PROFESSIONAL OPINION, THE DESIGN OF THE IMPROVEMENTS AS SHOWN ON THESE PLANS COMPLIES WITH THE CURRENT PROFESSIONAL ENGINEERING STANDARDS AND PRACTICES. AS THE ENGINEER IN RESPONSIBLE CHARGE OF THE DESIGN OF THESE IMPROVEMENTS, I ACCEPT FULL RESPONSIBILITY FOR SUCH DESIGN. I UNDERSTAND AND ACKNOWLEDGE THAT THE LIMITED PURPOSE OF ENSURING THAT THESE PLANS COMPLY WITH CITY PROCEDURES AND OTHER APPLICABLE CODES AND ORDINANCES. THE PLAN REVIEW PROCESS DOES NOT DETERMINATION OF THE TECHNICAL ADEQUACY OF THE DESIGN OF THE IMPROVEMENTS. SUCH PLAN CHECK DOES NOT THEREFORE RELIEVE ME OF MY DESIGN RESPONSIBILITY.

[illegible]

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS AND THE CITY OF HESPERIA STANDARDS AND SPECIFICATIONS.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND FACILITIES WHETHER SHOWN OR NOT SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING FACILITIES FROM DAMAGE DURING CONSTRUCTION.

CALL UNDERGROUND SERVICE ALERT TWO WORKING DAYS BEFORE ANY TRENCHING, ETC. AT 811. THE FOLLOWING AGENCIES SHALL BE CONTACTED BEFORE ANY CONSTRUCTION OR EXCAVATION BEGINS.

THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF THE REMOVAL OR RELOCATION OF ANY AND ALL EXISTING UTILITIES WITH THE RESPECTIVE UTILITY COMPANY. COST OF THIS COORDINATION IS TO BE INCLUDED IN THE PRICE BID FOR THE VARIOUS IMPROVEMENTS TO COMPLETE THE PROJECT.

A CERTIFICATE OF COMPACTION SIGNED BY A REGISTERED ENGINEER SHALL BE SUBMITTED FOR ALL TRENCH BACKFILLS.

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE UNDERSIGNED ENGINEER, DEVELOPER AND THE CITY OF HESPERIA.

THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL SURVEY MONUMENTS. ANY SURVEY MONUMENTS DISTURBED DURING THE COURSE OF CONSTRUCTION SHALL BE REPLACED BY A LICENSED SURVEYOR AND AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUALLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

AN ENCROACHMENT PERMIT FROM THE CITY OF HESPERIA SHALL BE OBTAINED PRIOR TO THE BEGINNING OF ANY WORK OR CONSTRUCTION WITHIN THE STREET RIGHT-OF-WAY.

ADEQUATE STAKING SHALL BE SET BY THE ENGINEER OF RECORD OR LICENSED SURVEYOR TO ENABLE THE CONTRACTOR TO CONSTRUCT IMPROVEMENTS PER THE SIGNED IMPROVEMENT PLANS.

ALL STATIONING IS BASED ON THE CENTER LINE OF THE STREET.

ALL GRADING SHALL CONFORM TO CHAPTER 15.06 OF THE CITY OF HESPERIA MUNICIPAL CODE.

ALL PROVISIONS OF THE PRELIMINARY SOILS REPORT PREPARED BY: ALR ENGINEERING & TESTING
PROJECT NUMBER 1711356, DATED DECEMBER 20, 2017, SHALL BE COMPLIED WITH DURING GRADING OPERATIONS.

THIS PLAN IS FOR GRADING PURPOSES ONLY. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF DRIVEWAY LOCATIONS OR SIZES, PARKING LOT LAYOUT, BUILDING LOCATIONS, OFFSITE DRAINAGE FACILITIES OR OTHER ITEMS NOT RELATED DIRECTLY TO THE BASIC GRADING OPERATIONS.

CERTIFICATION FROM THE ENGINEER OF RECORD STATING THAT THE GRADING HAS BEEN COMPLETED PER THE APPROVED PLAN AND THE COMPACTATION REPORT FROM THE SOILS ENGINEER ON ANY FILL AREAS THAT ARE REQUIRED SHALL BE PROVIDED PRIOR TO BUILDING PERMITS BEING ISSUED.

CONTRACTOR IS RESPONSIBLE FOR EROSION, DUST, AND DRAINAGE CONTROL PER SWPPP AND NPDES CRITERIA UNTIL PROJECT COMPLETION

ANY ONSITE RETAINING WALLS SHOWN ON THIS PLAN THAT ARE UNDER THREE (3) FEET IN HEIGHT AND SUPPORT A SURCHARGE OR THAT ARE OVER THREE (3) FEET IN HEIGHT REQUIRE SEPARATE REVIEW AND APPROVAL FROM THE BUILDING OFFICIAL AT (760) 947-1300. ANY NECESSARY RETAINING WALLS ON THE PERIMETER OF THIS SITE SHALL BE IN PLACE AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO THE START OF GRADING. APPROVED SEQUENCED GRADING WITH 1-1/2:1 MAXIMUM SLOPES TO WITHIN TWO (2) FEET OF THE ADJACENT PROPERTY LINE MAY BE ACCEPTABLE TO ALLOW FOR START OF GRADING PRIOR TO COMPLETION OF ANY NECESSARY PERIMETER RETAINING WALLS

ANY IMPROVEMENTS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE SEPARATE PLAN APPROVAL, ENCROACHMENT PERMIT, AND INSPECTION FROM THE ENGINEERING OFFICE AT (760) 947-1477.

ANY WALLS, FENCES, STRUCTURES AND / OR APPURTENANCES ADJACENT TO THIS PROJECT SHALL BE PROTECTED IN PLACE. IF GRADING OPERATIONS DAMAGE OR ADVERSELY AFFECT SAID ITEMS IN ANY WAY, THE CONTRACTOR AND/OR DEVELOPER ARE RESPONSIBLE FOR WORKING OUT AN ACCEPTABLE SOLUTION TO THE SATISFACTION OF THE AFFECTED PROPERTY OWNER(S).

THE CONTRACTOR AND / OR DEVELOPER ARE RESPONSIBLE FOR ENSURING THAT RETAINING WALLS DO NOT INTERFERE WITH PROVISION OF UTILITIES.

IT IS THE SOILS ENGINEER'S RESPONSIBILITY TO ENSURE THAT ADEQUATE COMPACTION HAS BEEN ATTAINED ON THE ENTIRE GRADING SITE, INCLUDING FILL AREAS OUTSIDE THE BUILDING PADS AND ON ALL FILL SLOPES.

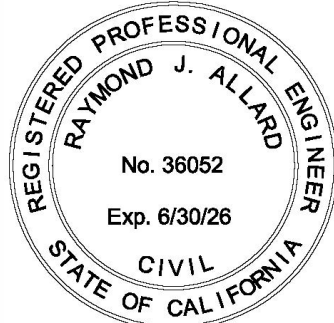
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CALL THE BUILDING AND SAFETY DEPARTMENT AT (760) 947-1300 FOR INSPECTION TWO (2) WORKING DAYS PRIOR TO PERFORMING ANY WORK. WORK PERFORMED WITHOUT CALLING FOR INSPECTION SHALL BE REJECTED AND SHALL BE REMOVED SOLELY AT THE CONTRACTOR'S EXPENSE.

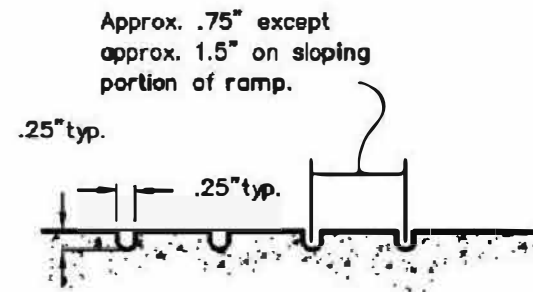


1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS AND THE 2012 CA M.U.T.C.D. "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND S.P.P.W.C. "GREEN BOOK" STANDARD PLANS AND SPECIFICATIONS TOGETHER WITH ANY MODIFICATIONS THERETO ADOPTED BY THE CITY OF HESPERIA.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE JOB SITE AND THE LOCATION OF ALL UNDERGROUND FACILITIES SHOWN OR NOT SHOWN ON THESE PLANS. NEITHER THE CITY OF HESPERIA NOR THE CITY ENGINEER WILL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND FACILITIES.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CALL THE CITY ENGINEERING OFFICE AT (760) 947-1477 FOR INSPECTION 24 HOURS PRIOR TO PERFORMING ANY WORK. WORK PERFORMED WITHOUT CALLING FOR INSPECTION SHALL BE REJECTED AND SHALL BE REMOVED SOLELY AT THE CONTRACTOR'S EXPENSE.
5. UTILITY CONTRACTORS SHALL BE RESPONSIBLE OR OBTAINING COMPACTION TESTS OF ALL TRENCH BACKFILL AND STREET SUBGRADES AND SUBMITTING THEM TO THE CITY ENGINEERING OFFICE. NOTIFY THE CITY ENGINEERING OFFICE AT (760) 947-1477 24 HOURS PRIOR TO TEST.
6. THE STRUCTURAL SECTIONS SHOWN ON THESE PLANS ARE BASED ON R-VALUE TESTS OR CITY MINIMUM STRUCTURAL STANDARDS, WHICHEVER IS GREATER. IN THE EVENT FIELD CONDITIONS VARY FROM INITIAL TEST RESULTS, ADDITIONAL TESTS, MATERIAL REPORTS AND REVISED STRUCTURAL SECTIONS MAY BE REQUIRED TO BE PREPARED AND SUBMITTED BY THE PROJECT ENGINEER OF RECORD TO THE ENGINEERING OFFICE FOR REVIEW AND EVALUATION. APPROVAL WILL BE GIVEN WHEN ALL STRUCTURAL SECTION REQUIREMENTS HAVE BEEN MET. R-VALUE TESTS ARE REQUIRED AND SHALL BE SUBMITTED IN ALL CASES. STRUCTURAL SECTIONS SHALL BE DESIGNED IN ACCORDANCE WITH CALTRANS HIGHWAY DESIGN MANUAL CHAPTER 600.
7. STAKING CUT SHEETS SHALL BE PREPARED BY THE DEVELOPER'S ENGINEER AND SUBMITTED TO THE CITY ENGINEERING OFFICE. NO CONSTRUCTION SHALL BE ALLOWED PRIOR TO THE CITY ENGINEER'S APPROVAL OF THE CUT SHEETS.
8. THE CONTRACTOR SHALL VERIFY THAT ESTIMATED QUANTITIES SHOWN ARE CORRECT BEFORE BIDDING ON ANY ITEM.
9. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL AT ALL TIMES.
10. ALL EXISTING PAVEMENT TO BE REMOVED SHALL BE SAWCUT OR WHEELCUT AND REMOVED TO CLEAN STRAIGHT LINES PER THE CITY INSPECTOR.
11. AT ALL LOCATIONS WHERE NEW PAVEMENT JOINS EXISTING, THE EXISTING PAVEMENT SHALL BE COATED WITH AN ASPHALTIC EMULSION.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY VALVES, BOXES AND COVERS, AND ADJUSTING OF ALL UTILITY VALVE BOXES AND COVERS TO FINISH GRADE.
13. THE CONTRACTOR SHALL SET MANHOLE RINGS PER CITY STANDARDS.
14. THE CONTRACTOR SHALL CALL IN A LOCATION REQUEST TO UNDERGROUND SERVICE ALERT (USA) PHONE NUMBER 811, TWO WORKING DAYS BEFORE DIGGING. NO INSPECTION WILL BE PROVIDED BY THE CITY BEFORE DIGGING. NO INSPECTION WILL BE PROVIDED BY THE CITY ENGINEER'S OFFICE AND NO CONSTRUCTION PERMIT ISSUED INVOLVING EXCAVATION FOR UNDERGROUND FACILITIES WILL BE VALID UNLESS THE APPLICANT HAS BEEN PROVIDED AN INQUIRY IDENTIFICATION NUMBER BY USA.
15. CITY APPROVAL OF PLANS DOES NOT RELIEVE THE DEVELOPER FROM THE RESPONSIBILITY FOR THE CORRECTION OF ERRORS AND OMISSIONS DISCOVERED DURING CONSTRUCTION. UPON REQUEST, THE REQUIRED PLAN REVISIONS SHALL BE PROMPTLY SUBMITTED TO THE CITY ENGINEER FOR APPROVAL.
16. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A TRAFFIC CONTROL PLAN TO BE REVIEWED AND APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION. ALL TRAFFIC CONTROL SHALL BE PER 2012 CA M.U.T.C.D. "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
17. ALL UTILITIES OR SUBSTRUCTURES OF ANY KIND, AND TELEPHONE POWER POLES, WATER METERS, VALVES, HYDRANTS, ETC., SHOWN OR NOT SHOWN ON THESE PLANS WITHIN THE LIMITS OF THIS DEVELOPMENT OR IN ADJACENT AREAS WHERE IMPROVEMENT WORK IS TO BE DONE SHALL BE REMOVED OR RELOCATED AT DEVELOPER'S EXPENSE, AND AT NO COST TO THE CITY OF HESPERIA. IT SHALL BE THE OWNER'S RESPONSIBILITY TO NOTIFY ALL AGENCIES CONCERNED.
18. ALL CONSTRUCTION TO BE IN CONFORMANCE WITH THE REGULATIONS OF CAL-OSHA.

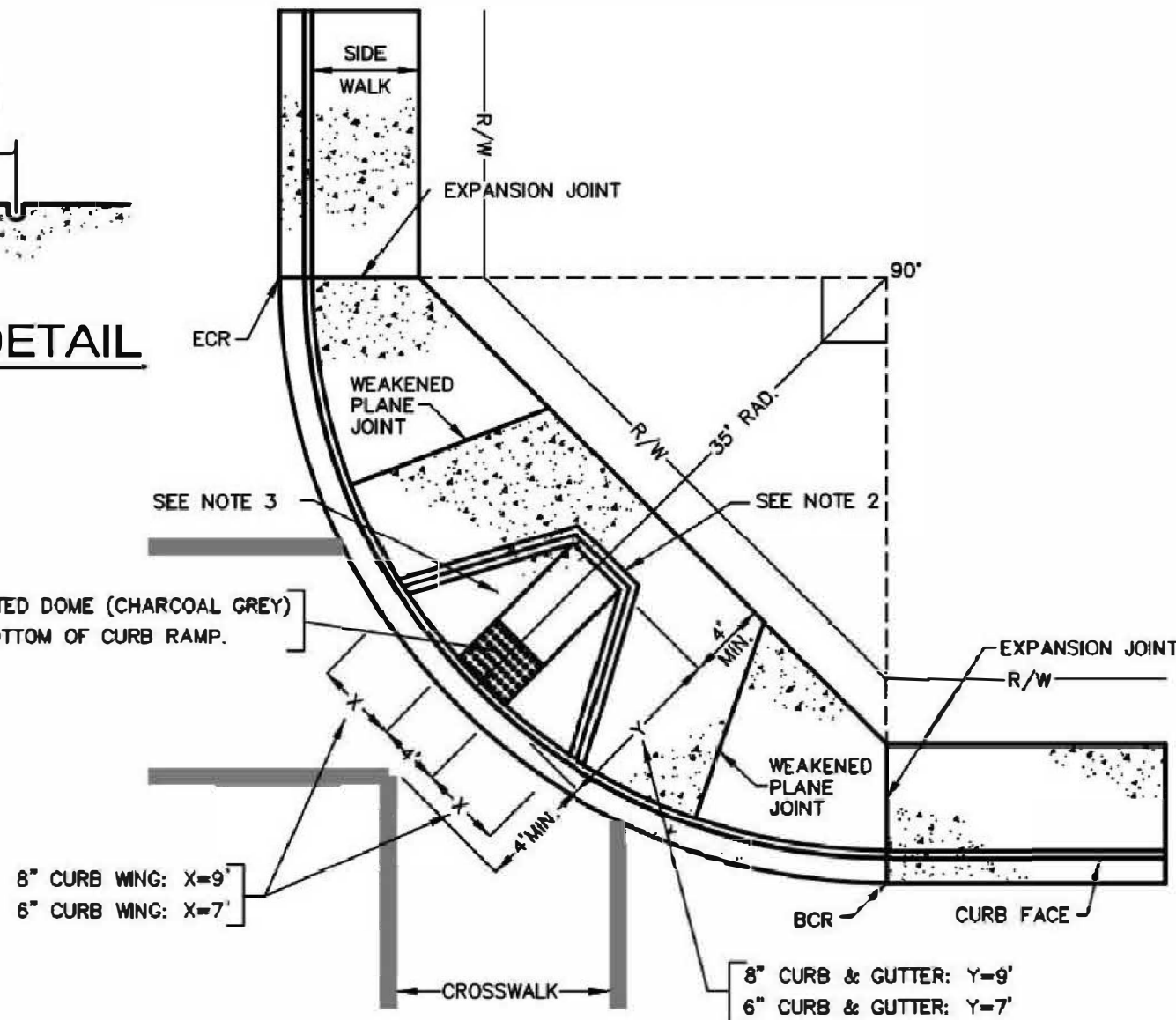
3. MATERIALS AND INSTALLATION SHALL CONFORM TO THE CITY OF HESPERIA STANDARDS AND CURRENT MATERIALS LIST.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A CURRENT AND APPROVED SET OF CITY OF HESPERIA STANDARDS AND MATERIALS LIST ON THE JOB SITE AT ALL TIMES. CITY STANDARDS AND MATERIALS LIST ARE AVAILABLE AT THE CITY OF HESPERIA ENGINEERING DEPARTMENT.
3. DISTRIBUTION WATER MAINS SHALL HAVE A MINIMUM OF 48" OF COVER FOR 8" MAIN AND 42" MINIMUM COVER FOR 12" AND LARGER MAINS FROM TOP OF PIPE TO FINAL GRADE. TRANSMISSION WATER MAINS SHALL HAVE A MINIMUM OF 72" OF COVER. RECLAIMED WATER MAINS SHALL HAVE A MINIMUM OF 60" OF COVER.
4. HYDRO TEST AT 200 PSI MINIMUM FOR 2 HOUR DURATION AT LOWEST POINT IN THE WATER LINE.
5. SERVICE LINES TO BE INSTALLED PER STANDARD DWG. W-7.
6. METERS SHALL BE PLACED WITHIN 2 FEET MINIMUM, 5 FEET MAXIMUM, FROM ADJACENT PROPERTY LINE. METER BOXES IN THE SIDEWALK SHALL BE IN TRAFFIC RATED BOXES.
7. 14 GAUGE COPPER COATED WIRE TO BE TAPED TO TOP OF PIPE. ALL SPLICES TO BE MADE WITH 3M CONNECTORS.
8. ALL NEW FIRE HYDRANTS INSTALLED ARE TO BE COVERED AT TIME OF INSTALLATION, UNTIL THE WATER LINE IS ACTIVATED.
9. RESILIENT WEDGE VALVES TO BE MUELLER, AFC, CLOW OR AMERICAN AVK WITH SS STEM AND BUTTERFLY VALVES TO BE MUELLER OR PRATT AS PER CITY OF HESPERIA STANDARDS.
10. ALL NEW FIRE HYDRANTS SHALL BE MUELLER, AFC AMERICAN DARLING, CLOW OR AMERICAN AVK #2780 WITH (1) 4" NOZZLE, (2) 2-1/2" NOZZLES AND 5-1/4" MINIMUM VALVE OPENINGS, AS PER CITY OF HESPERIA STANDARDS AND MATERIALS LIST.
11. ALL VALVES INSTALLED BY THE CONTRACTOR SHALL BE ACCESSIBLE FOR OPERATION WITH COMPLETE VALVE CAP TO GRADE DIRECTLY FOLLOWING CONNECTION TO EXISTING WATER SYSTEM (SEE STD. DWG. W-1).
12. ALL HYDRANTS TO BE OF THE SAME MANUFACTURER AS THE SELECTED VALVES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE SIZING OF THRUST BLOCKS BASED ON FIELD CONDITIONS (SEE STD. DWG. W-4).
14. ALL 3-WAY FIRE HYDRANTS TO BE REMOVED SHALL BE SALVAGED AND RETURNED TO CITY OF HESPERIA PUBLIC WORKS YARD.
15. CONTRACTOR TO CAP EXISTING WATER MAINS AS PER CITY OF HESPERIA INSPECTOR WHEN REQUIRED.
16. BACKFILL COMPACTION AND RESURFACING IN EXISTING STREETS SHALL CONFORM TO CITY STANDARDS OR LATEST REVISION THEREOF. A CERTIFICATION OF COMPACTION SIGNED BY A REGISTERED CIVIL ENGINEER SHALL BE SUBMITTED FOR ALL TRENCH BACKFILLS.
17. ALL SERVICE CHANGEOVERS TO BE THE RESPONSIBILITY OF THE CONTRACTOR. EXISTING SERVICE LINES TO BE REMOVED AT THE TIME OF NEW CONNECTION FROM PIPE TO MAIN.

1. ALL MATERIALS AND INSTALLATION OF SEWER FACILITIES TO BE CONSTRUCTED SHALL BE IN ACCORDANCE WITH THESE PLANS, MANUFACTURER'S SPECIFICATIONS, CITY OF HESPERIA STANDARDS, AND MATERIAL LISTS.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A CURRENT AND APPROVED SET OF CITY OF HESPERIA STANDARDS AND MATERIALS LIST ON THE JOB SITE AT ALL TIMES. CITY STANDARDS AND MATERIAL LISTS ARE AVAILABLE AT THE CITY OF HESPERIA ENGINEERING DEPARTMENT.
3. SEPARATION OF WATER AND SEWER FACILITIES SHALL CONFORM TO THE RULES AND REGULATIONS OF THE CITY OF HESPERIA STANDARDS (SEE STD. DWG. S-1).
4. ALL SEWER PIPE (UNLESS OTHERWISE NOTED) SHALL BE POLYVINYL CHLORIDE (PVC) S.D.R. 35.
5. SEWER PROFILE ELEVATIONS ARE TO THE INVERT OF THE PIPE.
6. SEWER LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD LOCATIONS OF WYES AND LATERALS. WHERE NOT SHOWN ON THE PLANS LOCATION IS TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION. CLEANOUT LOCATIONS SHALL NOT BE INSTALLED IN DRIVEWAY WHERE APPLICABLE. ALL LATERALS ARE TO BE 6" DIAMETER UNLESS OTHERWISE NOTED ON THE PLANS.
7. PRIOR TO CONSTRUCTION OF SEWER, CONTRACTOR SHALL EXPOSE EXISTING SEWER AND VERIFY ITS EXISTING ELEVATION AND LOCATION BEFORE CONNECTING TO EXISTING MANHOLE OR STUB. CONTRACTOR IS RESPONSIBLE TO NOTIFY THE CITY ENGINEER IF ELEVATIONS ARE NOT PER PLAN AND REQUIRE ADJUSTMENTS IN THE FIELD.
8. IT SHALL BE THE SEWER CONTRACTOR'S RESPONSIBILITY TO SET CLEAN-OUTS TO FINISH GRADE.
9. SEWER PIPE ZONE AND TRENCH BACKFILL SHALL BE PLACED IN ACCORDANCE WITH THE CITY OF HESPERIA STANDARDS. (SEE STD. DWG. S-1).
10. MANHOLES SHALL BE ADJUSTED TO GRADE AFTER PLACING SURFACE COURSE ASPHALT CONCRETE.
11. MANHOLE COVERS TO BE LOCK-DOWN TYPE. (SEE STD. DWG. S-8).
12. SEWER LATERALS SHALL BE CONNECTED TO THE MAIN WITH GASKETED WYES.
13. SEWER LINES SHALL BE TESTED PRIOR TO MAKING PERMANENT SERVICE CONNECTION. SEWER TESTING SHALL INCLUDE BALL AND MANDREL, PRESSURE TEST AND VIDEO BEFORE PERMANENT PAVING IS COMPLETED. ALL TRACTS WILL BE REQUIRED TO VIDEO AGAIN PRIOR TO THE RELEASE OF BONDS.

[illegible]



GROOVING DETAIL



NOTES:

1. RAMP SLOPE SHALL BE 8.33% MAXIMUM.
2. THE RAMP SHALL HAVE A 12" WIDE BORDER WITH 1/4" GROOVES APPROXIMATELY 3/4" O.C. SEE GROOVING DETAIL.
3. THE ENTIRE RAMP SURFACE SHALL HAVE A TRANSVERSE BROOMED SURFACE ROUGHER THAN THE SURROUNDING SIDEWALK, PROVIDING A CONTRASTING FINISH.
4. RAMP SHALL BE BUILT AND FINISHED SO THAT THERE ARE NO ABRUPT CHANGES IN ELEVATION OR ANGLE OF SLOPE.
5. SIDEWALK RAMP SHALL BE REQUIRED AT ALL CORNERS WHERE CURBS AND/OR SIDEWALKS ARE TO BE CONSTRUCTED OR RECONSTRUCTED AND SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS.
6. MODIFICATIONS TO LOCATION OR DIMENSIONS OF RAMP SHALL REQUIRE APPROVAL OF CITY ENGINEER AND BE SHOWN ON APPROVED PLANS.
7. THICKNESS OF CONCRETE: 4" MINIMUM 560-C-3250 TYPE II OR V.
8. USE WHEN ONE OR BOTH INTERSECTING STREETS IS A COLLECTOR OR WIDER.
9. SIDEWALK WIDTH SHALL BE PER DESIGN REQUIREMENTS, ST-4.
10. APPLY CLASS I OR II CURING COMPOUND (PER S.P.P.W.C.).
11. CAST IN PLACE TRUNCATED DOMES SHALL BE USED FOR NEW CONSTRUCTION OF RAMP.

DRAWN BY: M.W.M.	CITY OF HESPERIA	REV. DATE	STD. DRWG. NO.
APPROVED BY:	INTERSECTION DETAIL		ST-8
DATE: 6/20/13	COLLECTOR OR LARGER		



Know what's below.
Call before you dig.

BENCHMARK:

"H-18"

BRASS DISK IN CONCRETE, LOCATED APPROXIMATELY 22 FEET NORTH OF THE NE CORNER, BEHIND THE SIDEWALK AT THE INTERSECTION OF MAIN ST. & MAPLE ST.

ELEV=3376.492

DESIGNED BY: D.B.W.

DRAWN BY: D.B.W.

CHECKED BY: R.J.A.

SUBMITTED BY:

RAYMOND J. ALLARD RCE No. 36052

DATE



HIGH DESERT MAPPING

Land Surveying - Civil Design

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Apple Valley, CA 92307
(760) 508-8555

dbw.hdm@gmail.com



CITY OF HESPERIA ENGINEERING DEPARTMENT

RECOMMENDED FOR APPROVAL BY:

DATE

AUTHORIZED SIGNATURE

APPROVED BY:

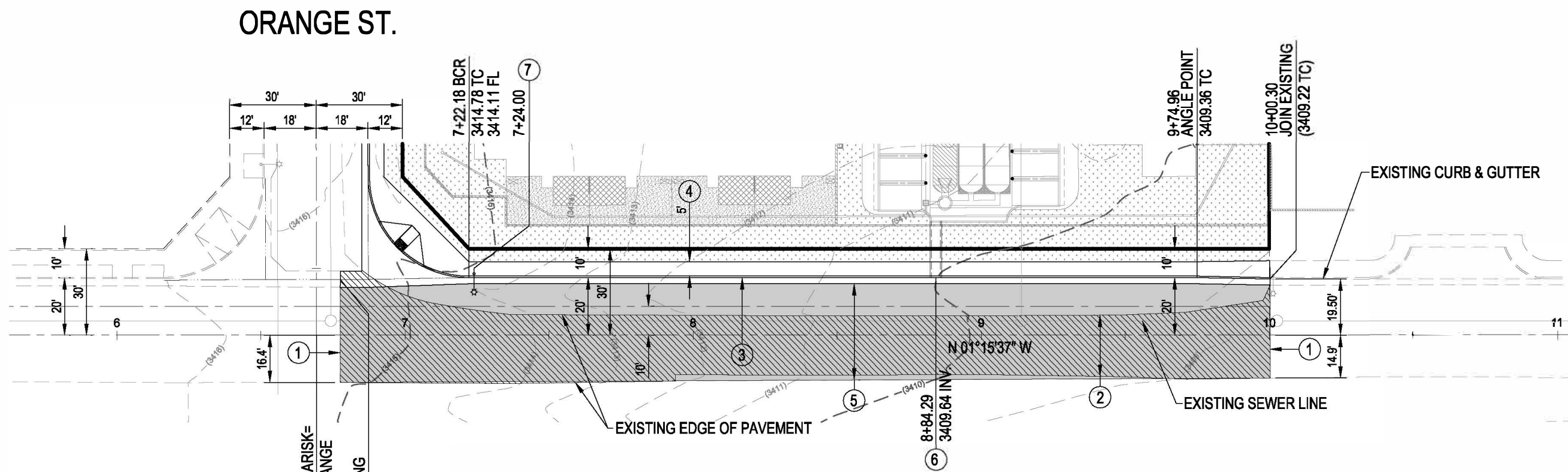
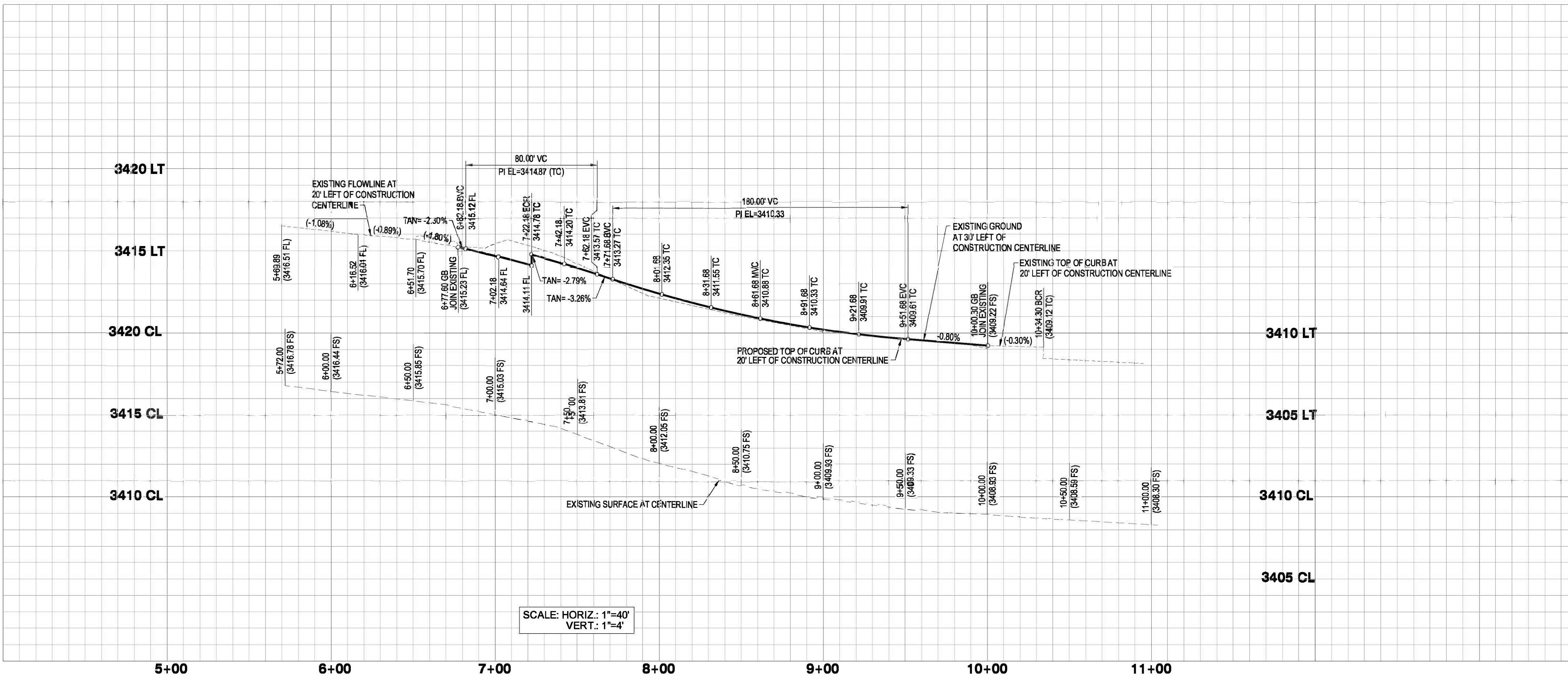
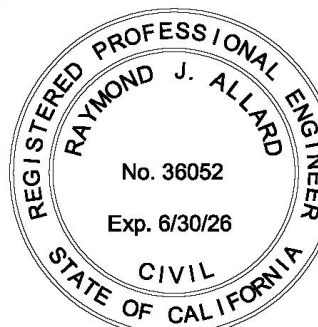
CASSANDRA SANCHEZ DATE

R.C.E. 74776 EXP. DATE 12/31/25
CITY ENGINEER

CITY OF HESPERIA
STREET IMPROVEMENT PLAN
TAMARISK APARTMENTS
MUNEM MAIDA
APN 3057-121-08

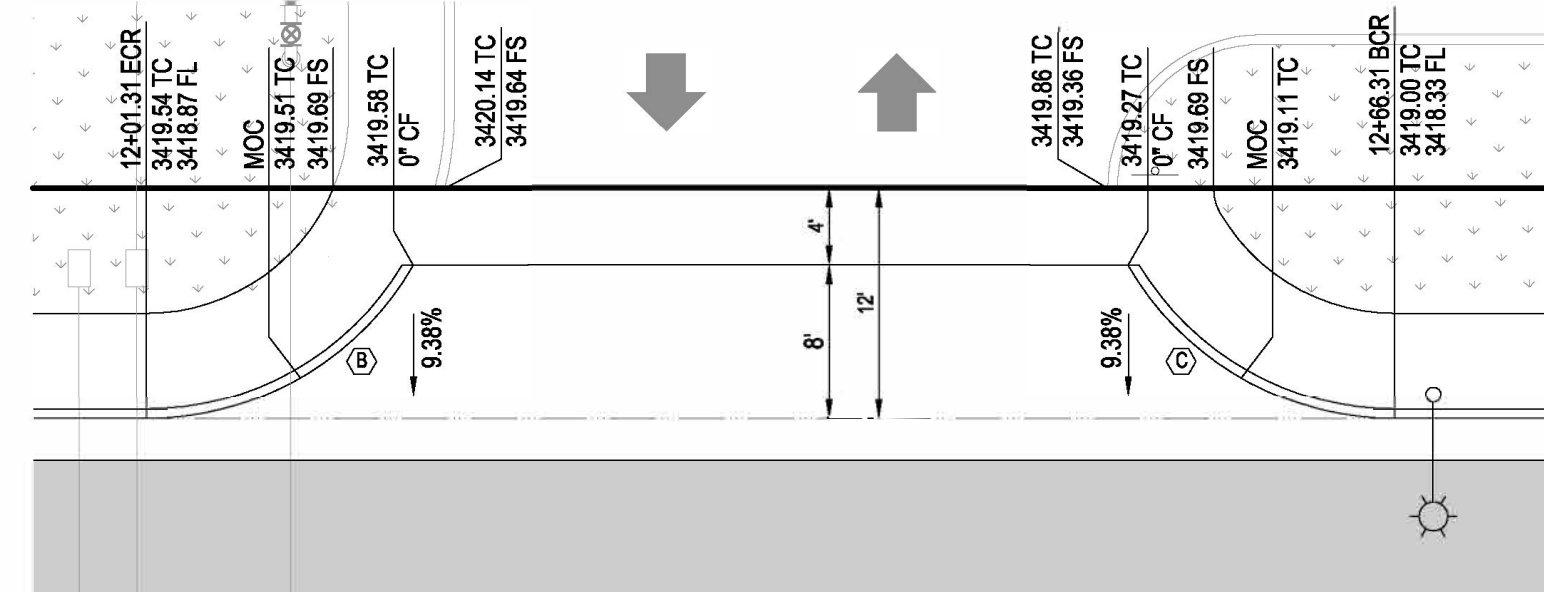
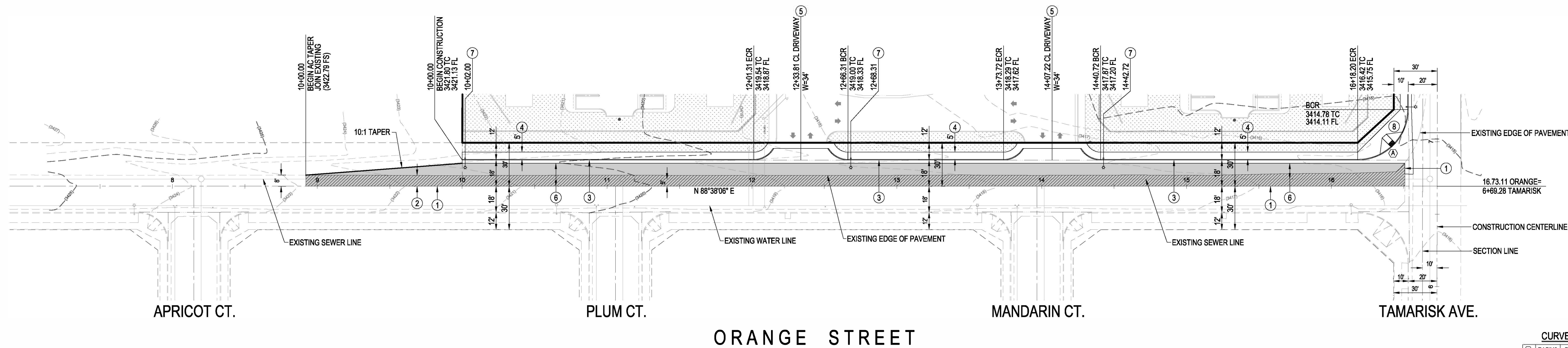
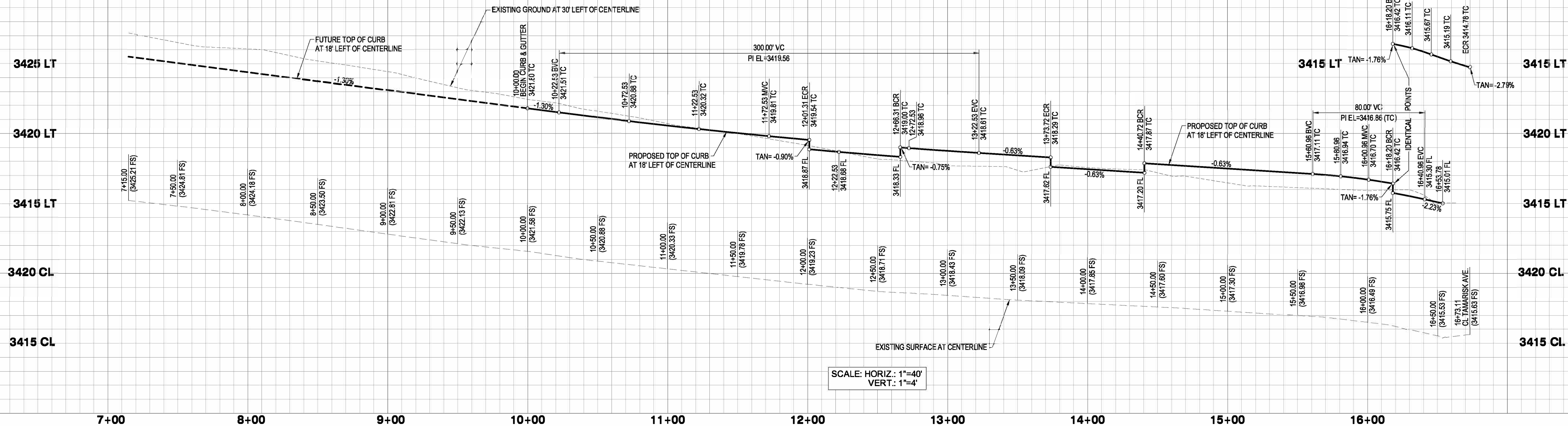
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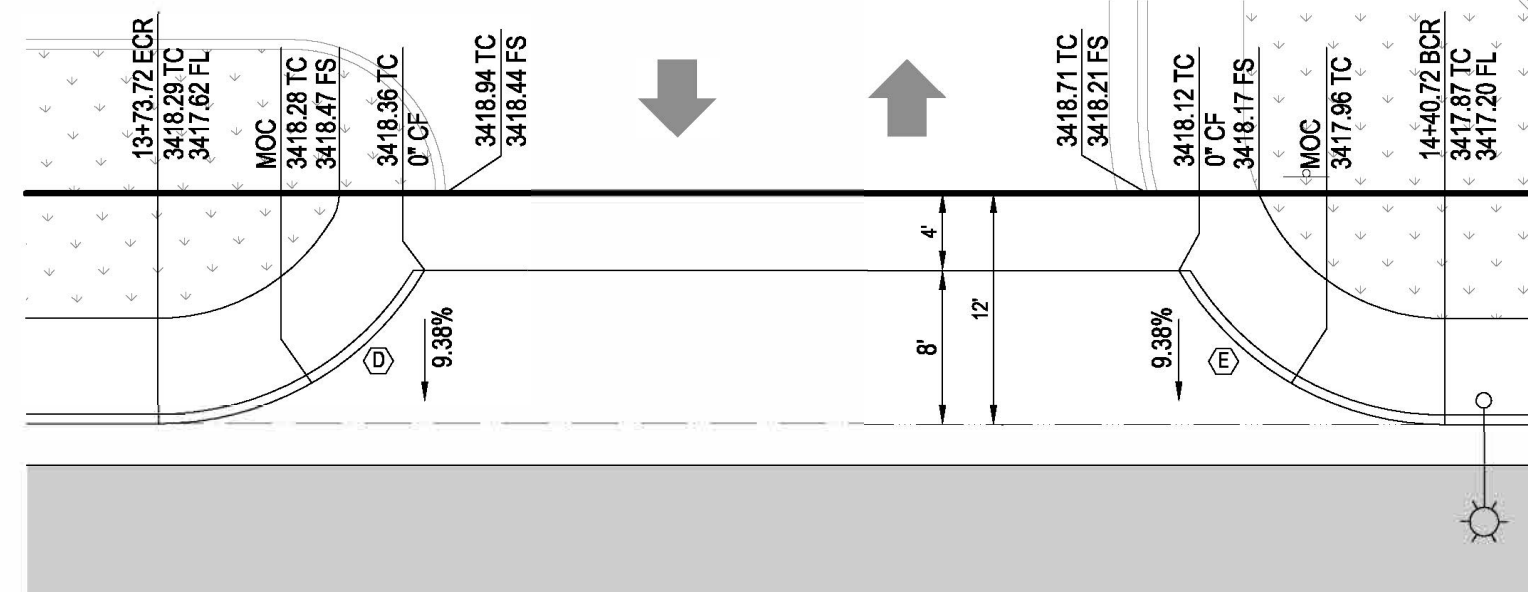


CONSTRUCTION NOTES:

1. SAWCUT EXISTING PAVEMENT TO A CLEAN STRAIGHT LINE, FEATHER EDGE OVER FOR A SMOOTH TRANSITION 2' MIN. 78 L.F.
2. REMOVE EXISTING IMPROVEMENTS TO THE LIMITS SHOWN 7,550 S.F.
3. CONSTRUCT 8\"/>



12+33.81 DRIVEWAY DETAIL



14+07.22 DRIVEWAY DETAIL

CURVE DATA TABLE				
	RADIUS	DELTA	LENGTH	TANGENT
A	35.00'	89°53'43"	54.91'	34.94'
B	16.00'	60°00'00"	16.76'	9.24'
C	16.00'	59°50'00"	16.71'	9.21'
D	16.00'	59°58'54"	16.74'	9.21'
E	16.00'	60°00'03"	16.76'	9.24'

CONSTRUCTION NOTES:

- SAWCUT EXISTING PAVEMENT TO A CLEAN STRAIGHT LINE, FEATHER EDGE OVER FOR A SMOOTH TRANSITION 2' MIN. 782 L.F.
- REMOVE EXISTING IMPROVEMENTS TO THE LIMITS SHOWN. 5,913 S.F.
- CONSTRUCT 8" CURB AND GUTTER PER SPPWC 120-2 (A2-8) 198 L.F.
- CONSTRUCT SIDEWALK PER CITY STD. ST-4, TYPE A 2,425 S.F.
- CONSTRUCT COMMERCIAL DRIVE APPROACH PER CITY STD. ST-1, WIDTH PER PLAN 1,660 S.F.
- CONSTRUCT 6.5" AC PAVEMENT OVER 9" CLASS II BASE 11,571 S.F.
- INSTALL STREET LIGHT PER CITY STD. ST-10 3 EA.
- CONSTRUCT CURB RETURN & CURB RAMP PER CITY STD. ST-8 1 EA.



Know what's below.
Call before you dig.

BENCHMARK:

"H-18"

BRASS DISK IN CONCRETE, LOCATED APPROXIMATELY 22 FEET NORTH OF THE NE ECR, BEHIND THE SIDEWALK AT THE INTERSECTION OF MAIN ST. & MAPLE ST.

ELEV=3376.492

DESIGNED BY: D.B.W.

DRAWN BY: D.B.W.

CHECKED BY: R.J.A.

SUBMITTED BY:

RAYMOND J. ALLARD RCE No. 36052

DATE



HIGH DESERT MAPPING

Land Surveying - Civil Design

16704 Neenach Road
Apple Valley, CA 92307
(760) 508-8555

dbw.hdm@gmail.com



CITY OF HESPERIA
ENGINEERING DEPARTMENT

RECOMMENDED FOR APPROVAL BY:

APPROVED BY:

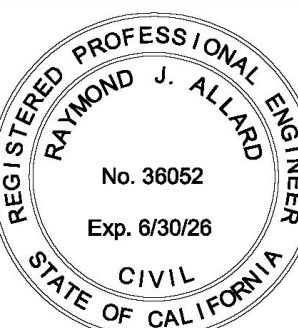
DATE

DATE

AUTHORIZED SIGNATURE

CASSANDRA SANCHEZ
R.C.E. 74776 EXP. DATE 12/31/25
CITY ENGINEER

CITY OF HESPERIA
STREET IMPROVEMENT PLAN
TAMARISK APARTMENTS
MUNEM MAIDA
APN 3057-121-08



SHEET
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OF
13

ST-2

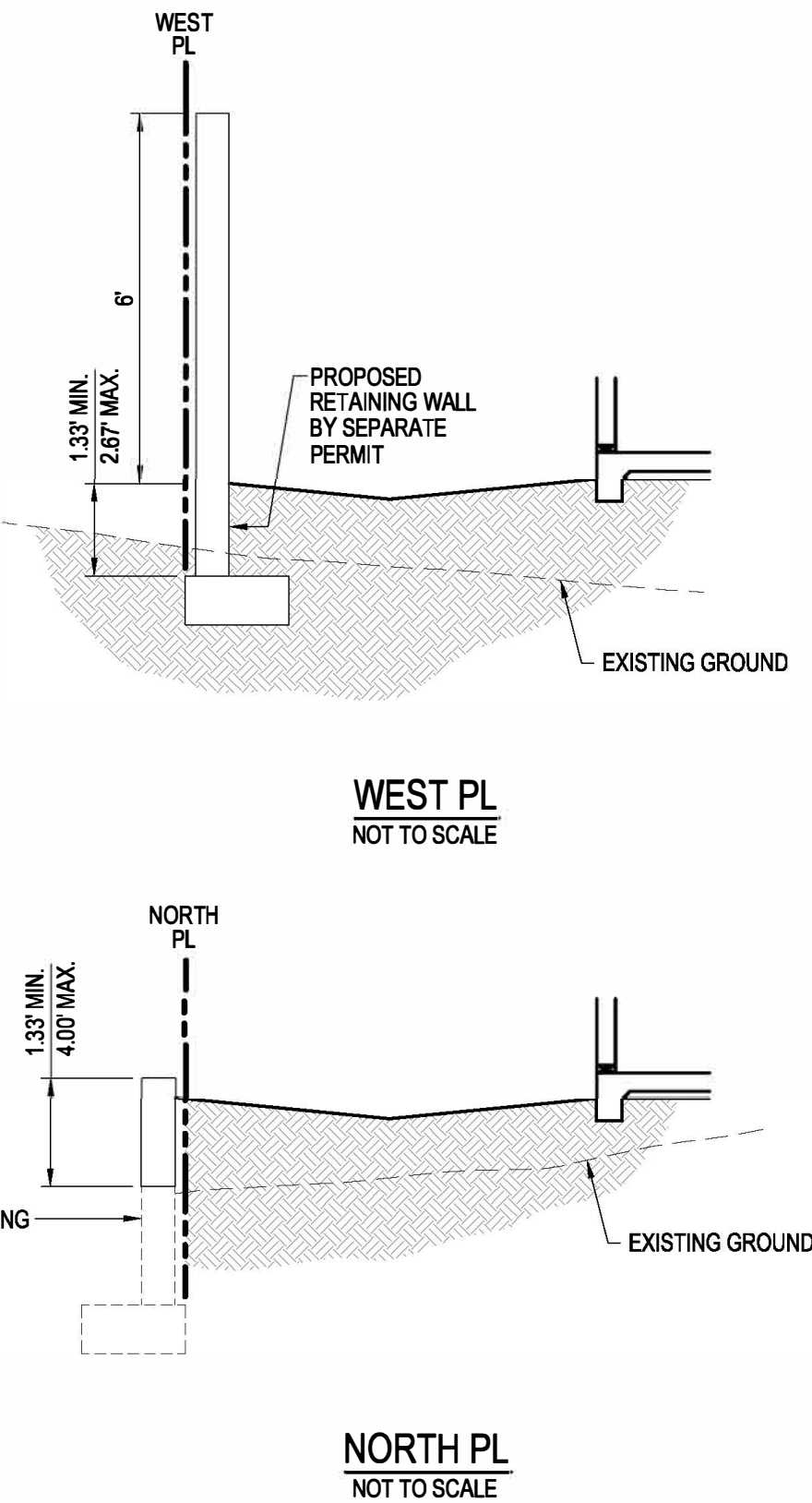
GRADING CONSTRUCTION NOTES:

1. CONSTRUCT 4" A.C. OVER COMPACTED NATIVE SOIL.
2. CONSTRUCT 6" CONCRETE CURB PER SPPWC 120-2 (A1-6) PER DETAIL ON SHEET 9
3. CONSTRUCT 6" CONCRETE CURB & GUTTER PER SPPWC 120-2 (A2-6) PER DETAIL ON SHEET 9
4. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER PER DETAIL ON SHEET 8
5. CONSTRUCT 4" CONCRETE WITH BROOM FINISH
6. CONSTRUCT 12" WIDE CONCRETE LANDSCAPE STRIP PER DETAIL ON SHEET 8
7. CONSTRUCT CONCRETE BLOCK RETAINING WALL PER SEPARATE PERMIT
8. ADD CONCRETE BLOCK COURSES TO EXISTING RETAINING WALL
9. INSTALL PARKING LOT LIGHT PER SEPARATE PERMIT (REFER TO SITE PLAN)
10. YELLOW DETECTABLE WARNING 36" DP. x WIDTH OF RAMP PER DETAIL ON SHEET 8
11. UNAUTHORIZED VEHICLES IN ACCESSIBLE PARKING SIGNAGE PER DETAIL ON SHEET 8
12. ACCESSIBLE PARKING SPACE SIGNAGE PER DETAIL ON SHEET 8
13. NEW PARKING STRIPING PER DETAIL ON SHEET 8
14. INSTALL BROOKS PRODUCTS 2424 CATCH BASIN W/ NYLOPLAST ENVIROHOOD (OR APPROVED EQUAL) PER DETAIL ON SHEET 8
15. CONSTRUCT ACCESSIBLE RAMP PER DETAIL ON SHEET 8
16. CONSTRUCT TRASH ENCLOSURE PER DETAILS ON SHEET 9
17. INSTALL 6" PVC STORM DRAIN TO ELEVATIONS SHOWN ON PLAN
18. INSTALL 8" PVC STORM DRAIN TO ELEVATIONS SHOWN ON PLAN
19. INSTALL 12" PVC STORM DRAIN TO ELEVATIONS SHOWN ON PLAN
20. INSTALL STORMTECH MC-7200 UNDERGROUND RETENTION SYSTEM PER DETAILS ON SHEET 11 & 12
21. EXISTING JOSHUA TREE TO BE REMOVED OR REPLANTED PER THE APPROVED PROTECTED PLANT PLAN
22. CONSTRUCT PILASTER & GATE PER SEPARATE PERMIT
23. INSTALL 4" WROUGHT IRON FENCE
24. INSTALL 6" HIGH WROUGHT IRON FENCE
25. INSTALL 30" NYLOPLAST DRAIN BASIN PER DETAIL ON SHEET 2
26. INSTALL 6" SQUARE AREA DRAIN (NDS 641 OR APPROVED EQUAL)
27. INSTALL KNOX BOX FOR FIRE DEPT. ENTRY
28. CONSTRUCT 2 HIGH CONCRETE BLOCK WALL PER SEPARATE PERMIT
29. CONSTRUCT COMBO CONCRETE BLOCK RETAINING WALL PER SEPARATE PERMIT



SCALE: 1"=20'

SEE SHEET 6



Know what's below.
Call before you dig.

BENCHMARK:

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BRASS DISK IN CONCRETE, LOCATED APPROXIMATELY
22 FEET NORTH OF THE NE COR. BEHIND THE
SIDEWALK AT THE INTERSECTION OF MAIN ST. & MAPLE
ST.

ELEV=3376.492

DESIGNED BY: D.B.W.

DRAWN BY: D.B.W.

CHECKED BY: R.J.A.

SUBMITTED BY:

RAYMOND J. ALLARD RCE No. 36052

DATE



HIGH DESERT MAPPING

Land Surveying - Civil Design

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Apple Valley, CA 92307
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dbw.hdm@gmail.com



CITY OF HESPERIA
ENGINEERING DEPARTMENT

RECOMMENDED FOR APPROVAL BY:

APPROVED BY:

DATE

DATE

CASSANDRA SANCHEZ
R.C.E. 74776 EXP. DATE 12/31/25
CITY ENGINEER

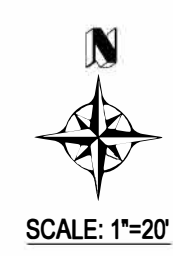
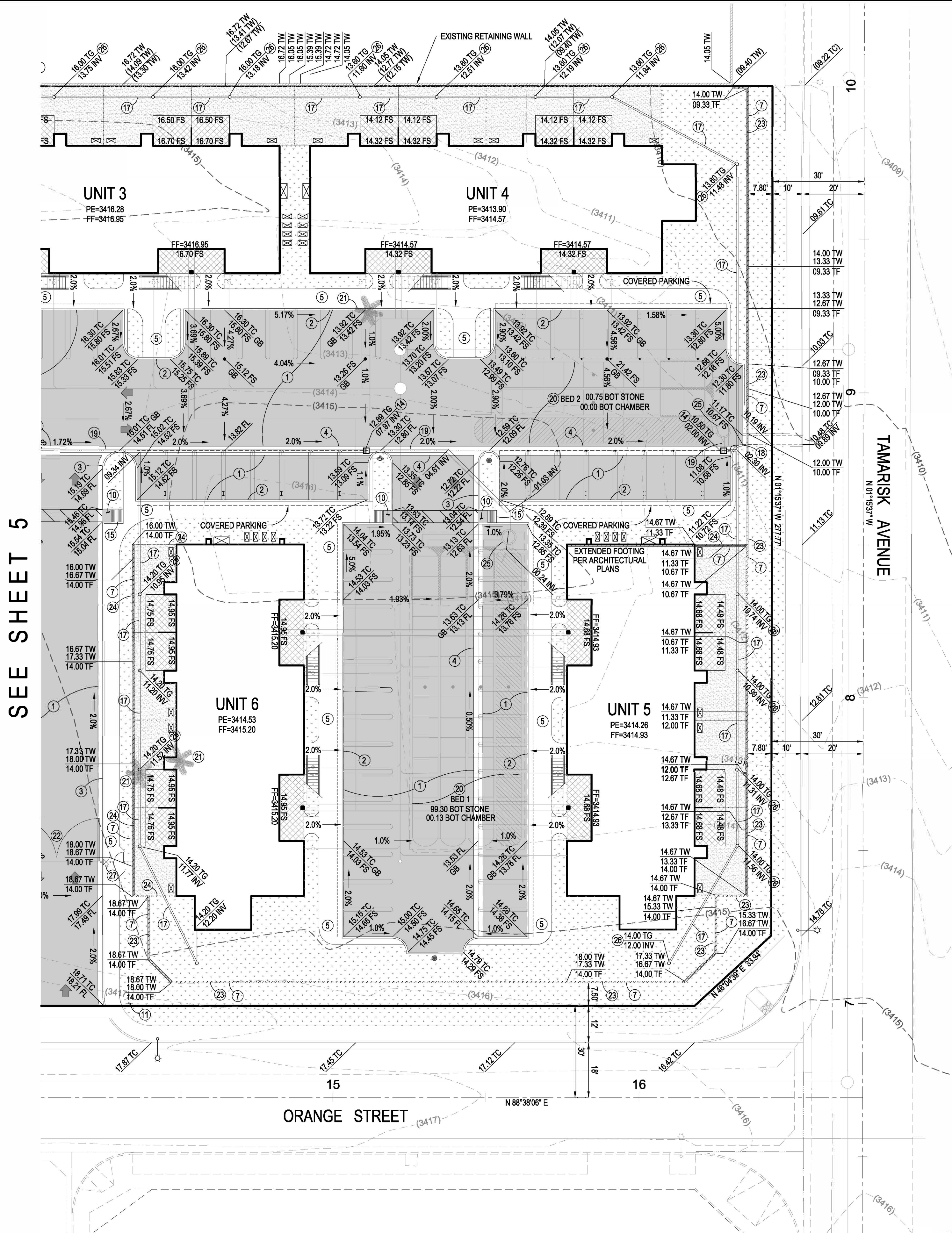
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CITY OF HESPERIA
GRADING PLAN
TAMARISK APARTMENTS
MUNEM MAIDA

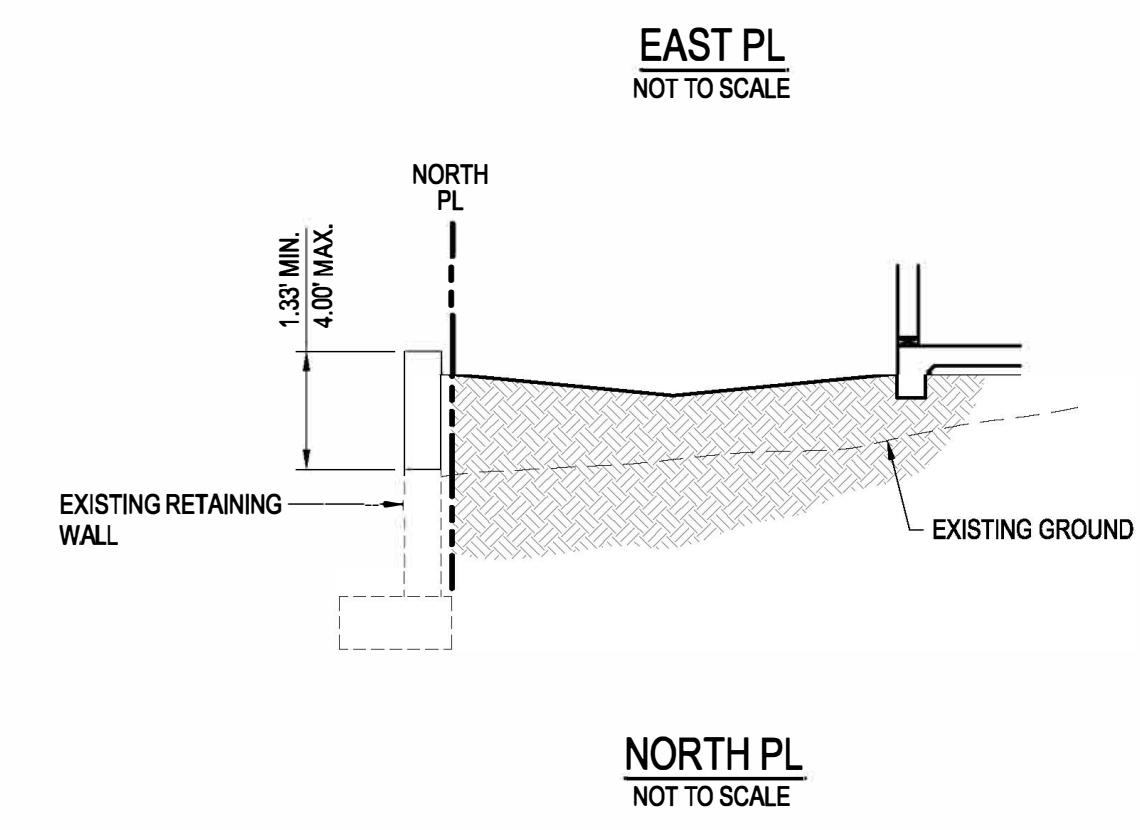
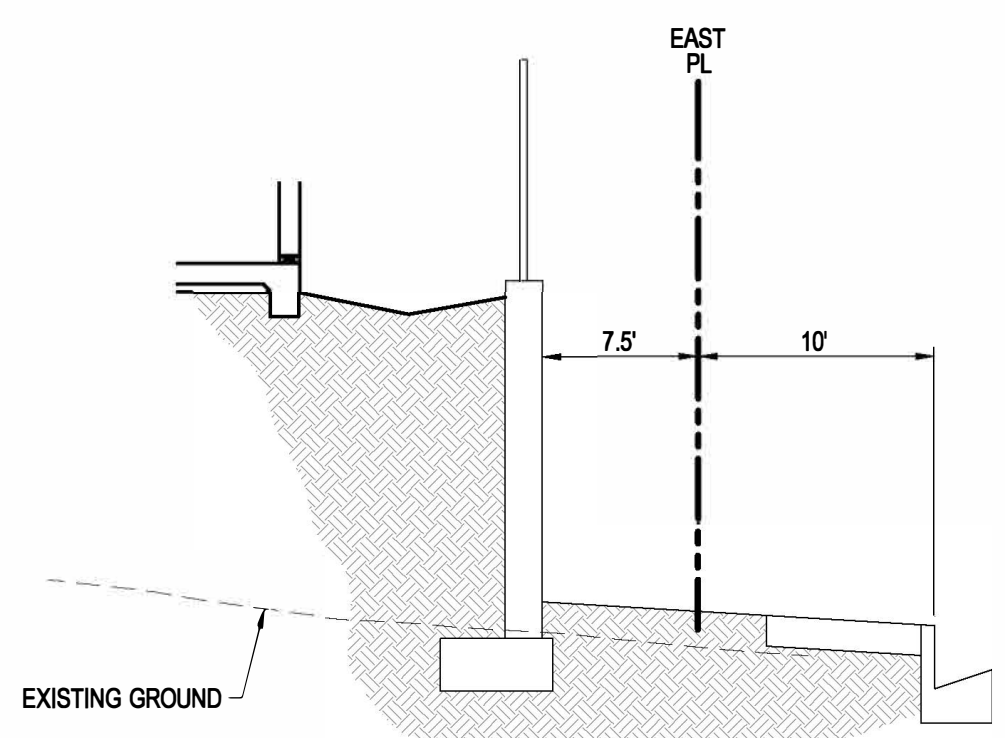
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SHEET
5
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G-1



- GRADING CONSTRUCTION NOTES:**
- 1 CONSTRUCT 4" A.C. OVER COMPACTED NATIVE SOIL
 - 2 CONSTRUCT 6" CONCRETE CURB PER SPPWC 120-2 (A1-6) PER DETAIL ON SHEET 9
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 - 12 ACCESSIBLE PARKING SPACE SIGNAGE PER DETAIL ON SHEET 8
 - 13 NEW PARKING STRIPING PER DETAIL ON SHEET 8
 - 14 INSTALL BROOKS PRODUCTS 2424 CATCH BASIN WNYLOPLAST ENVIROHOOD (OR APPROVED EQUAL) PER DETAIL ON SHEET 8
 - 15 CONSTRUCT ACCESSIBLE RAMP PER DETAIL ON SHEET 8
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Know what's below.
Call before you dig.

BENCHMARK:

"H-18"
BRASS DISK IN CONCRETE, LOCATED APPROXIMATELY 22 FEET NORTH OF THE NE COR. BEHIND THE SIDEWALK AT THE INTERSECTION OF MAIN ST. & MAPLE ST.
ELEV=3376.492

DESIGNED BY: D.B.W.

DRAWN BY: D.B.W.

CHECKED BY: R.J.A.

SUBMITTED BY:

RAYMOND J. ALLARD RCE No. 36052

DATE



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Land Surveying - Civil Design

16704 Neenach Road
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**CITY OF HESPERIA
ENGINEERING DEPARTMENT**

RECOMMENDED FOR APPROVAL BY:

DATE

AUTHORIZED SIGNATURE

APPROVED BY:

CASSANDRA SANCHEZ DATE

R.C.E. 74776 EXP. DATE 12/31/25
CITY ENGINEER

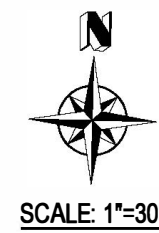
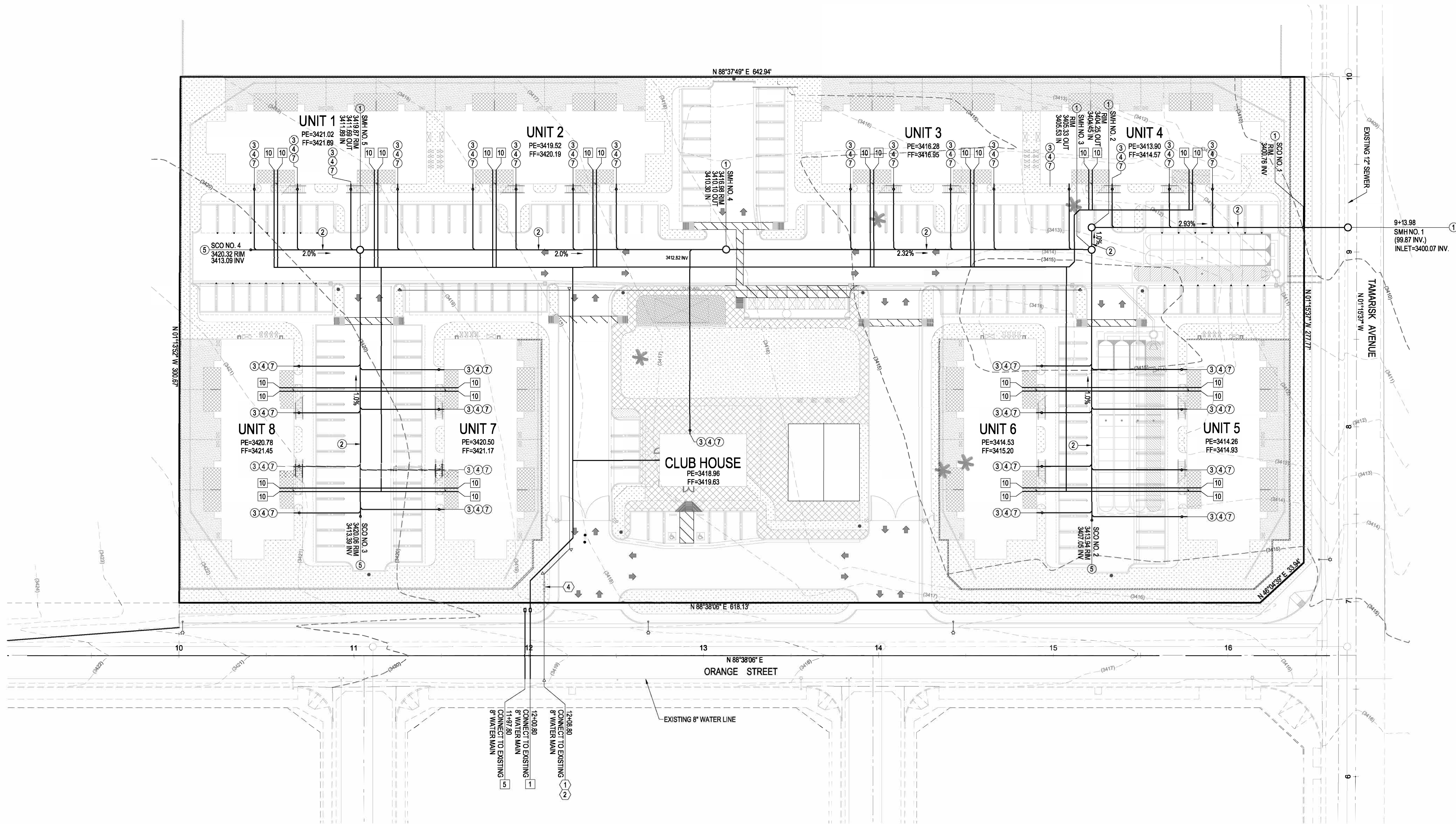
**CITY OF HESPERIA
GRADING PLAN**

**TAMARISK APARTMENTS
MUNEM MAIDA**

APN 3057-121-08

SHEET
6
OF
13

G-2



SEWER CONSTRUCTION NOTES:

- 1 CONSTRUCT STANDARD MANHOLE PER CITY STD. S-4 ON SHEET 10 5 EA.
- 2 INSTALL 8" PVC SDR-35 SEWER LINE 1,025 L.F.
- 3 INSTALL 8" x 6" PVC SDR-35 WYE 33 EA.
- 4 INSTALL 6" PVC SDR-35 SEWER LATERAL @ 2.0% MIN., PER CITY STD. S-9 ON SHEET 10 1,280 L.F.
- 5 INSTALL END OF LINE SEWER CLEAN OUT PER CITY STD. S-13 ON SHEET 10 3 EA.
- 6 INSTALL 8" IN-LINE SEWER CLEAN OUT PER CITY STD. S-14 ON SHEET 10 1 EA.
- 7 INSTALL TWO-WAY SEWER CLEAN OUT PER DETAIL ON SHEET 8 33 EA.

WATER CONSTRUCTION NOTES:

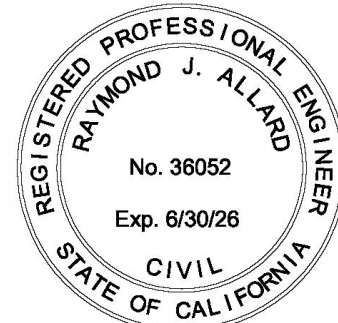
- 1 INSTALL 8"x8"x4" TEE 1 EA.
- 2 INSTALL 4" PVC WATER LINE 1,064 L.F.
- 3 INSTALL 2" PVC WATER LINE 38 L.F.
- 4 INSTALL 8"x8"x2" TEE 1 EA.
- 5 INSTALL 4" WATER SERVICE PER CITY STD. W-11 1 EA.
- 6 INSTALL 1" WATER SERVICE PER CITY STD. W-7 1 EA.
- 7 INSTALL 4" BEND 6 EA.
- 8 INSTALL 4" x 4" x 1" TEE 15 EA.
- 9 INSTALL 1" PVC WATER LINE 1,623 L.F.
- 10 INSTALL 4" TEE 3 EA.
- 11 INSTALL 4" x 4" x 1" x 1" CROSS 6 EA.
- 12 INSTALL 4" x 1" ELBOW 2 EA.

FIRE CONSTRUCTION NOTES:

- 1 INSTALL 8"x8"x6" TEE 1 EA.
- 2 CONSTRUCT THRUST BLOCK PER CITY STD. W-4 ON SHEET 10 4 EA.
- 3 INSTALL 6" C900 DR18 PVC FIRE LINE 613 L.F.
- 4 INSTALL 6" D.D.C.A. PER CITY STD. W-15 ON SHEET 10 1 EA.
- 5 INSTALL 6" BEND 2 EA.
- 6 INSTALL 6" TEE 1 EA.
- 7 CONSTRUCT FIRE HYDRANT ASSEMBLY PER CITY STD. W-2 ON SHEET 10 2 EA.



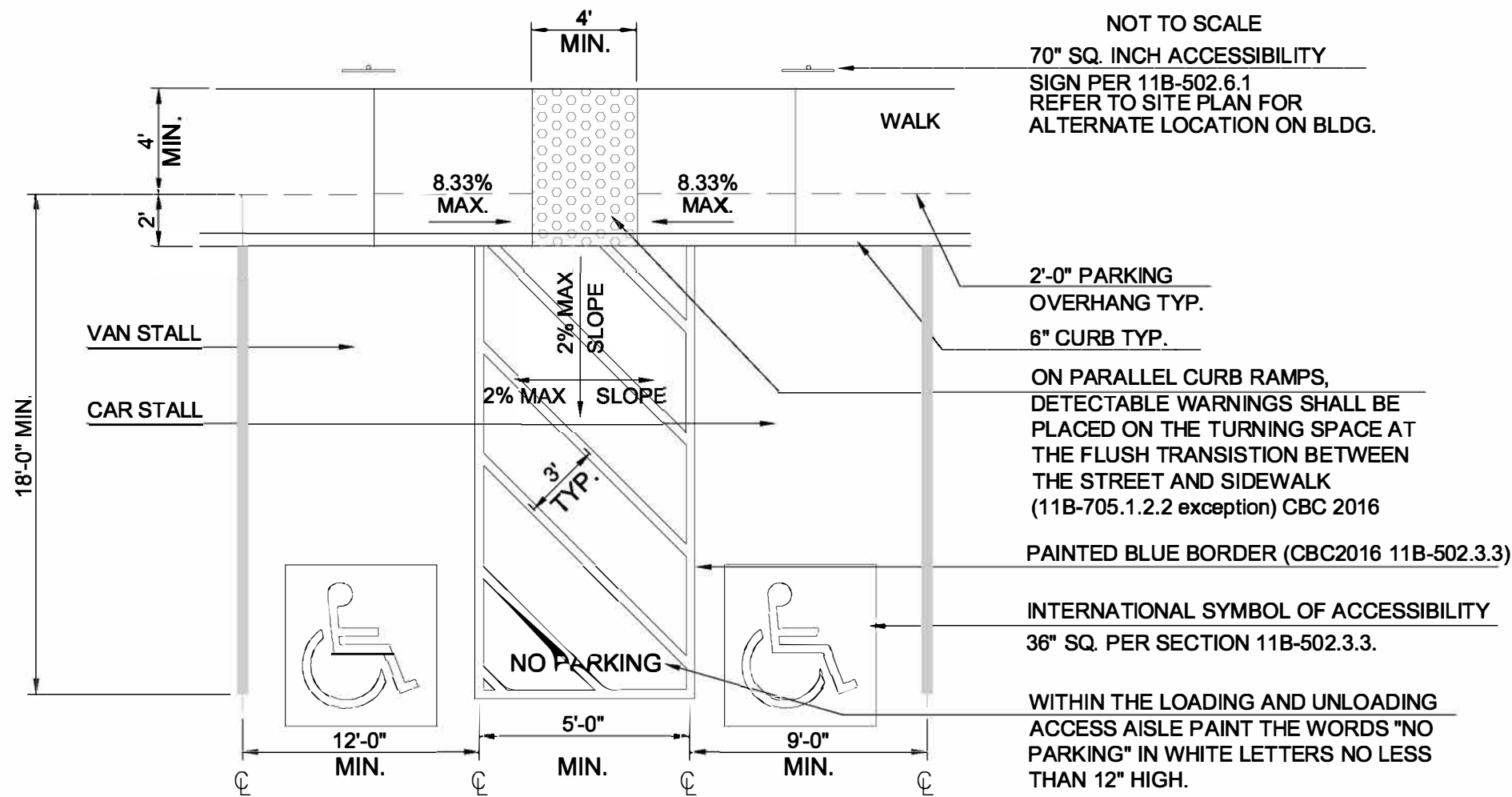
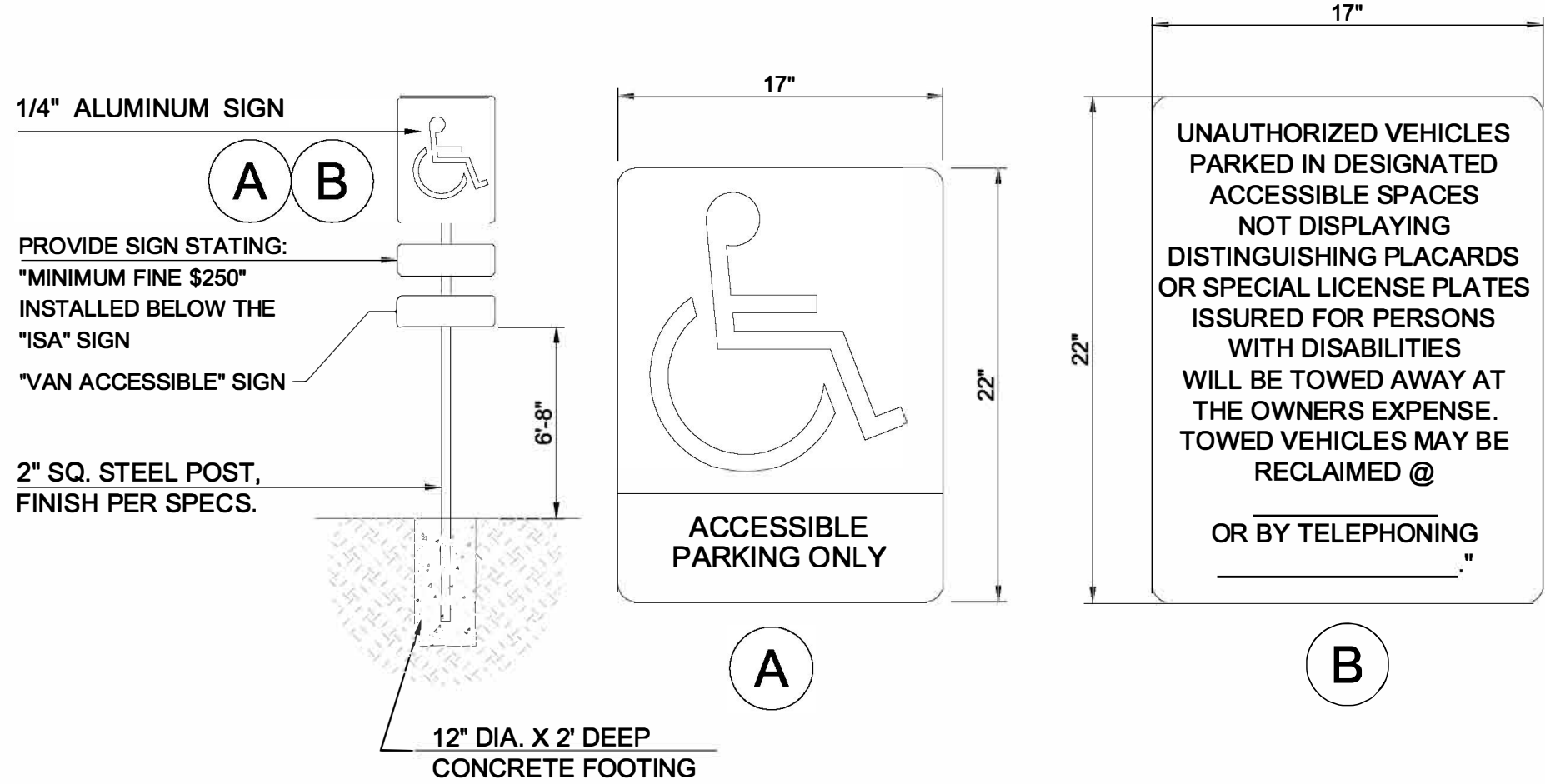
Know what's below.
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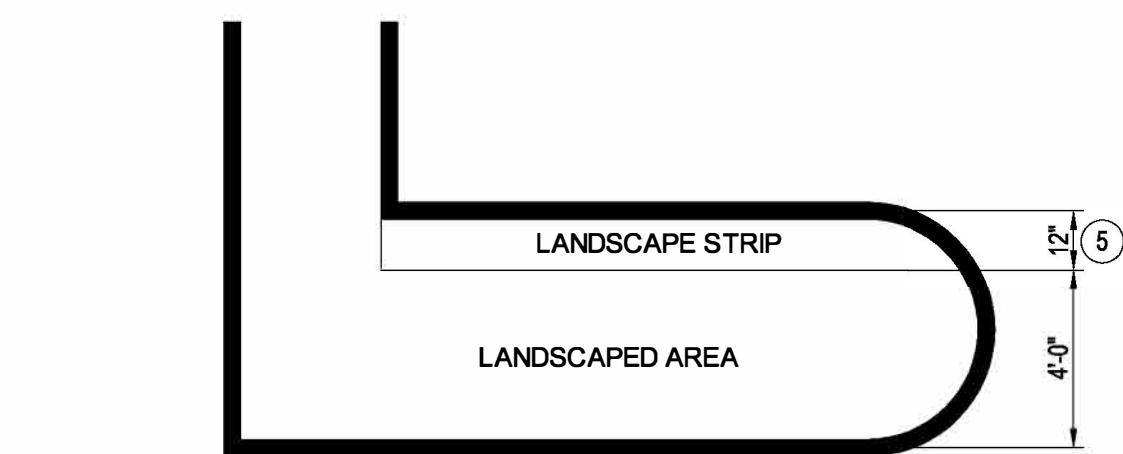
BENCHMARK: "H-18" BRASS DISK IN CONCRETE, LOCATED APPROXIMATELY 22 FEET NORTH OF THE NE COR. BEHIND THE SIDEWALK AT THE INTERSECTION OF MAIN ST. & MAPLE ST. ELEV=3376.492				DESIGNED BY: <u>D.B.W.</u> DRAWN BY: <u>D.B.W.</u> CHECKED BY: <u>R.J.A.</u> SUBMITTED BY:	 HIGH DESERT MAPPING Land Surveying - Civil Design 16704 Neenach Road Apple Valley, CA 92307 (760) 508-8555 dbw.hdm@gmail.com	 CITY OF HESPERIA ENGINEERING DEPARTMENT RECOMMENDED FOR APPROVAL BY: _____ DATE _____ AUTHORIZED SIGNATURE _____	APPROVED BY: _____ DATE _____ CASSANDRA SANCHEZ R.C.E. 74776 EXP. DATE 12/31/25 CITY ENGINEER	CITY OF HESPERIA UTILITY PLAN TAMARISK APARTMENTS MUNEM MAIDA APN 3057-121-08	SHEET 7 OF 13 U-1
REV.	DESCRIPTION	DATE	BY	RAYMOND J. ALLARD RCE No. 36052					

SIGNAGE AND IDENTIFICATION

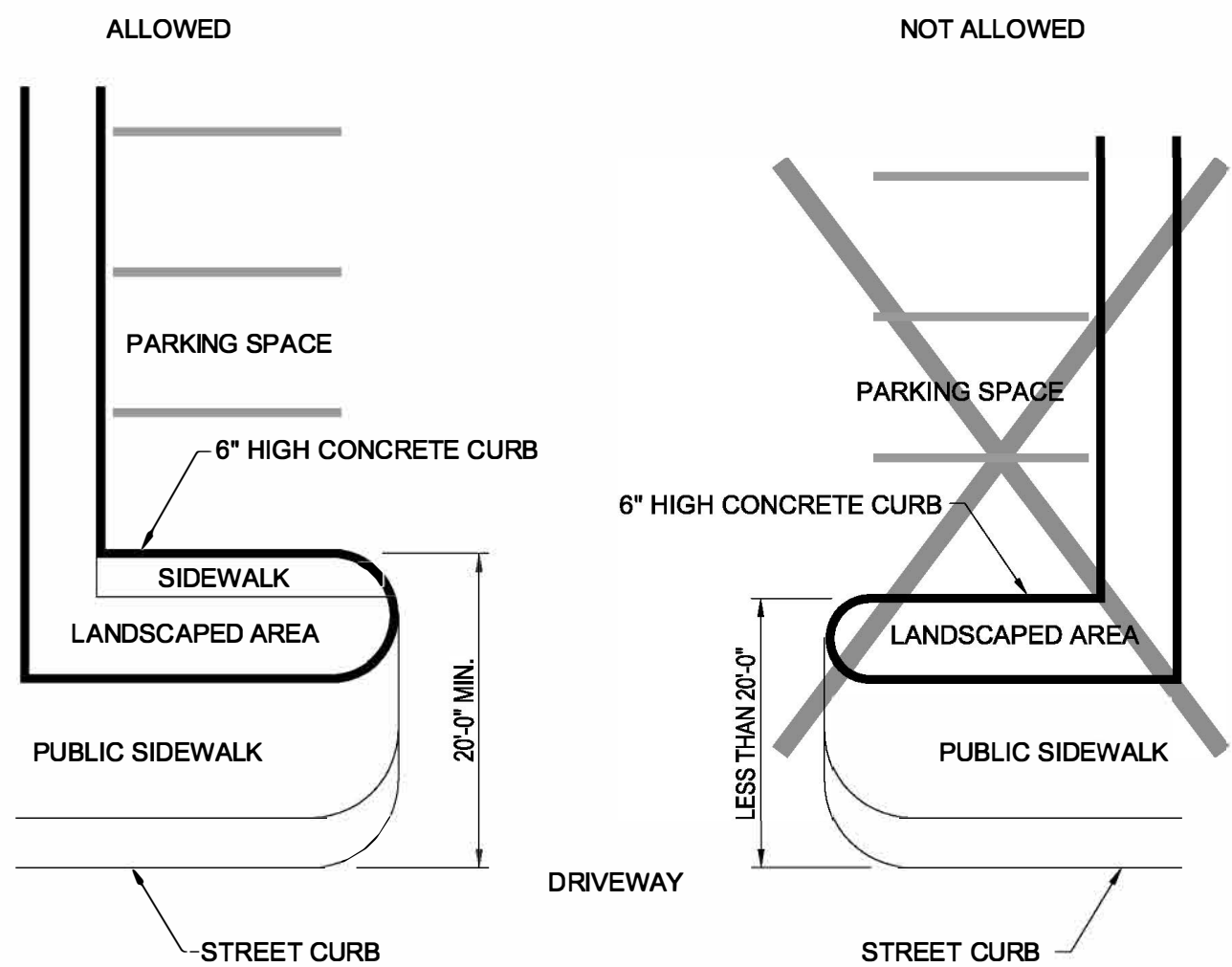
1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO. 15090 IN FEDERAL STANDARD 595C.
2. EACH PARKING SPACE RESERVED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED BY A REFLECTORIZED SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE CONSISTING OF A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE ON DARK BLUE BACKGROUND. THE SIGN SHALL NOT BE SMALLER THAN 70 SQUARE INCHES IN AREA AND, WHEN IN A PATH OF TRAVEL, SHALL BE POSTED AT A MINIMUM HEIGHT OF 80" FROM THE BOTTOM OF THE SIGN TO THE PARKING SPACE FINISHED GRADE. (FIGURE "A" BELOW)
3. AN ADDITIONAL SIGN SHALL ALSO BE POSTED, IN A CONSPICUOUS PLACE, AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES, OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE. THE SIGN SHALL BE NOT LESS THAN 17" BY 22" IN SIZE WITH LETTERING NOT LESS THAN 1" IN HEIGHT. (FIGURE "B" BELOW. H. THE SURFACE OF EACH ACCESSIBLE PARKING SPACE OR STALL SHALL HAVE A SURFACE IDENTIFICATION DUPLICATING EITHER OF THE FOLLOWING SCHEMES: BY OUTLINING OR PAINTING THE STALL OR SPACE IN BLUE AND OUTLINING ON THE GROUND IN THE STALL OR SPACE IN WHITE OR SUITABLE CONTRASTING COLOR A PROFILE VIEW DEPICTING A WHEELCHAIR WITH OCCUPANT, OR BY OUTLINING A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE ON BLUE BACKGROUND. THE PROFILE VIEW SHALL BE LOCATED SO THAT IT IS VISIBLE TO A TRAFFIC ENFORCEMENT OFFICER WHEN A VEHICLE IS PROPERLY PARKED IN THE SPACE AND SHALL BE 36" HIGH BY 36" WIDE.



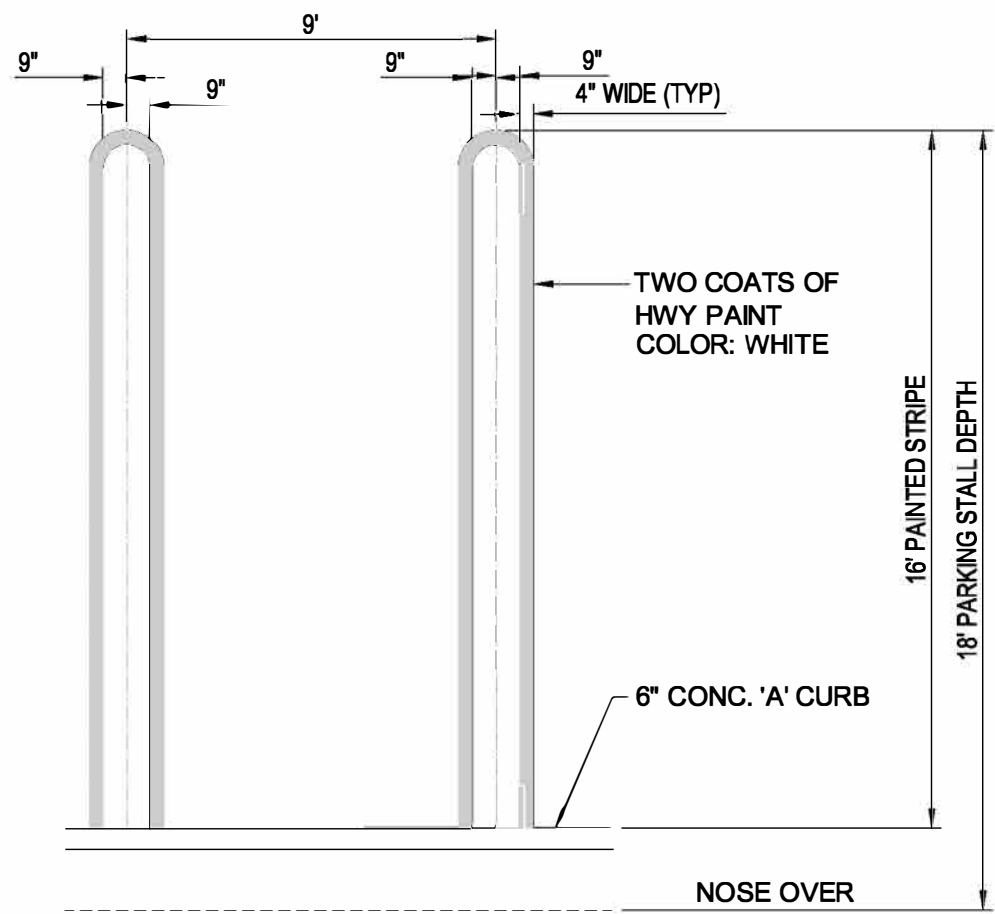
ACCESSIBLE PARKING DBL. SPACES
NOT TO SCALE



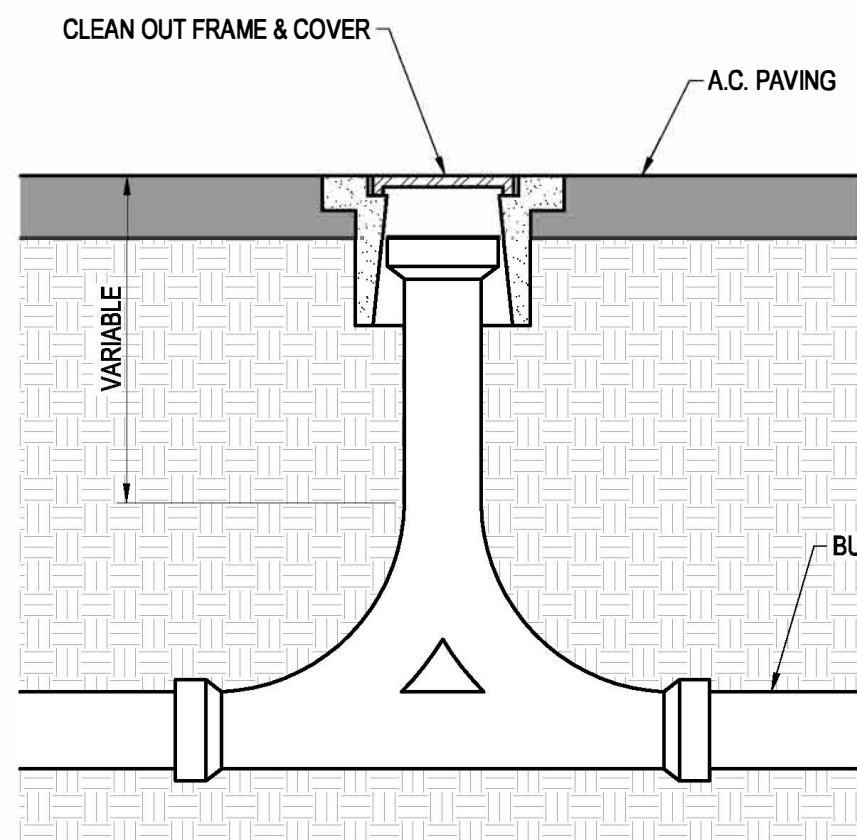
PARKING SPACE SEPARATION FROM STREET



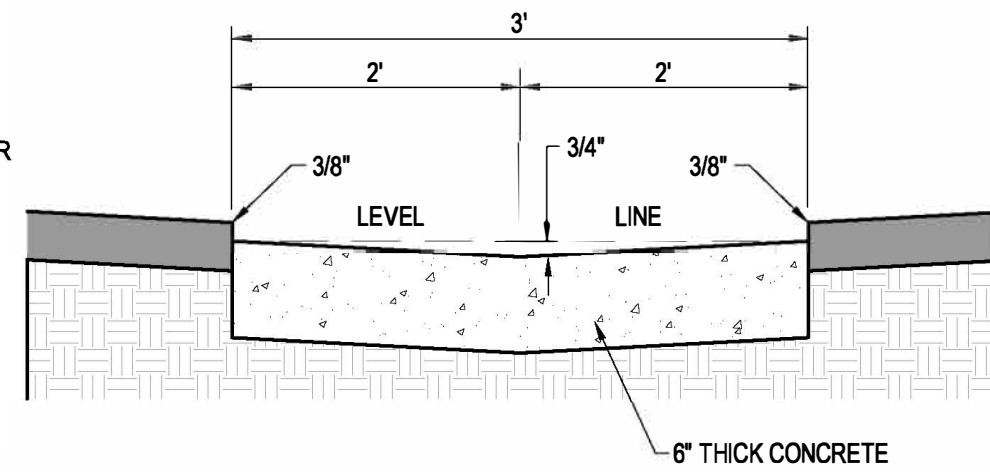
ONE-FOOT WIDE SIDEWALK AND
PARKING SEPARATION REQUIREMENTS



TYPICAL PARKING STRIPING

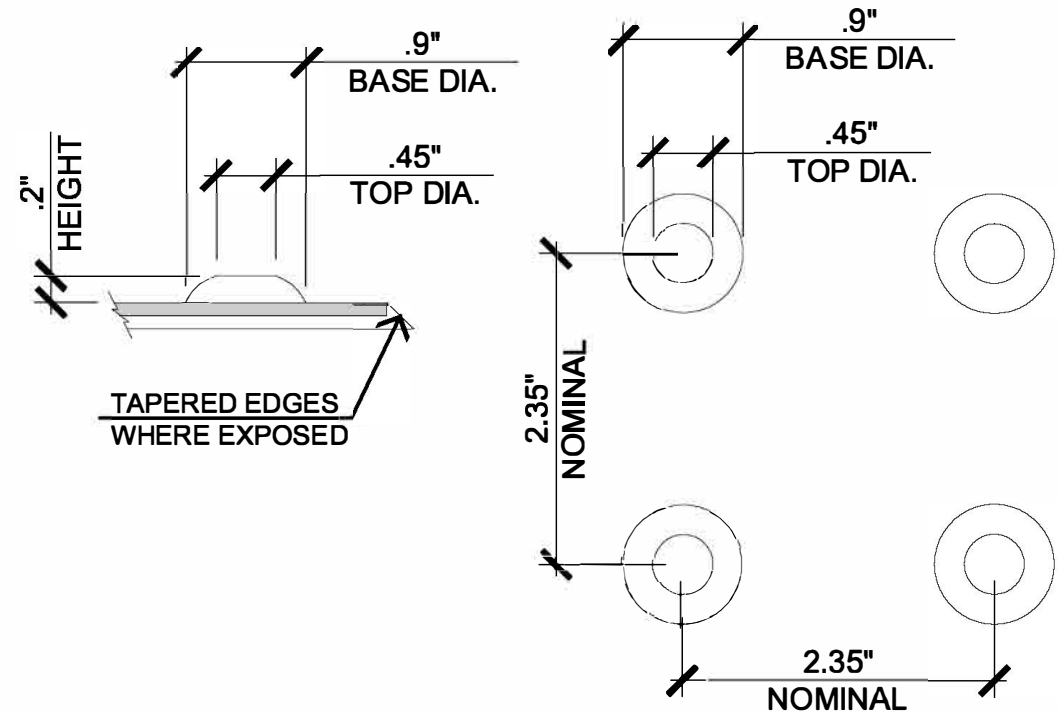


4" TWO-WAY SEWER CLEAN OUT



3' WIDE CONCRETE RIBBON GUTTER

TRUNCATED DOMES DETAIL



DETECTABLE WARNINGS

CURB RAMPS - DETECTABLE WARNINGS AT CURB RAMPS SHALL EXTEND 36" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND TO THE FULL WIDTH OF THE RAMP RUN LESS 2" MAX EACH SIDE - 11B-705.1.2.2. TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9" AT THE BASE TAPERING TO 0.45" AT THE TOP, A HEIGHT OF NOMINAL 0.2 INCH AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35" IN COMPLIANCE WITH FIGURE 11B-705.1 THE DETECTABLE WARNING SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE.

ONLY APPROVED DSA-AC DETECTABLE WARNING PRODUCTS AND DIRECTIONAL SURFACES SHALL BE INSTALLED AS PROVIDED IN CCR, TITLE 24, PART 1, ARTICLES 2,3 AND 4.

FOR ALL ZERO CURB FACE OR OTHER HAZARDOUS VEHICLE AREAS PER THE 2019 CBC 11B-247.1.2.5 - HAZARDOUS VEHICLE AREAS. IF A WALK CROSSES OR ADJOINS A VEHICULAR WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS, OR OTHER ELEMENTS BETWEEN THE PEDESTRIAN AREAS AND VEHICULAR AREAS, THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING COMPLYING WITH SECTIONS 11B-705.1.1 AND 11B-705.1.2.5

DETECTABLE WARNINGS MUST COMPLY WITH SECTION 11B705.1.1.3.1. THE DETECTABLE WARNINGS SHALL BE YELLOW CONFORMING TO FS 33538 OF FEDERAL STANDARD 595C

2424 CAST IRON GRATE 112 lbs.

2424 STEEL GRATES

2424 TOP SECTION (WITH GALVANIZED FRAME)

2424 LOWER SECTION (NO FRAME)

2424 STEEL COVER

2424 BOTTOM SECTION (WITH OR WITHOUT FRAME)

NOTES:

- GRATES AND COVERS AVAILABLE PAINTED BLACK OR GALVANIZED
- "ADA" GRATES AVAILABLE IN PARKWAY & TRAFFIC
- "HEEL PROOF" GRATES AVAILABLE IN PARKWAY ONLY
- A TOP SECTION WITH FRAME MUST BE USED IF BOLD DOWN REQUIRED

TOP SECTION	HT.	LBS	KNOCK-OUTS
2424 T6	6"	270	NONE
2424 T12	12"	495	(4) 6" x 11"
2424 T18	18"	745	(4) 9" x 12"
2424 T24	24"	870	(4) 14" x 14"

EXTENSION SECTION	HT.	LBS	KNOCK-OUTS
2424 E6	6"	270	NONE

LOWER SECTION	HT.	LBS	KNOCK-OUTS
2424 L12	12"	495	(4) 6" x 11"
2424 L18	18"	745	(4) 9" x 12"
2424 L24	24"	870	(4) 14" x 14"

BOTTOM SECTION	HT.	LBS	KNOCK-OUTS
2424 B30	30"	1595	(4) 18" x 18"
2424 B36	36"	1905	(4) 18" x 18"

24" x 24" CATCH BASIN

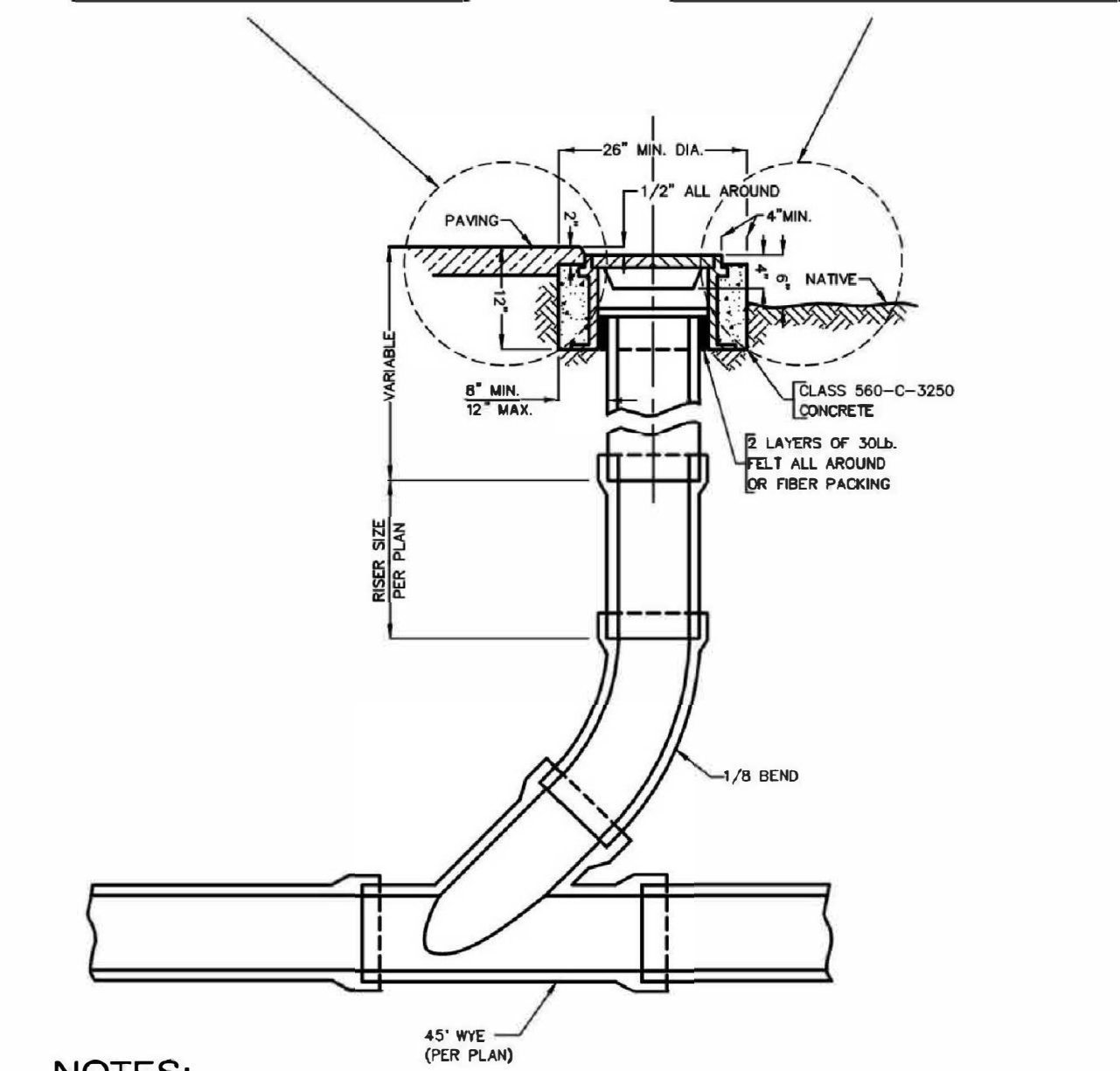
2424 CB

BROOKS PRODUCTS

DRG DWG DATE: 11-23-99 REV DWG DATE: 02-28-99

DETAIL FOR CLEANOUT
IN PAVED SURFACES

DETAIL FOR CLEANOUT
IN UNPAVED SURFACES



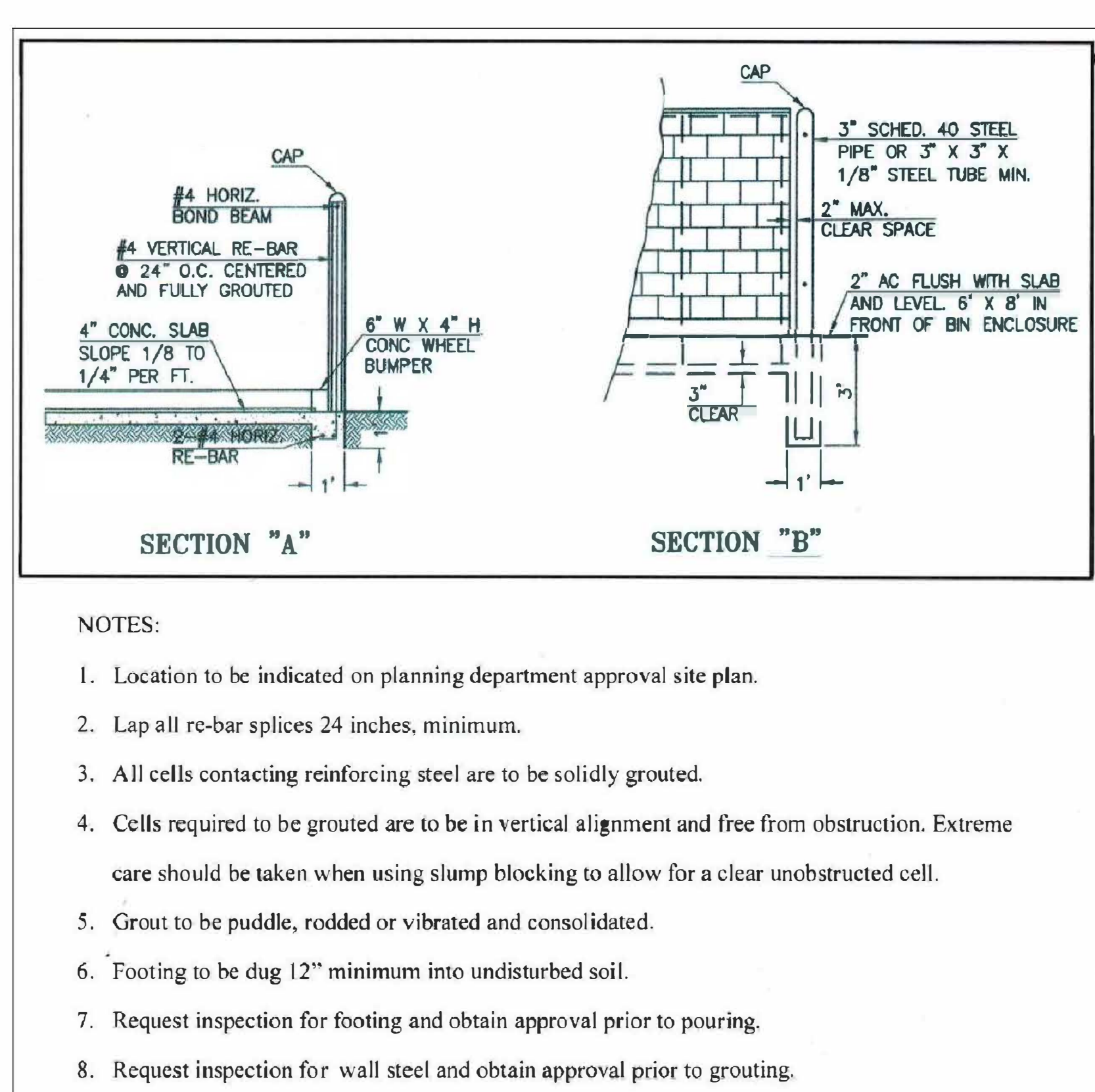
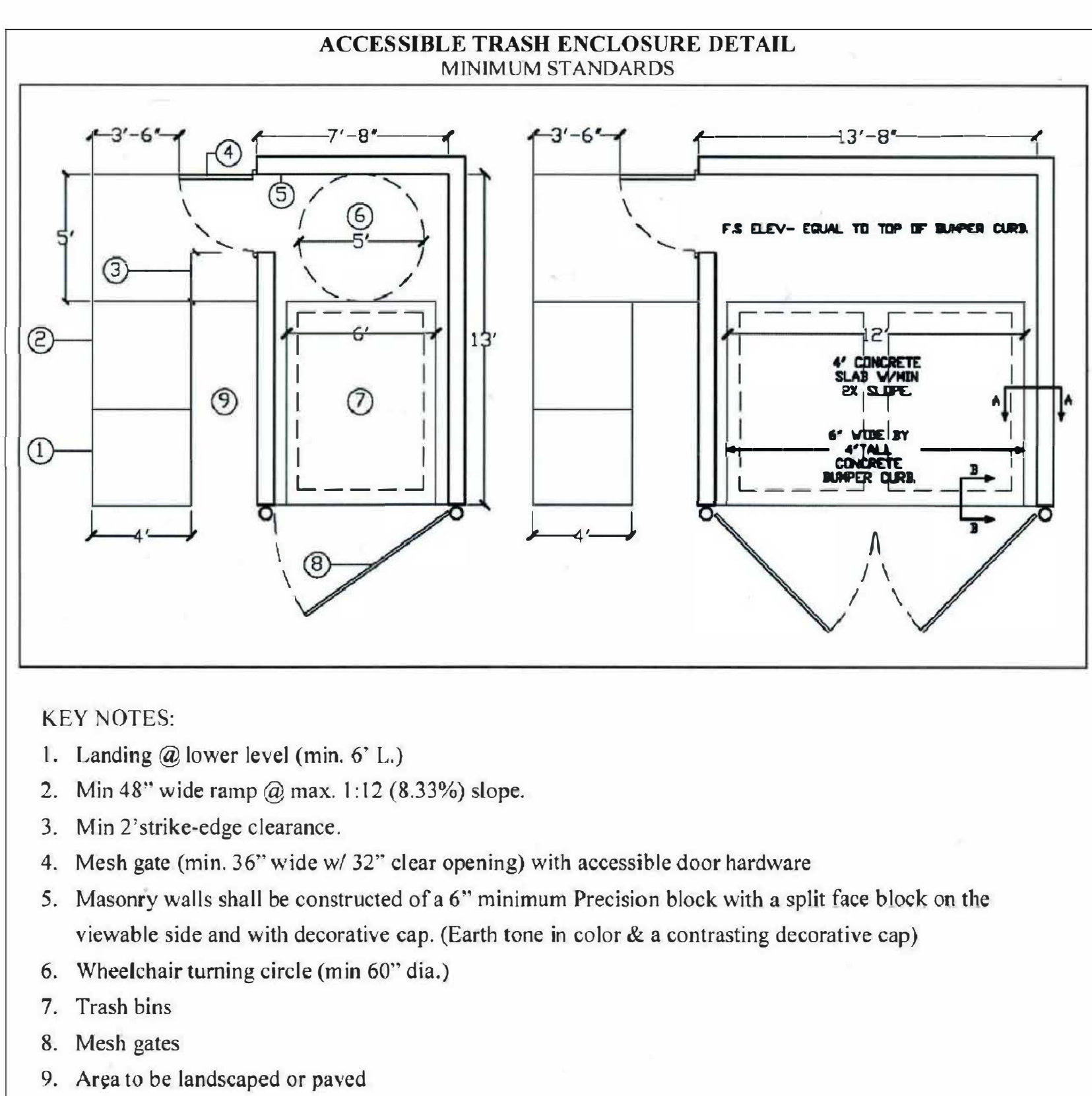
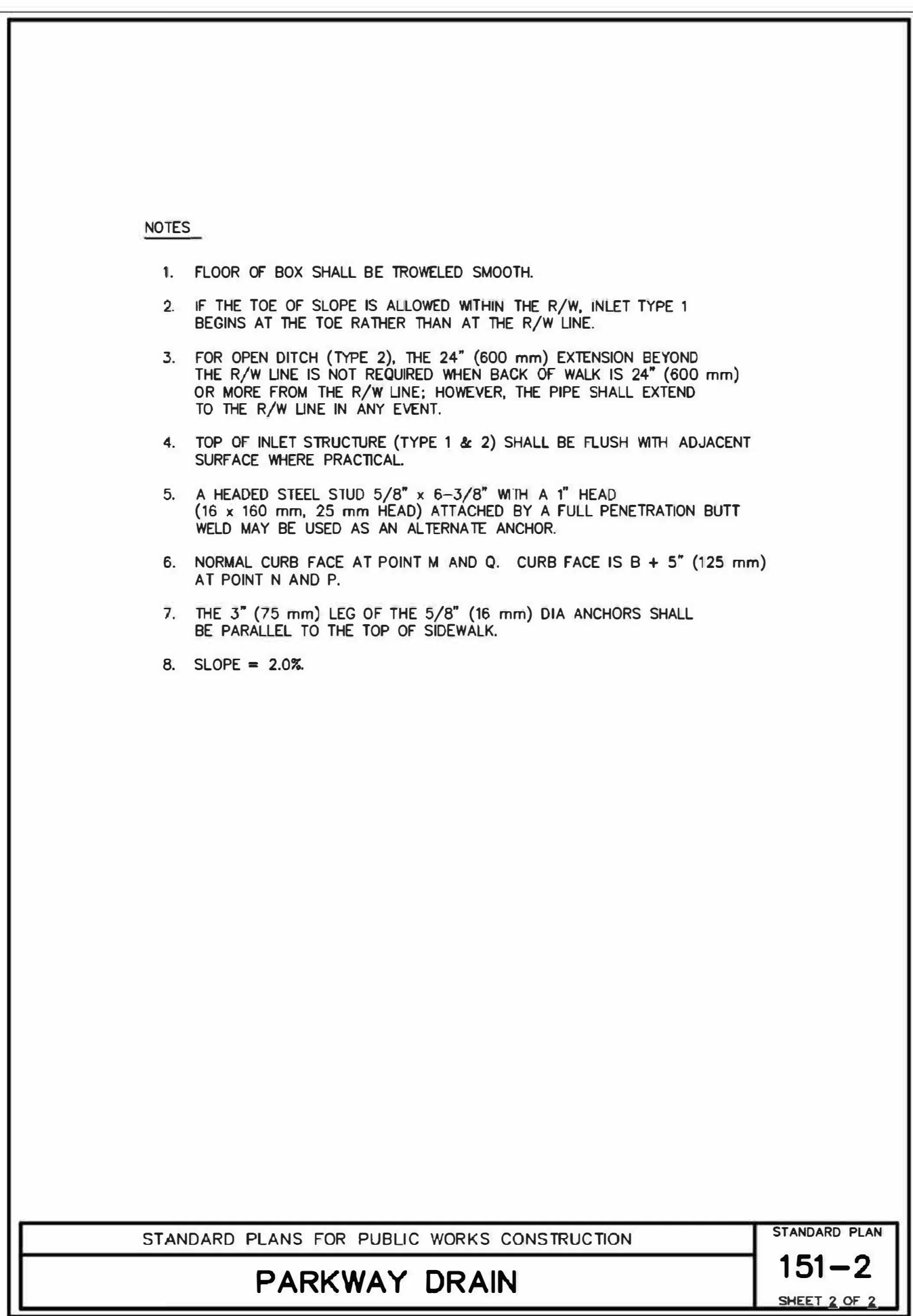
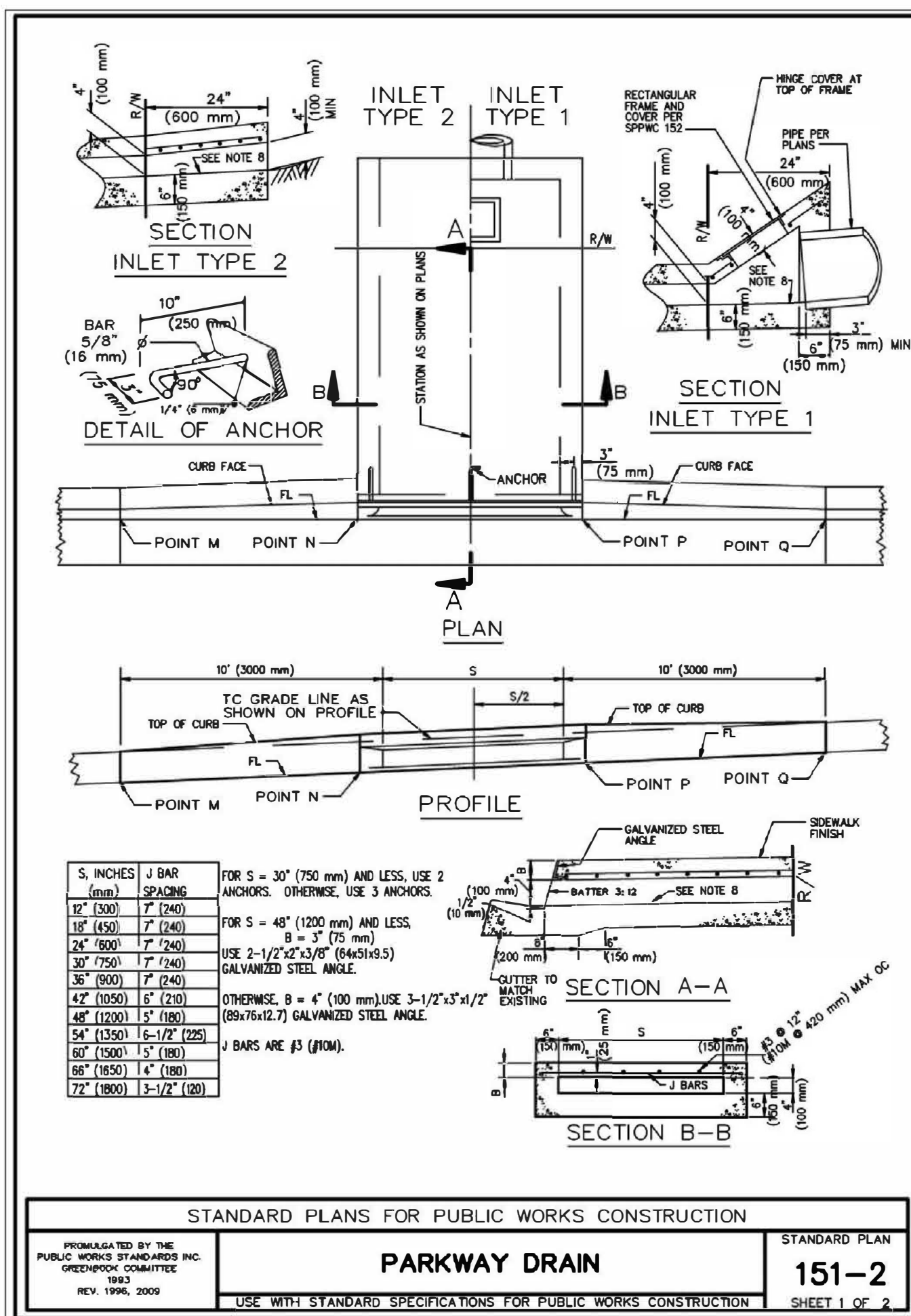
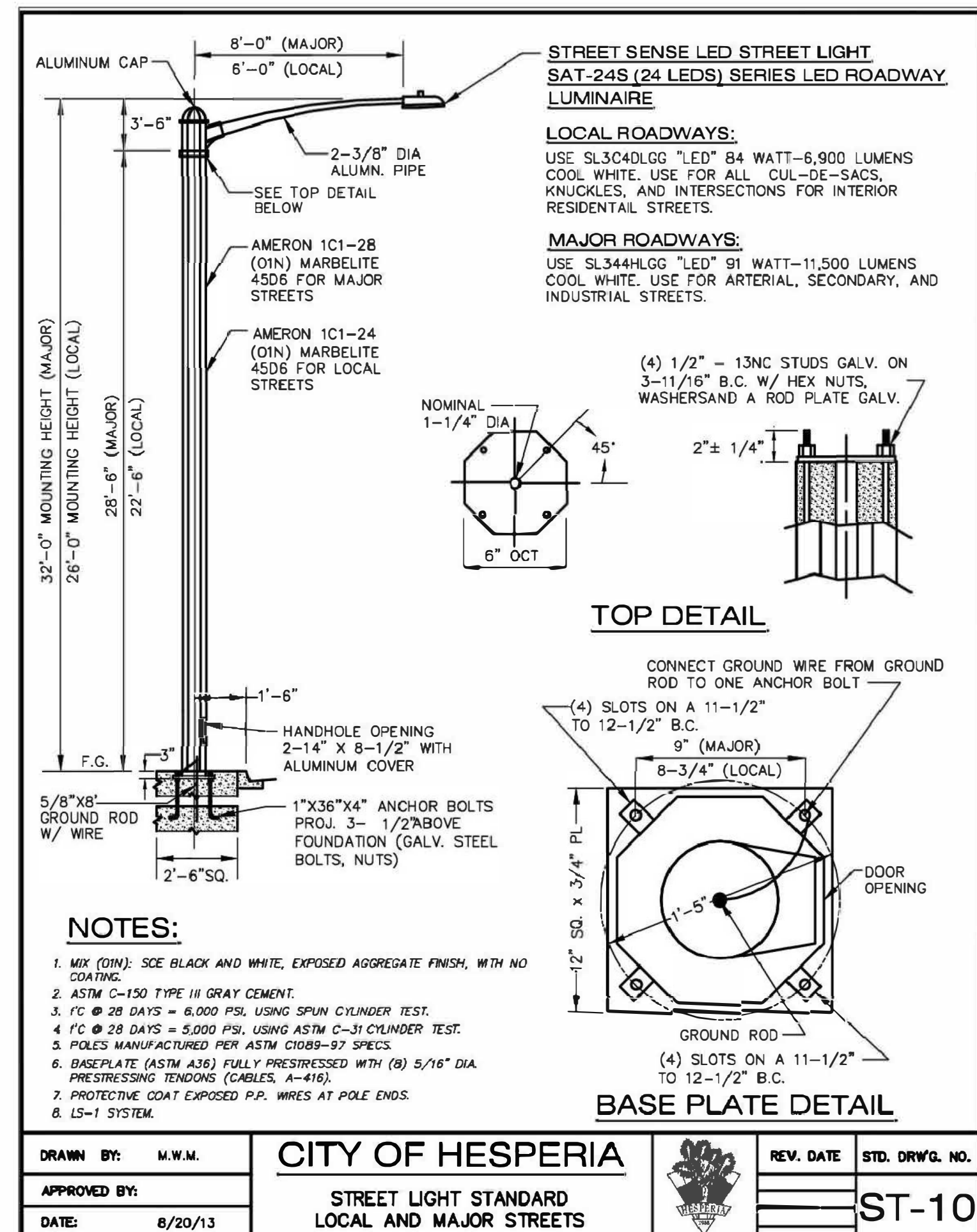
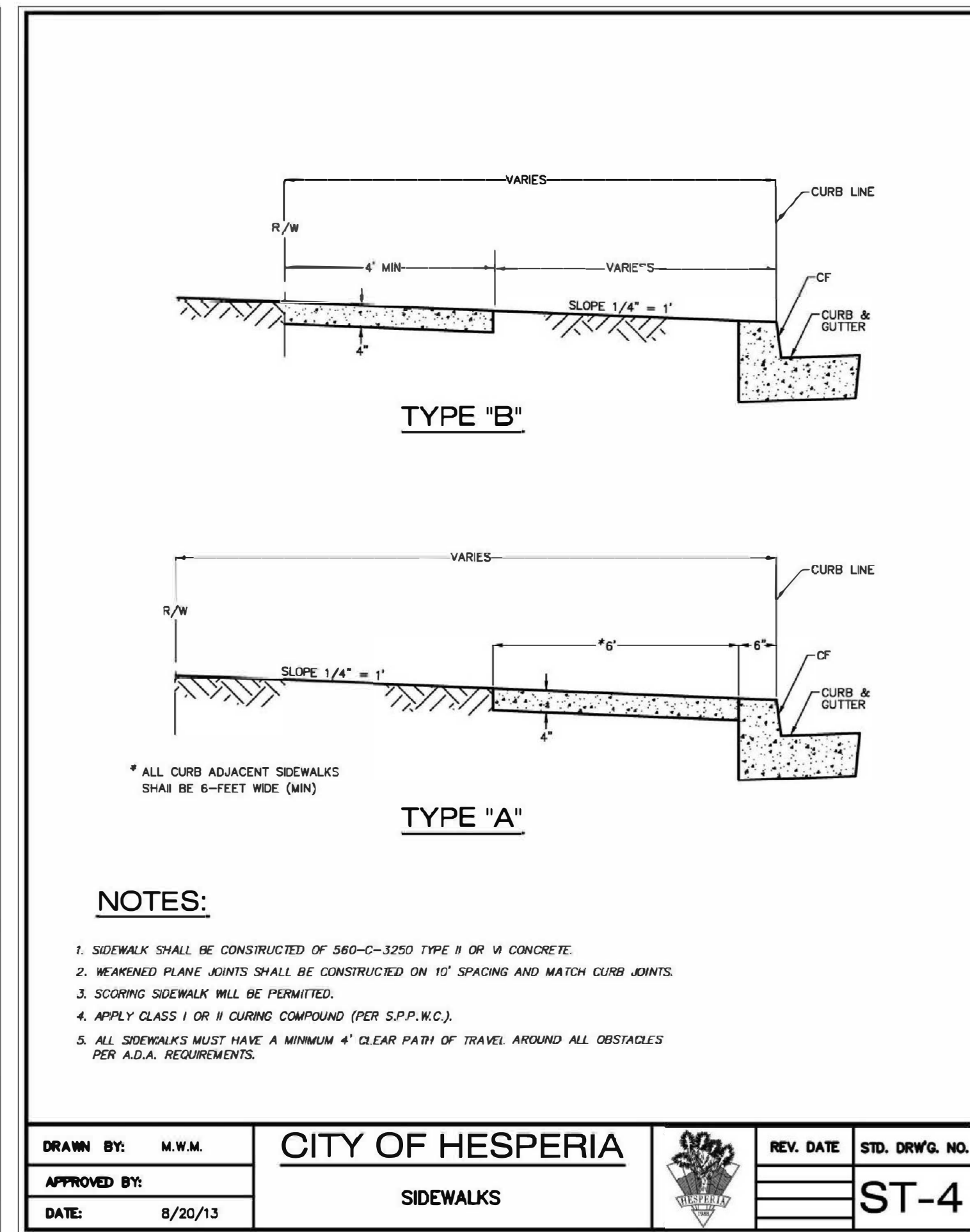
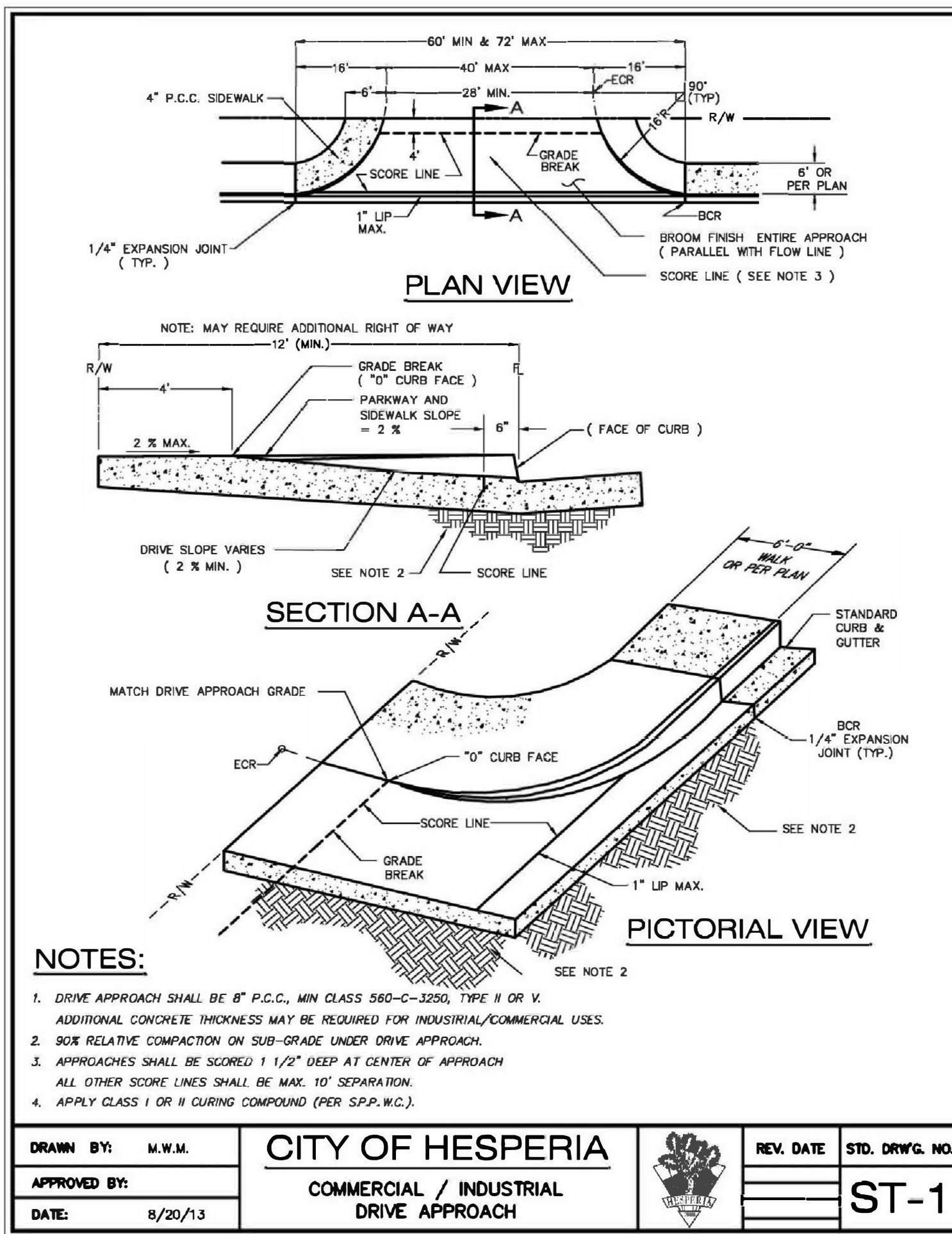
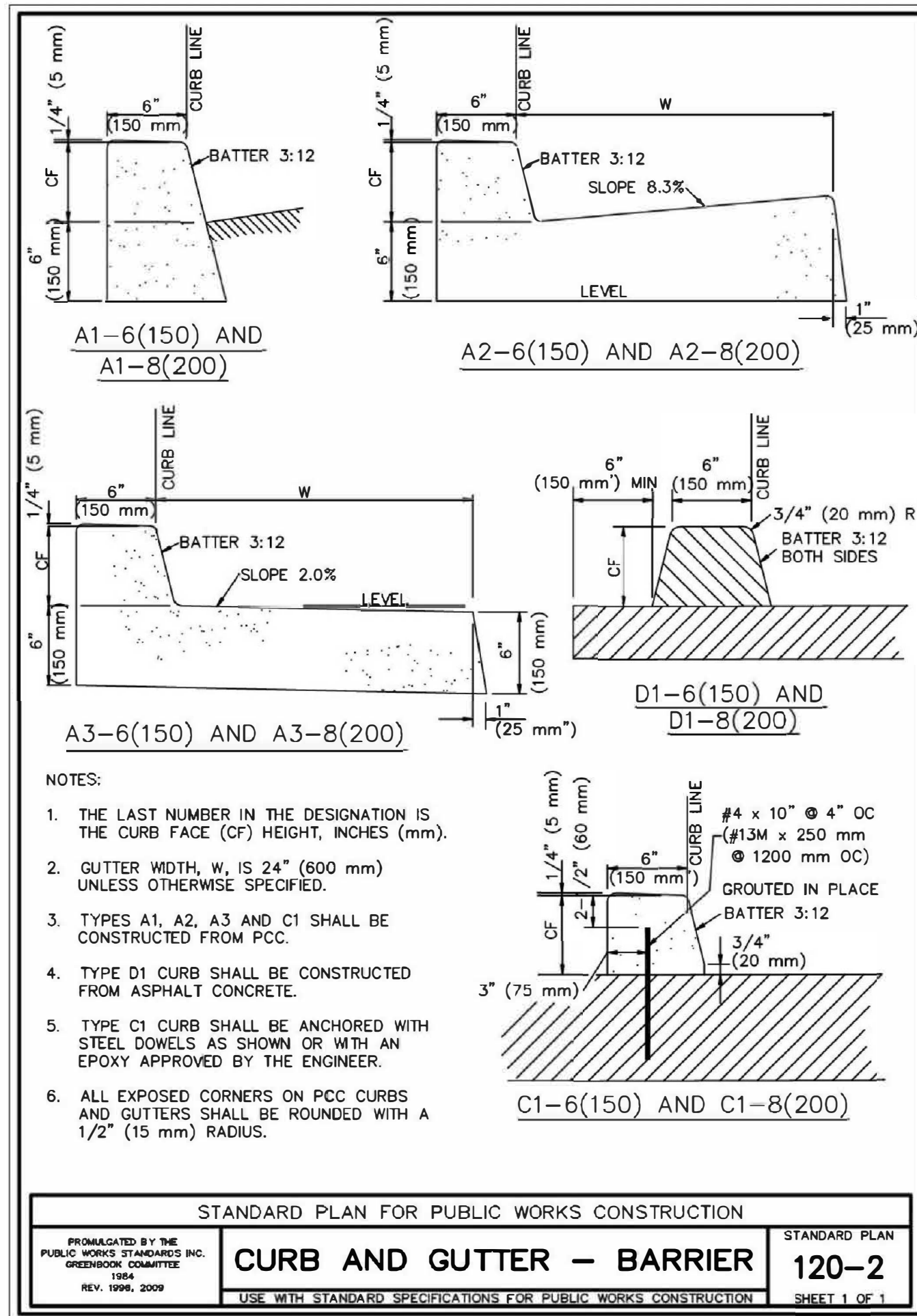
NOTES:

- THE EXCAVATED TRENCH FOR THIS CLEAN-OUT DETAIL SHALL BE REFILLED TO SUBGRADE WITH ROCK OR GRAVEL WHICH SHALL BE TAMPED UNTIL FIRM AND UNWEAVING
- SHOULD A FIRM AND UNWEAVING FOUNDATION BE UNOBTAINABLE BY THIS METHOD A CONCRETE PIPE CRADLE SHALL BE USED
- CAST IRON FRAME AND COVER PER SOUTH BAY FOUNDRY #1240, #1241 OR APPROVED EQUAL, WITH 12" DIAMETER COVER MARKED PER SPECIFICATIONS.

DRAWN BY: M.W.M.	CITY OF HESPERIA	REV. DATE	STD. DWG. NO.
APPROVED BY:	IN-LINE CLEANOUT DETAIL		S-14
DATE: 8/20/13			



REV.	DESCRIPTION	DATE	BY	BENCHMARK: "H-18" BRASS DISK IN CONCRETE, LOCATED APPROXIMATELY 22 FEET NORTH OF THE NE ECR, BEHIND THE SIDEWALK AT THE INTERSECTION OF MAIN ST. & MAPLE ST. ELEV=3378.492	DESIGNED BY: D.B.W. DRAWN BY: D.B.W. CHECKED BY: R.J.A. SUBMITTED BY:	RAYMOND J. ALLARD RCE No. 36052	DATE	HIGH DESERT MAPPING Land Surveying - Civil Design 16704 Neenach Road Apple Valley, CA 92307 (760) 508-8555 dbw.hdm@gmail.com	CITY OF HESPERIA ENGINEERING DEPARTMENT RECOMMENDED FOR APPROVAL BY: DATE AUTHORIZED SIGNATURE	APPROVED BY: CASSANDRA SANCHEZ R.C.E. 74776 EXP. DATE 12/31/25 CITY ENGINEER	CITY OF HESPERIA DETAILS TAMARISK APARTMENTS MUNEM MAIDA APN 3057-121-08	SHEET 8 OF 13 D-1
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Know what's below.
Call before you dig.

BENCHMARK:

"H-18"

BRASS DISK IN CONCRETE, LOCATED APPROXIMATELY 22 FEET NORTH OF THE NE COR. BEHIND THE SIDEWALK AT THE INTERSECTION OF MAIN ST. & MAPLE ST.

ELEV=3378.492

DESIGNED BY: D.B.W.

DRAWN BY: D.B.W.

CHECKED BY: R.J.A.

SUBMITTED BY:

RAYMOND J. ALLARD RCE No. 36052

DATE



HIGH DESERT MAPPING

Land Surveying - Civil Design

16704 Neenach Road
Apple Valley, CA 92307
(760) 508-8555

dbw.hdm@gmail.com



CITY OF HESPERIA ENGINEERING DEPARTMENT

RECOMMENDED FOR APPROVAL BY:

DATE

AUTHORIZED SIGNATURE

APPROVED BY:

CASSANDRA SANCHEZ DATE

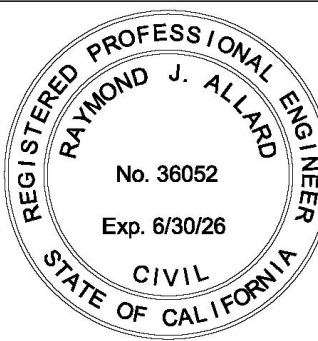
R.C.E. 74776 EXP. DATE 12/31/25
CITY ENGINEER

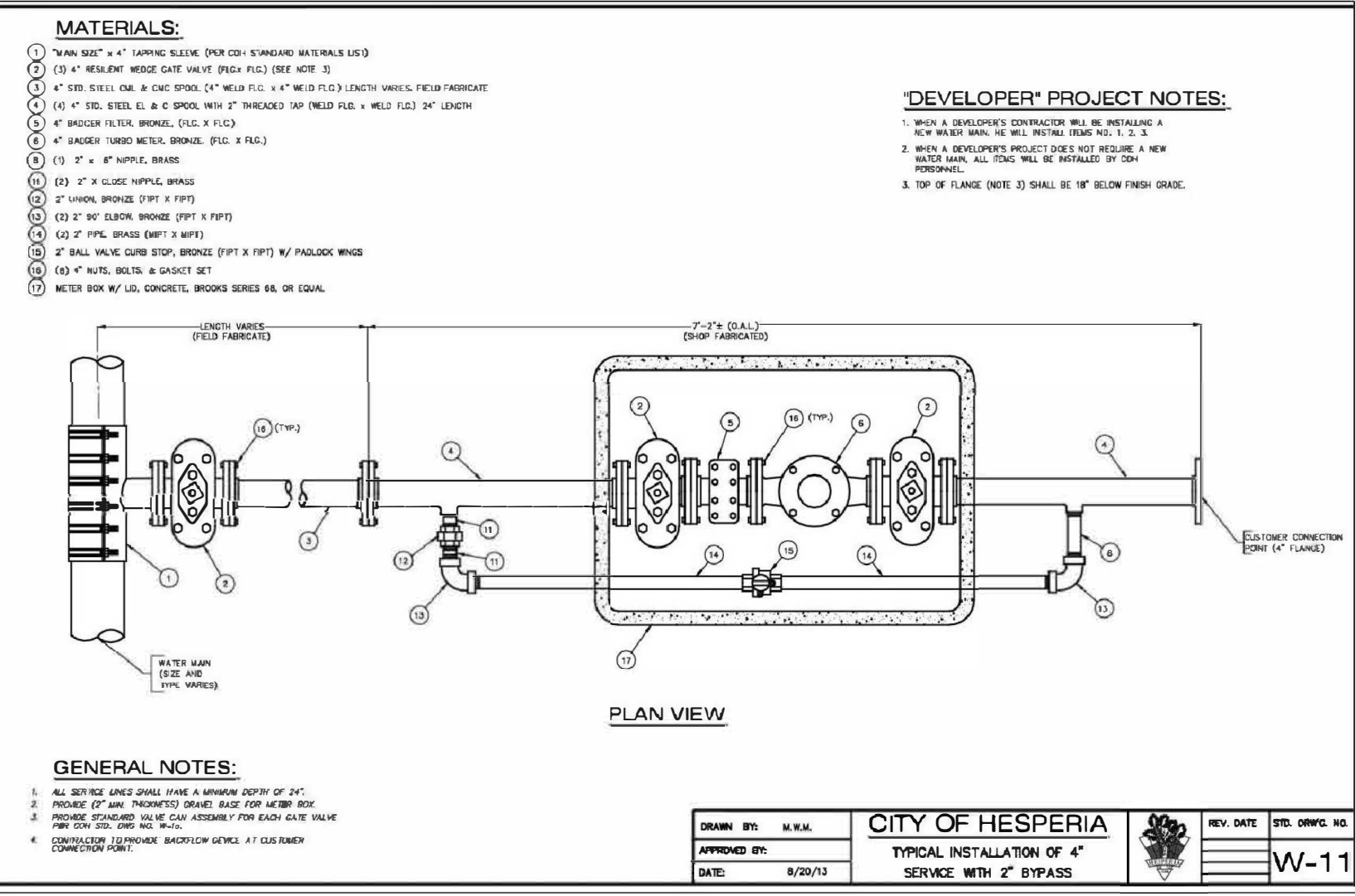
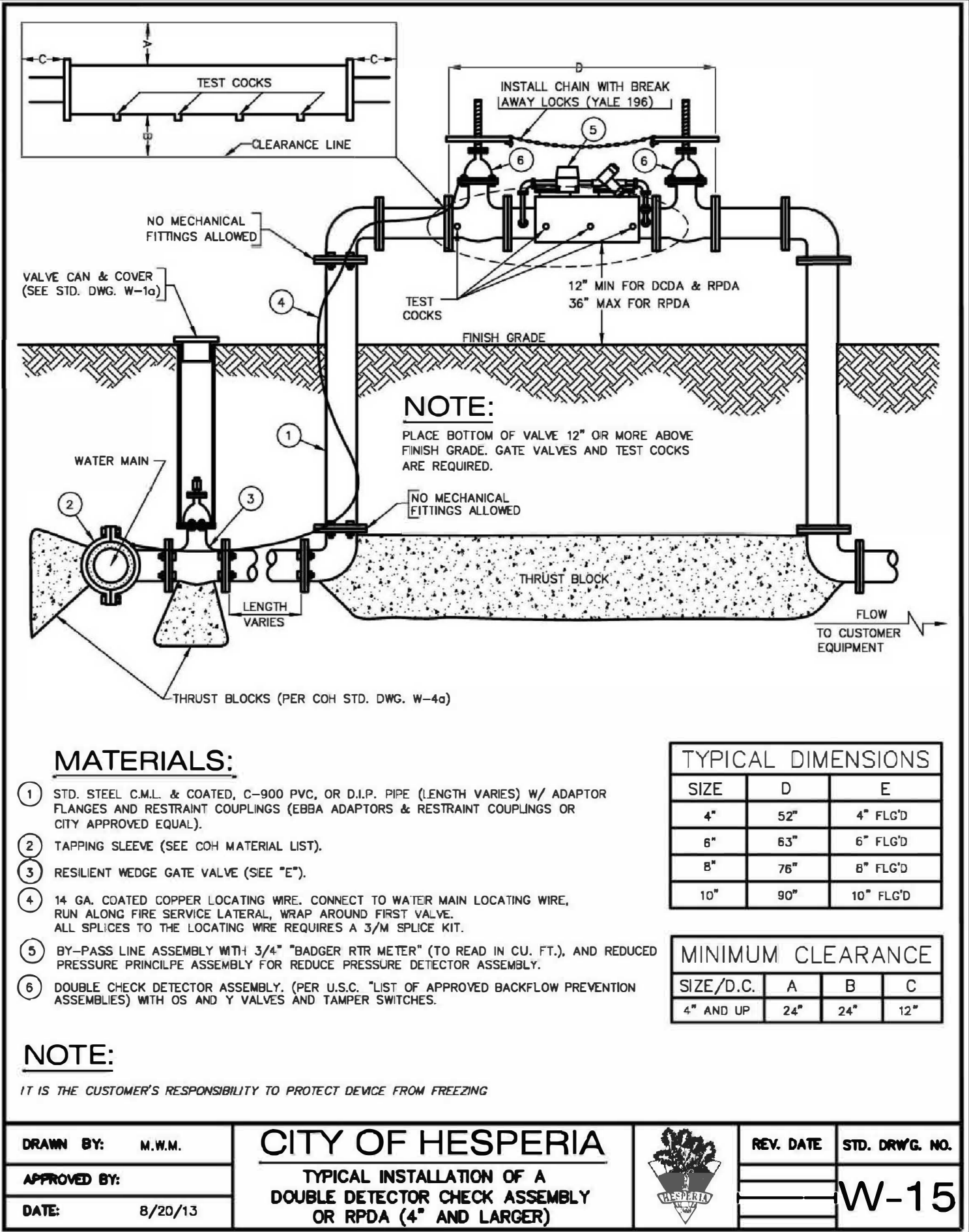
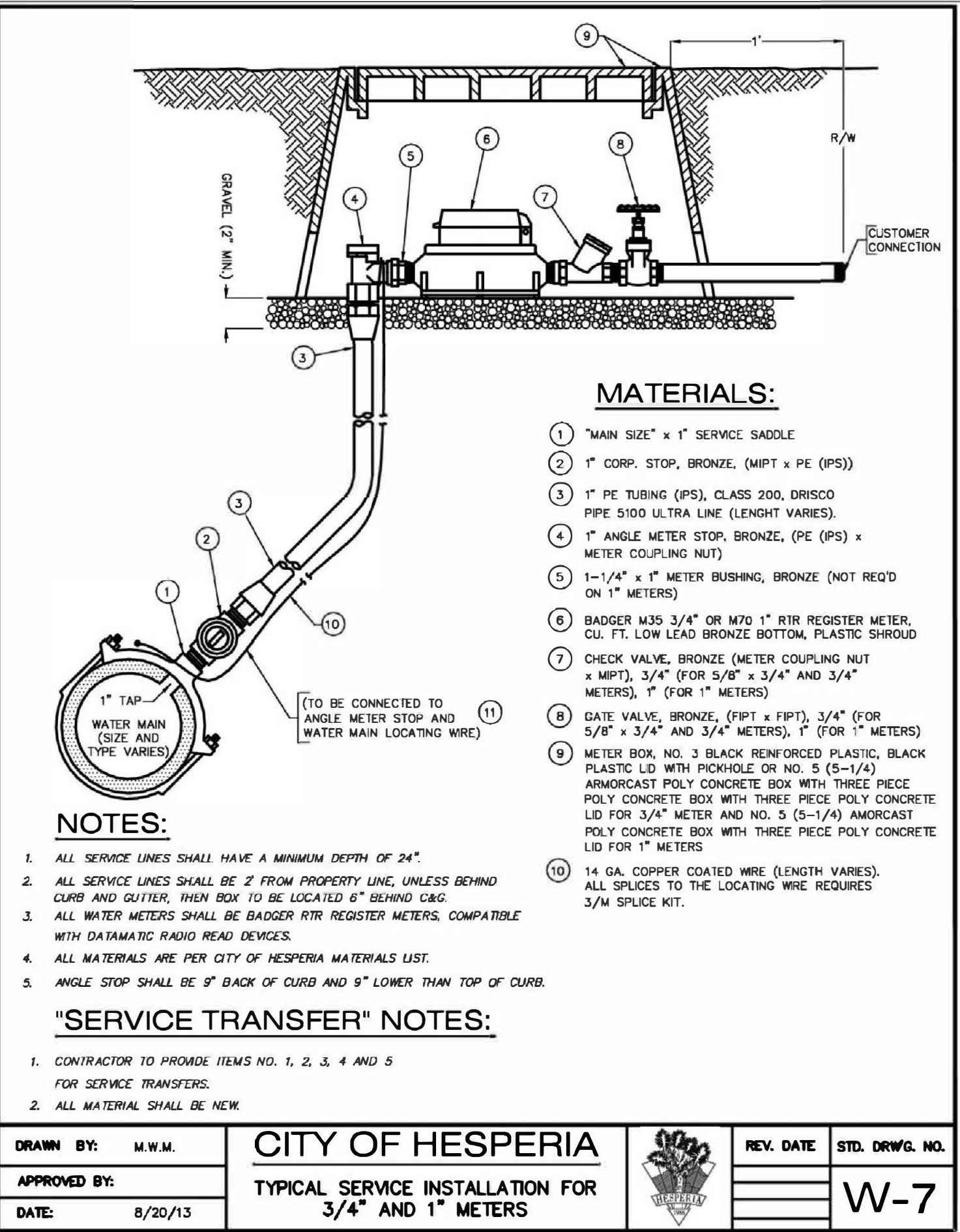
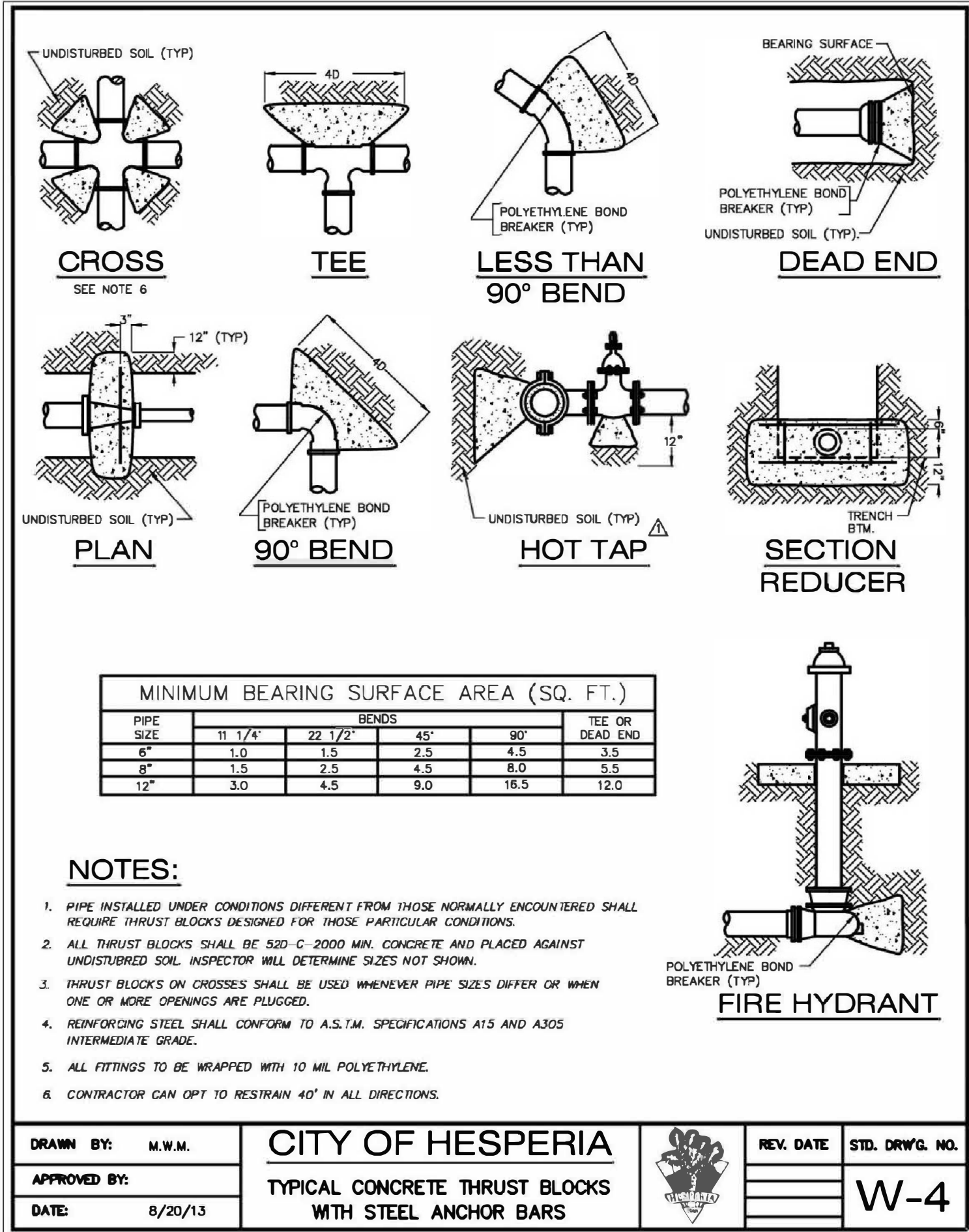
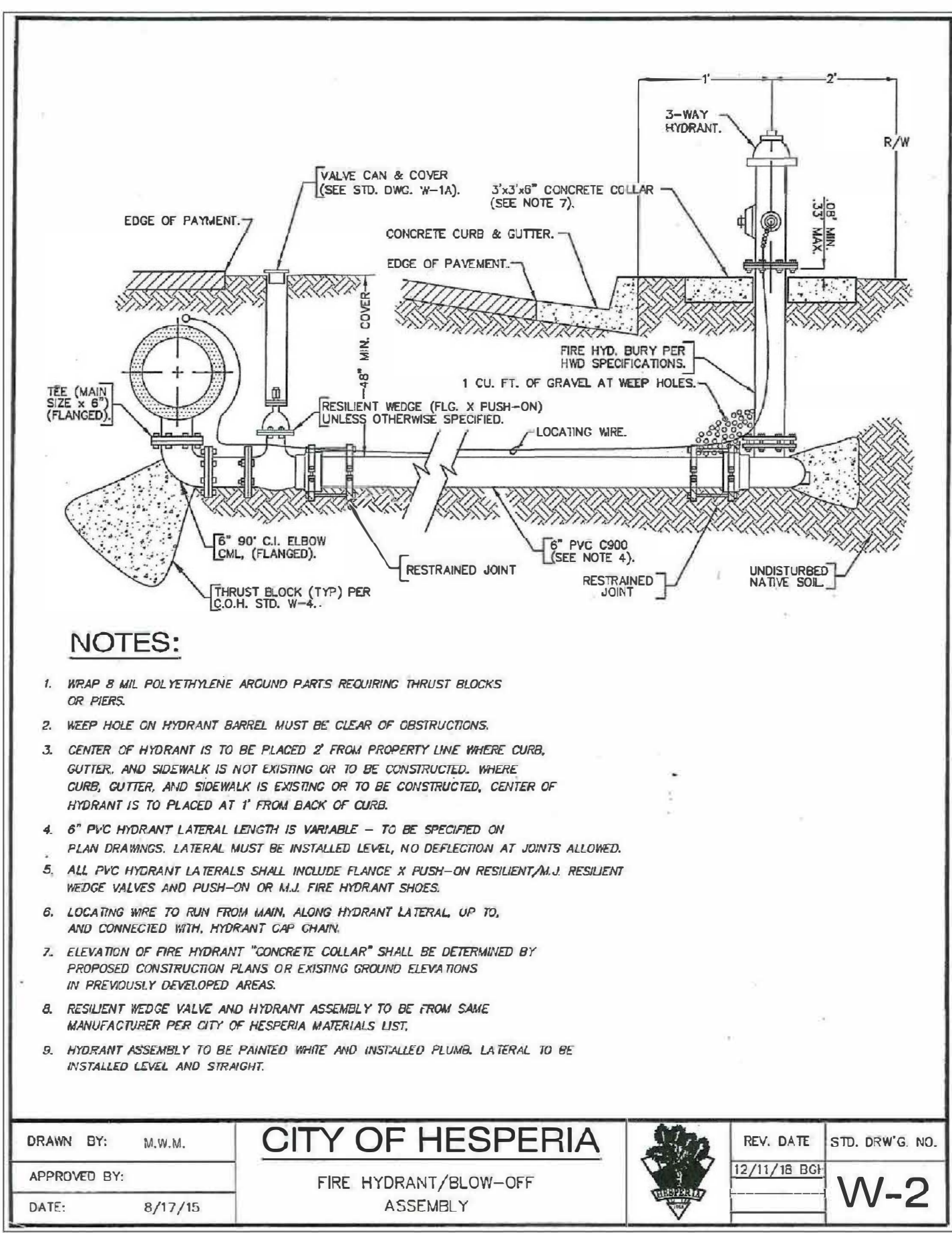
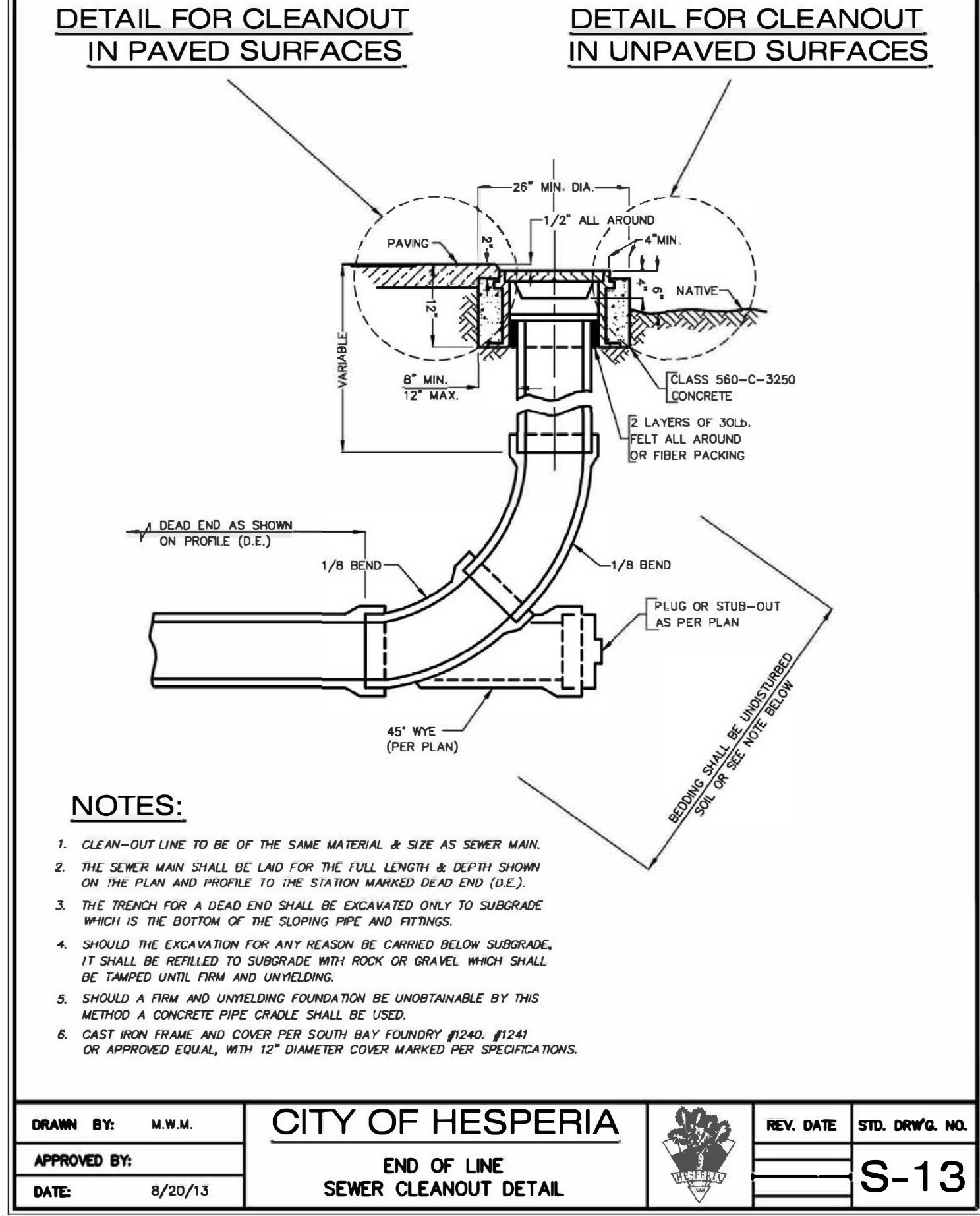
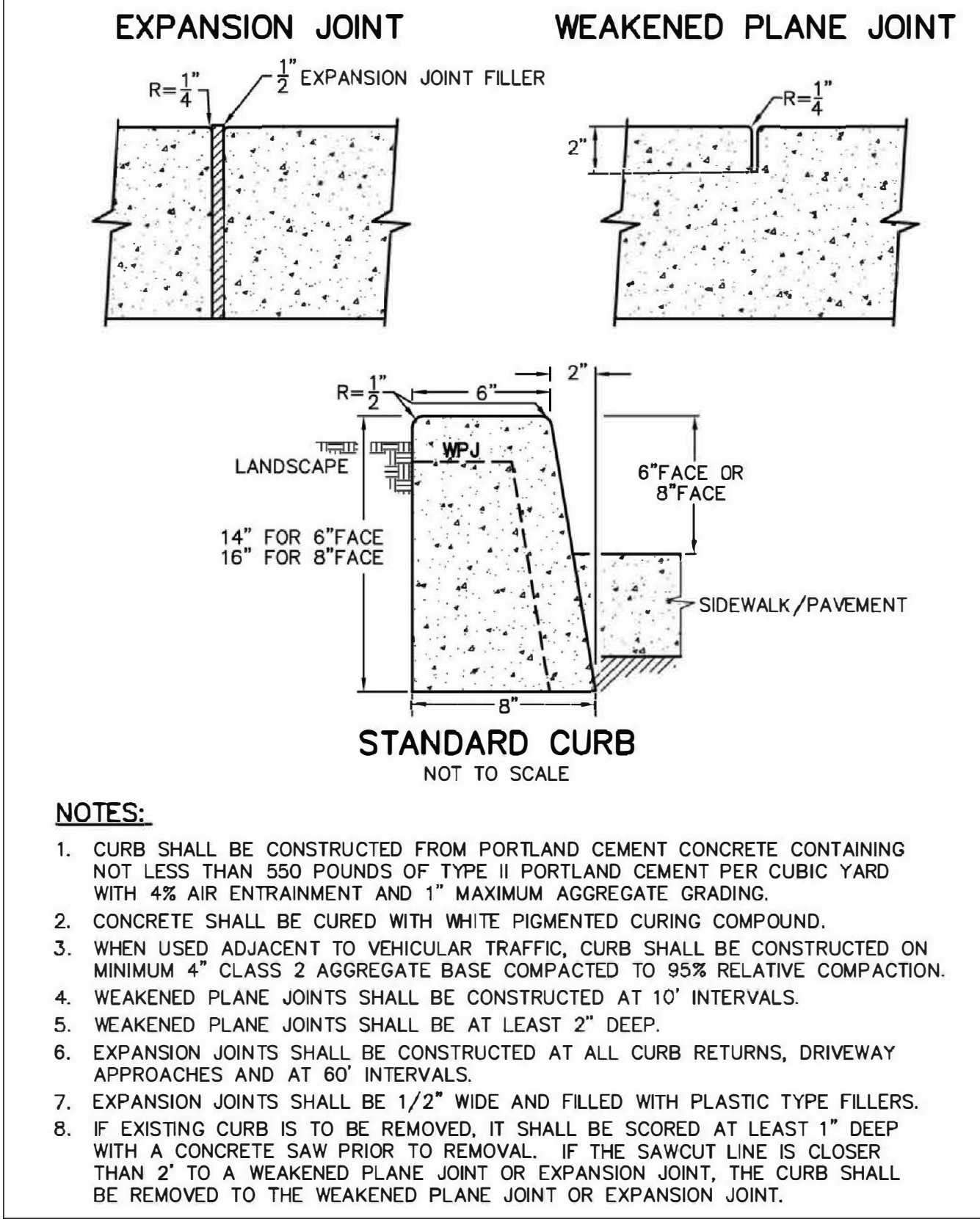
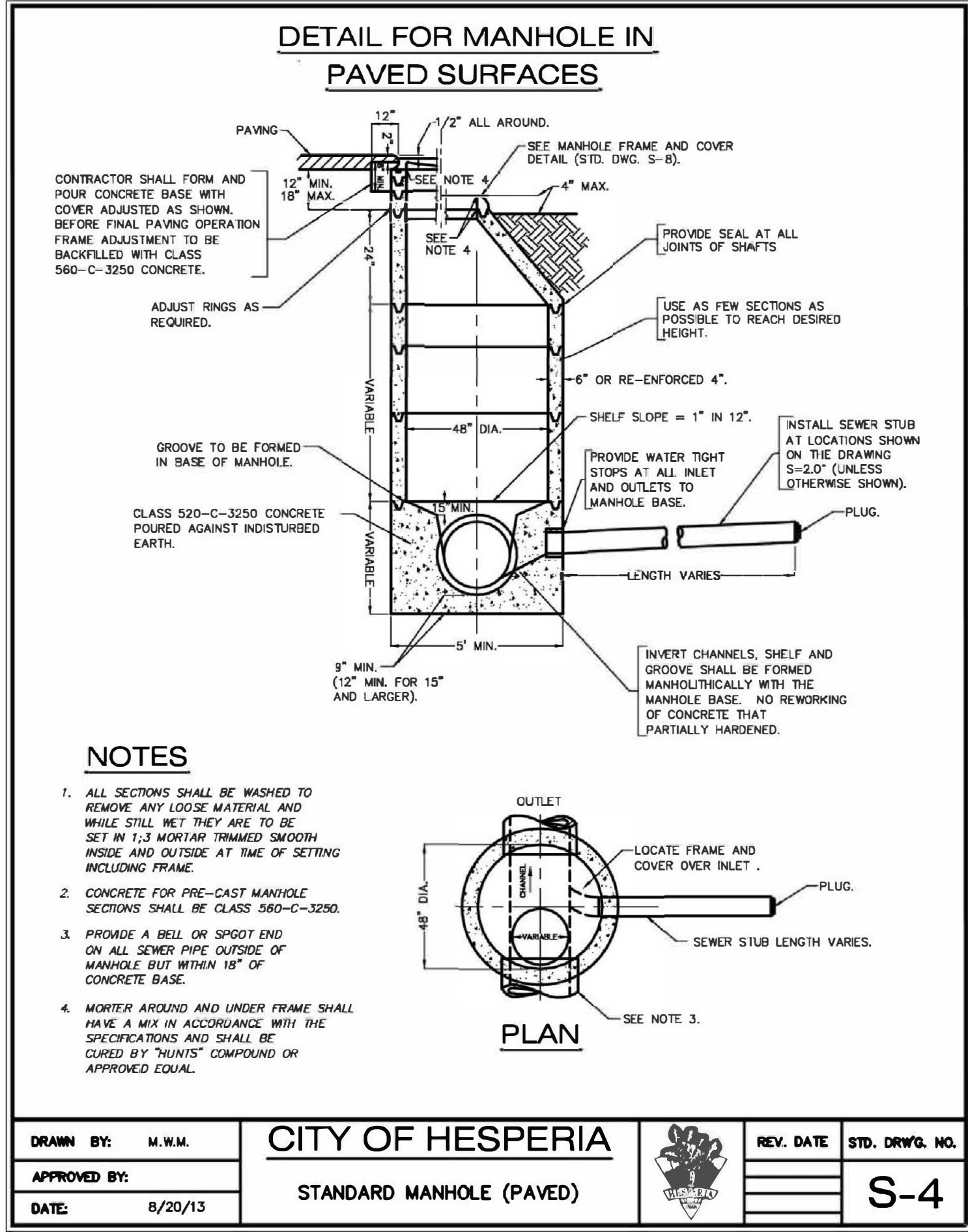
CITY OF HESPERIA DETAILS TAMARISK APARTMENTS MUNEM MAIDA

APN 3057-121-08

SHEET
9
OF
13

D-2





Know what's below.
Call before you dig.

<p>BENCHMARK:</p> <p>"H-18"</p> <p>BRASS DISK IN CONCRETE, LOCATED APPROXIMATELY 22 FEET NORTH OF THE NE COR. BEHIND THE SIDEWALK AT THE INTERSECTION OF MAIN ST. & MAPLE ST.</p> <p>ELEV=3376.492</p>	<p>DESIGNED BY: D.B.W.</p> <p>DRAWN BY: D.B.W.</p> <p>CHECKED BY: R.J.A.</p> <p>SUBMITTED BY:</p> <p>RAYMOND J. ALLARD RCE No. 36052</p>	<p>DATE: 8/20/13</p>	<p>CITY OF HESPERIA</p> <p>ENGINEERING DEPARTMENT</p> <p>RECOMMENDED FOR APPROVAL BY: _____ DATE _____</p> <p>APPROVED BY: _____ DATE _____</p> <p>CASSANDRA SANCHEZ CITY ENGINEER</p>	<p>CITY OF HESPERIA</p> <p>DETAILS</p> <p>TAMARISK APARTMENTS</p> <p>MUNEM MAIDA</p> <p>APN 3057-121-08</p>	<p>SHEET</p> <p>10</p> <p>OF</p> <p>13</p> <p>D-3</p>
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MC-7200 TECHNICAL SPECIFICATION

NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)
CHAMBER STORAGE
MINIMUM INSTALLED STORAGE*
WEIGHT (NOMINAL)

100.0' X 60.0' X 79.1' (203 mm)
175.9 CUBIC FEET (4.98 m³)
287.3 CUBIC FEET (7.56 m³)
205 lbs (92.9 kg)

90.0' X 61.0' X 32.8' (2286 mm X 1549 mm X 833 mm)
39.5 CUBIC FEET (1.12 m³)
115.3 CUBIC FEET (3.26 m³)
90 lbs (40.8 kg)

*ASSUMES 12\"/>

PARTIAL CUT HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH \"B\" PARTIAL CUT HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH \"T\" END CAPS WITH A PREFABRICATED WELDED STUB END WITH \"V\".

PART #	STUB	B	C
MC7200EPP08T	6\"/>		

NOTE: ALL DIMENSIONS ARE NOMINAL.

CUSTOM PREFABRICATED INVERTS ARE AVAILABLE UPON REQUEST. INVENTED MANIFOLDS INCLUDE 12\"/>

2

MC-7200 TECHNICAL SPECIFICATION

ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT / SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24\"/>		

PLEASE NOTE

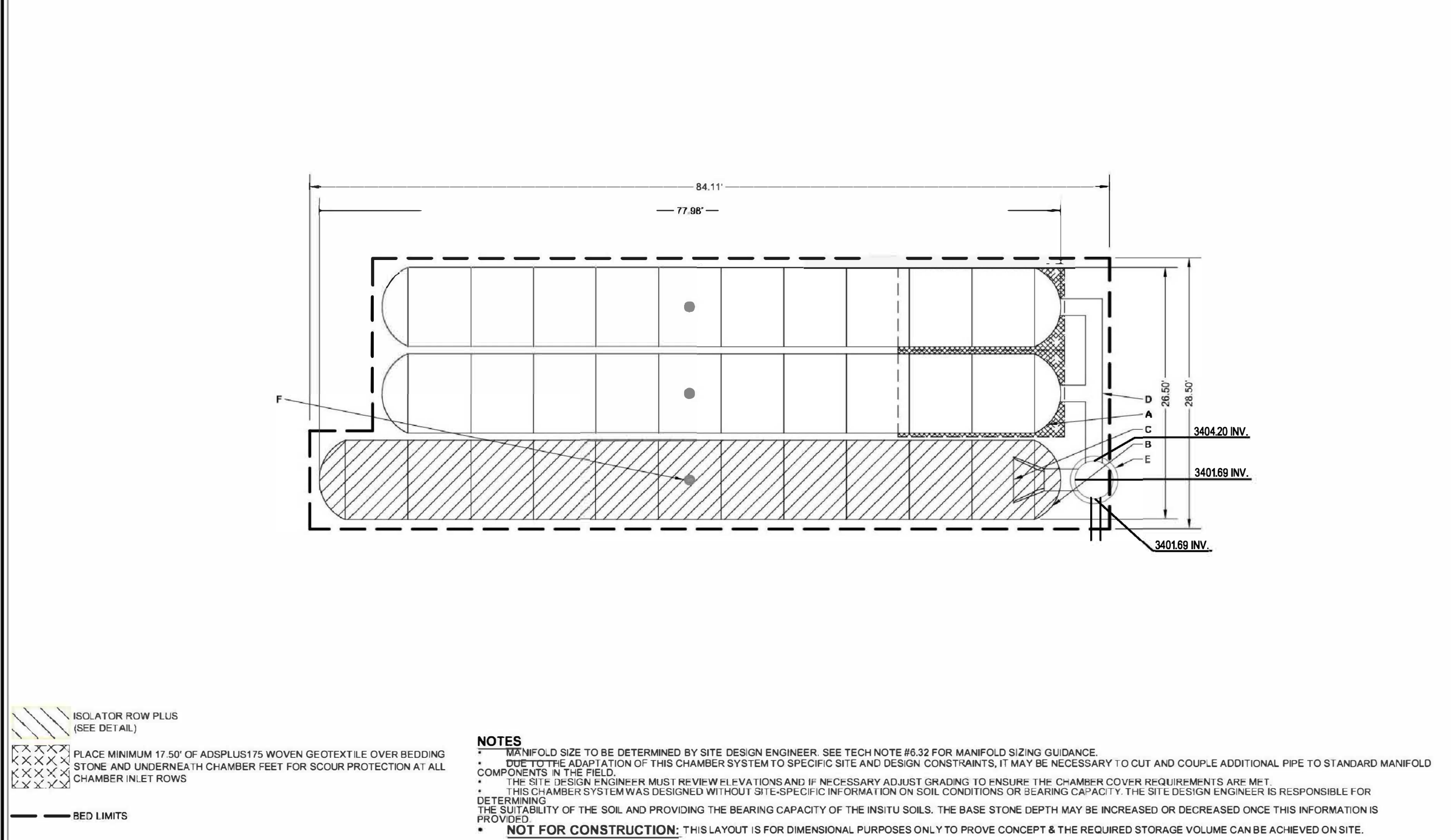
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: \"CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE\".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9\"/>

NOTES:

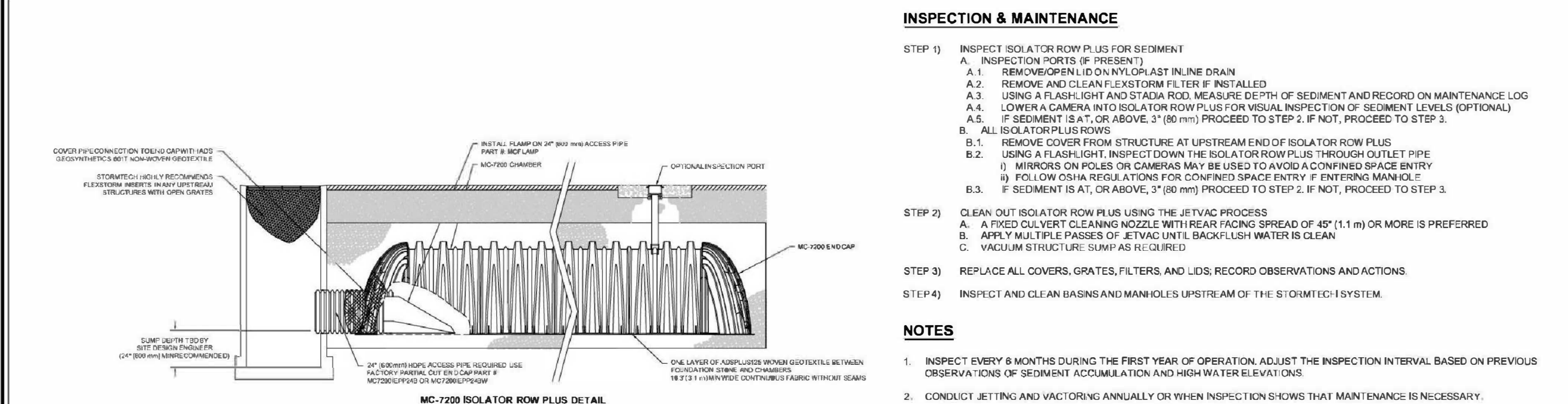
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, \"STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS\" CHAMBER CLASSIFICATION 60x101.
- MC-7200 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 \"STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS\".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOLS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3\"/>
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/FT². THE ASG IS DEFINED IN SECTION 6.2.8 OF ASTM F2418, AND IS TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73°F / 23°C). CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

[illegible]

PROPOSED LAYOUT: BED 2		CONCEPTUAL ELEVATIONS		PART TYPE		ITEM ON LAYOUT		DESCRIPTION		INVERT ABOVE BASE OF CHAMBER		MAX FLOW	
31	STORMTECH MC-7200 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED)	12.75										
6	STORMTECH MC-7200 END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC)	8.25										
12	STONE ABOVE (B)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC)	7.75										
9	STONE BELOW (B)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT)	7.75										
40	STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT)	7.75										
	INSTALLED SYSTEM VOLUME (TOP PERIMETER STONE INCLUDED)	TOP OF MC-7200 CHAMBER	3404.50										
9563	(BASE STONE INCLUDED)	24" ISOLATOR ROW PLUS INVERT	3401.69										
2297	SYSTEM AREA (SF)	18" x 18" BOTTOM MANHOLE INVERT	3401.69										
2252	SYSTEM PERIMETER (B)	BOTTOM OF MC-7200 CHAMBER	3401.69										
		BOTTOM OF STONE	3401.69										

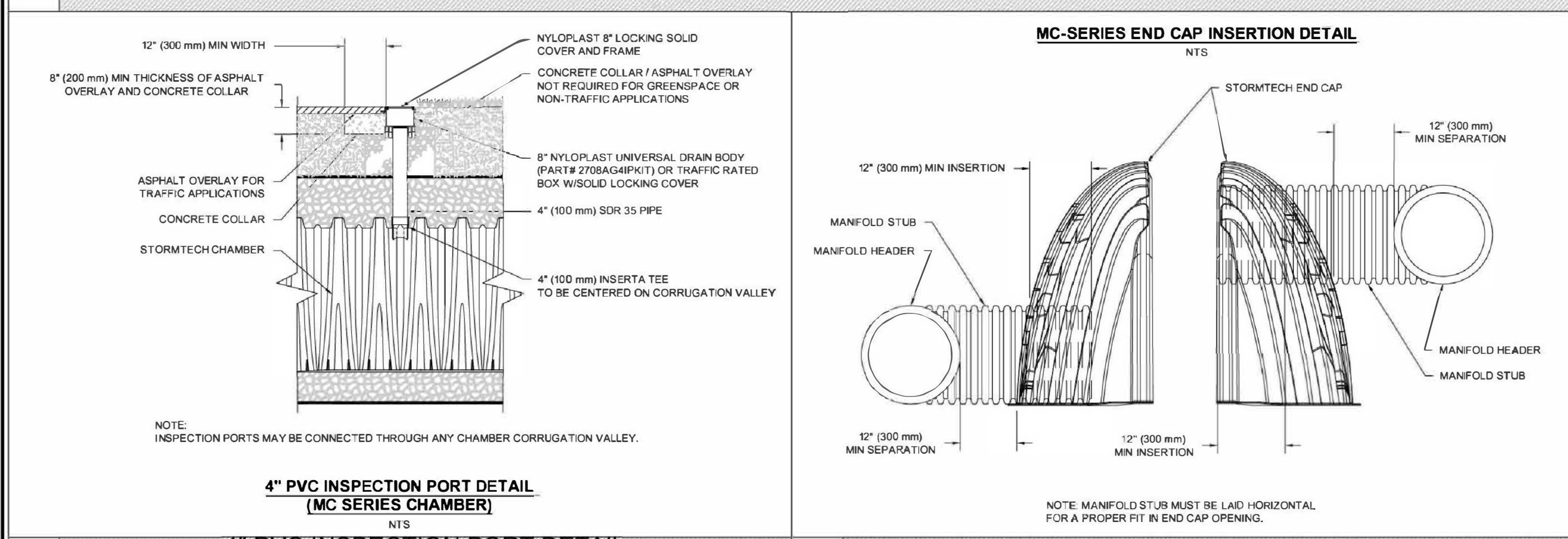


ISOLATOR ROW PLUS (SEE DETAIL)	
PLACE MINIMUM 17.50' OF ADSPLUS75 WOVEN GEOTEXTILE OVER BEDDING	
STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS	
BED LIMITS	



4\"/>

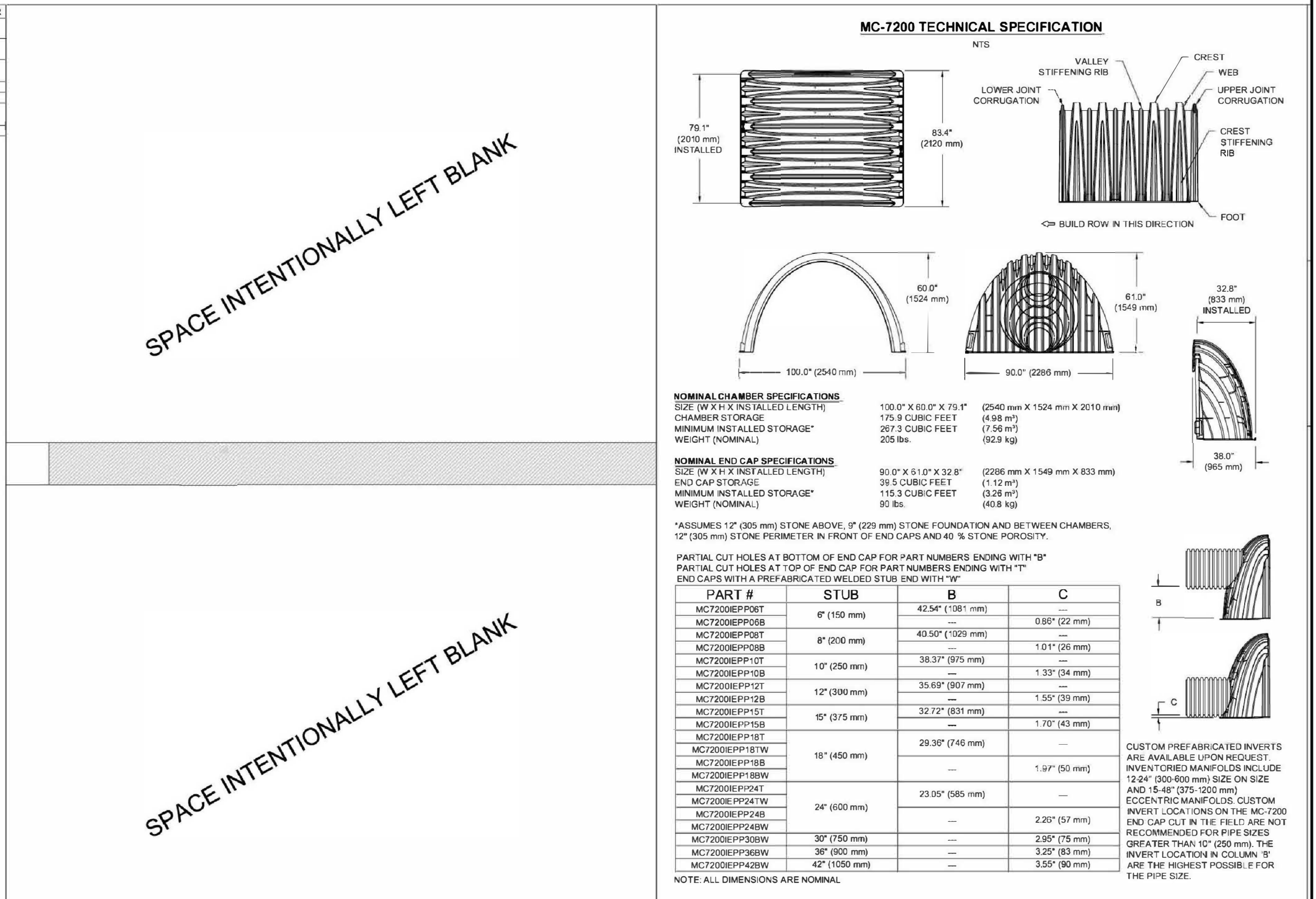
3	MC-7200 ISOLATOR ROW PLUS DETAIL
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4	4\"/>
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5	MC-SERIES END CAP INSERTION DETAIL
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1	MC-7200 CROSS SECTION DETAIL
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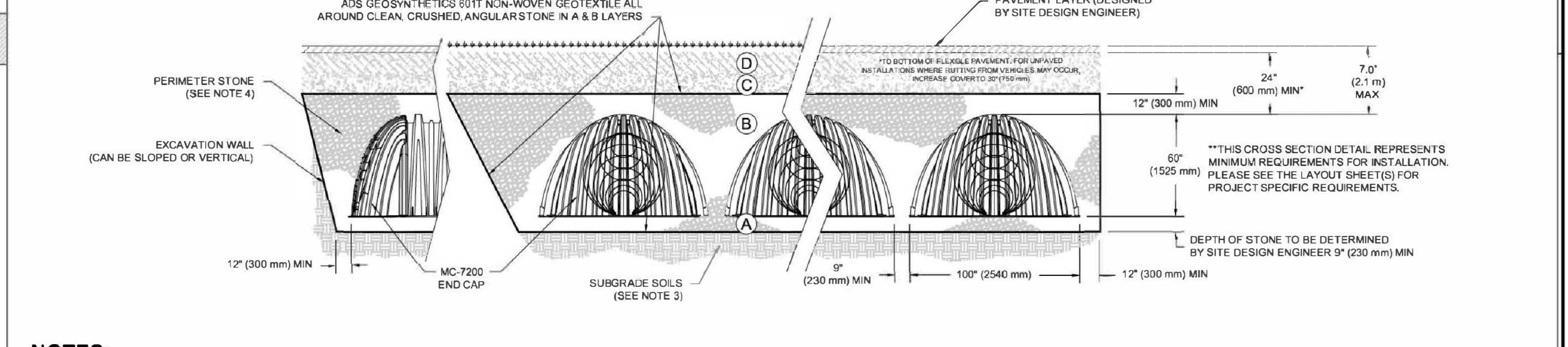
2	MC-7200 TECHNICAL SPECIFICATION
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ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS	
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MATERIAL LOCATION	DESCRIPTION	CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOURCE MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SURGRADE REQUIREMENTS.	N/A
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SiliAGGREGATE MIXTURES, <5% FINES OR PROCESSED AGGREGATE. OR MOST PAVEMENT SUBBASE MATERIALS CAN BE RE-USED IN LIEU OF THIS LAYER.	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRONGER MATERIAL AND PREPARATION REQUIREMENTS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE. ²	BEGIN COMPACTION AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX. LIFT TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SURGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE. ³	NO COMPACTION REQUIRED.
		AASHTO M43 ¹ A-1, A-2, A-3 OR AASHTO M43 ¹ 3, 357, 4, 487, 5, 56, 67, 68, 7, 78, 8, 88, 9, 10 AASHTO M43 ¹ 3, 357, 4, 487, 5, 56, 57 AASHTO M43 ¹ 3, 357, 4, 487, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

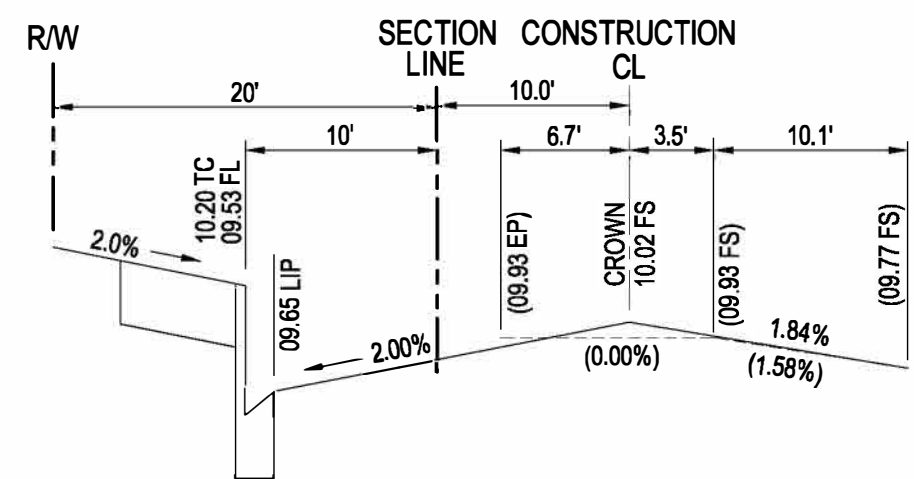
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE 1.	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SURGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE 1.	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. 2,3

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE: A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 8\"/>

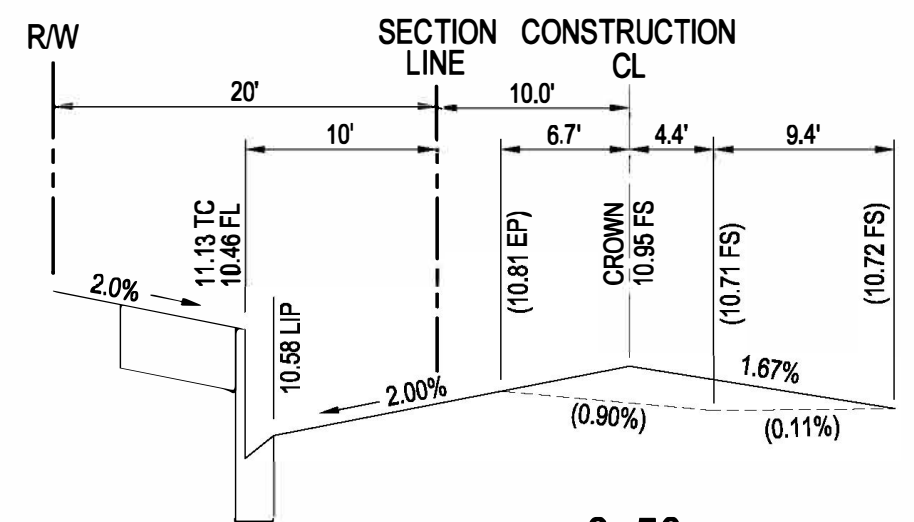


NOTES:
1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 60x101.
2. MC-7200 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
• TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
• TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3\"/>

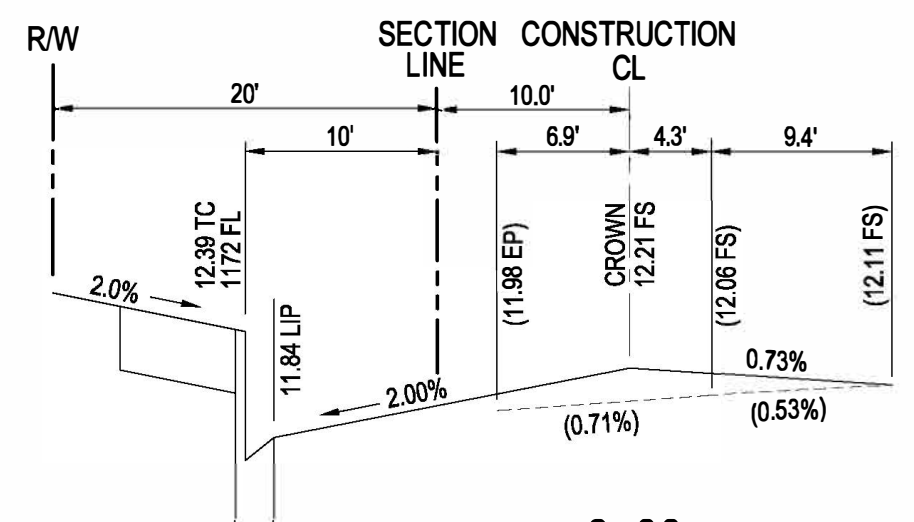
BENCHMARK: "H-18" BRASS DISK IN CONCRETE, LOCATED APPROXIMATELY 22 FEET NORTH OF THE NE COR. BEHIND THE SIDEWALK AT THE INTERSECTION OF MAIN ST. & MAPLE ST. ELEV=3378.492	DESIGNED BY: D.B.W. DRAWN BY: D.B.W. CHECKED BY: R.J.A. SUBMITTED BY: RAYMOND J. ALLARD RCE No. 36052	DATE	CITY OF HESPERIA ENGINEERING DEPARTMENT RECOMMENDED FOR APPROVAL BY: DATE AUTHORIZED SIGNATURE	CITY OF HESPERIA ENGINEERING DEPARTMENT APPROVED BY: CASSANDRA SANCHEZ DATE R.C.E. 74776 EXP. DATE 12/31/25 CITY ENGINEER	CITY OF HESPERIA STORMTECH - BED 2 TAMARISK APARTMENTS MUNEM MAIDA APN 3057-121-08	SHEET 12 OF 13 SD-2
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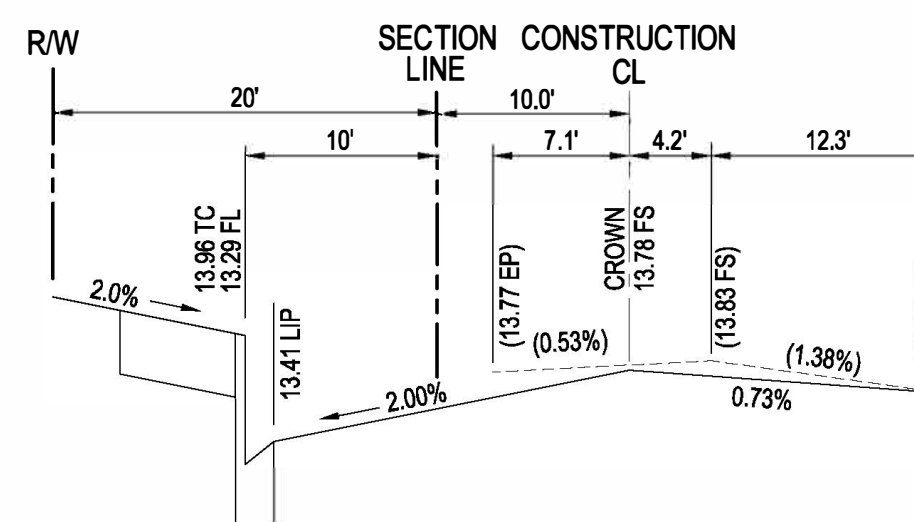
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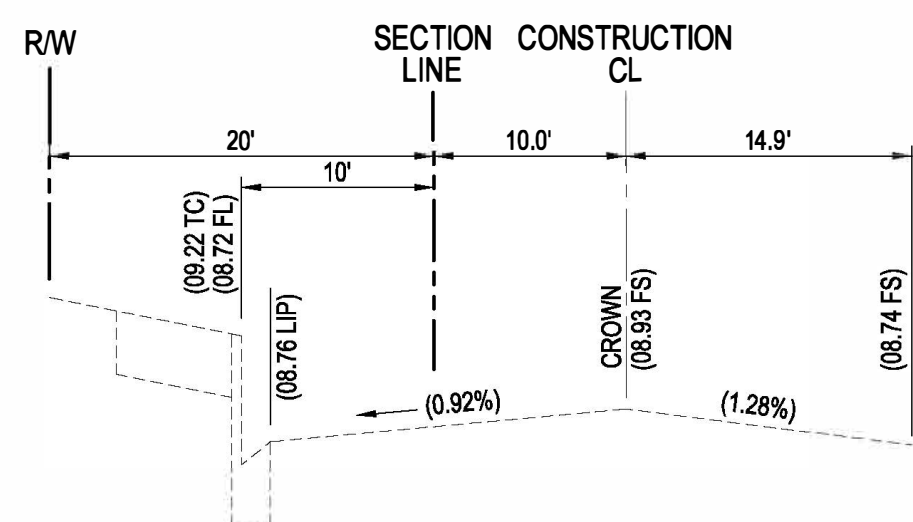
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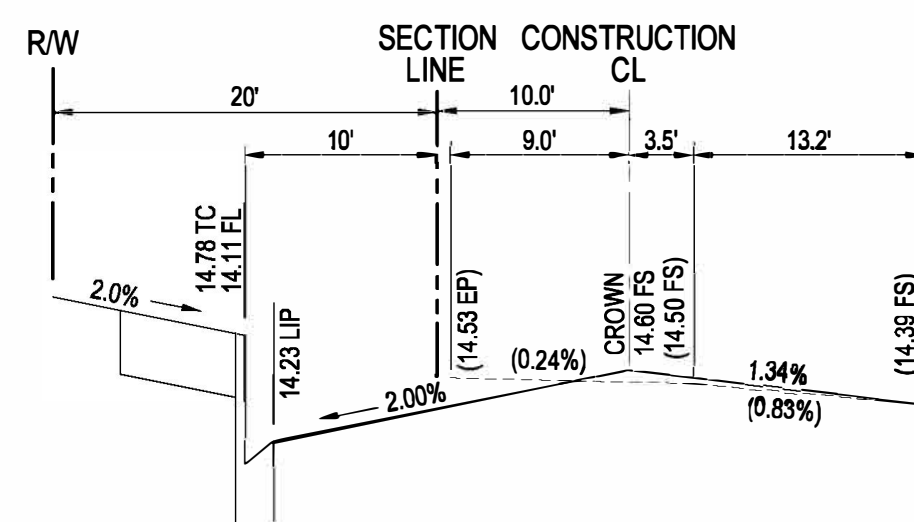
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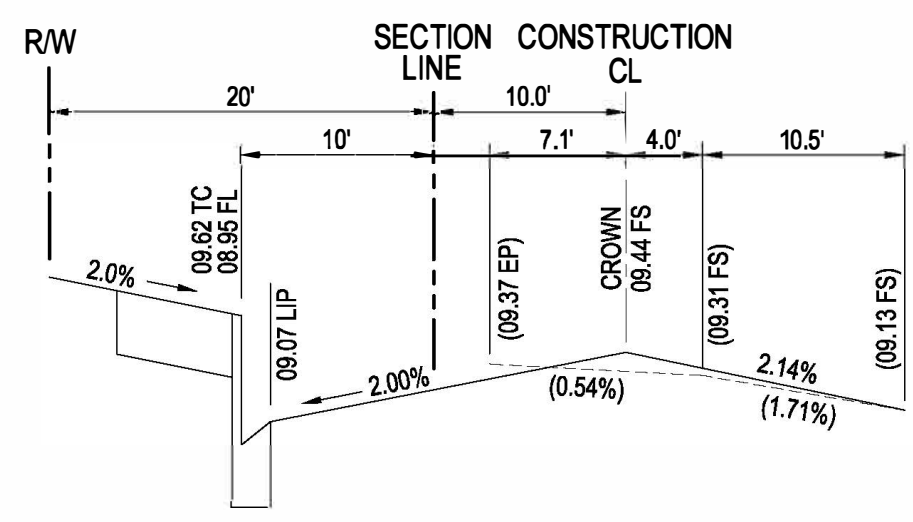
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10+00.30

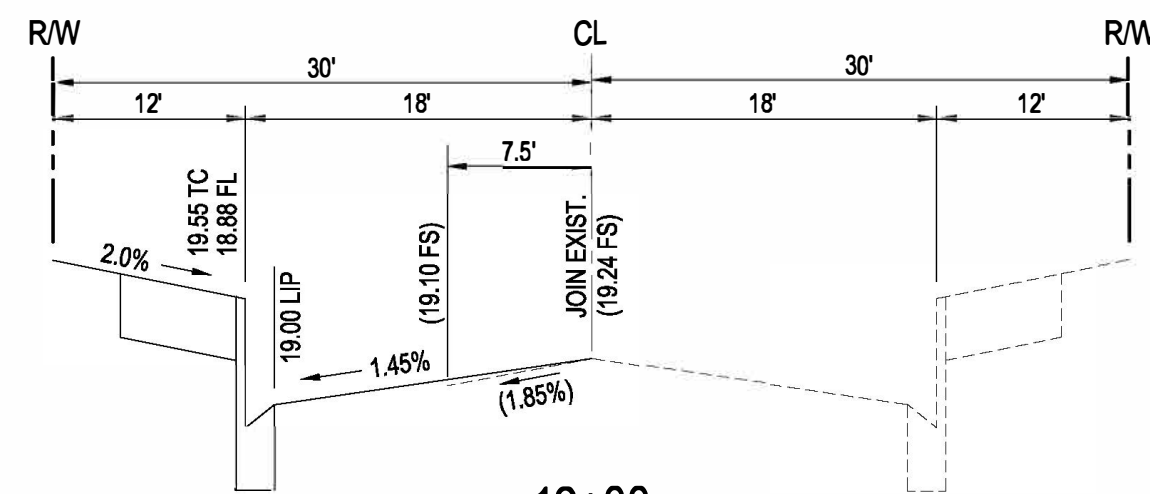


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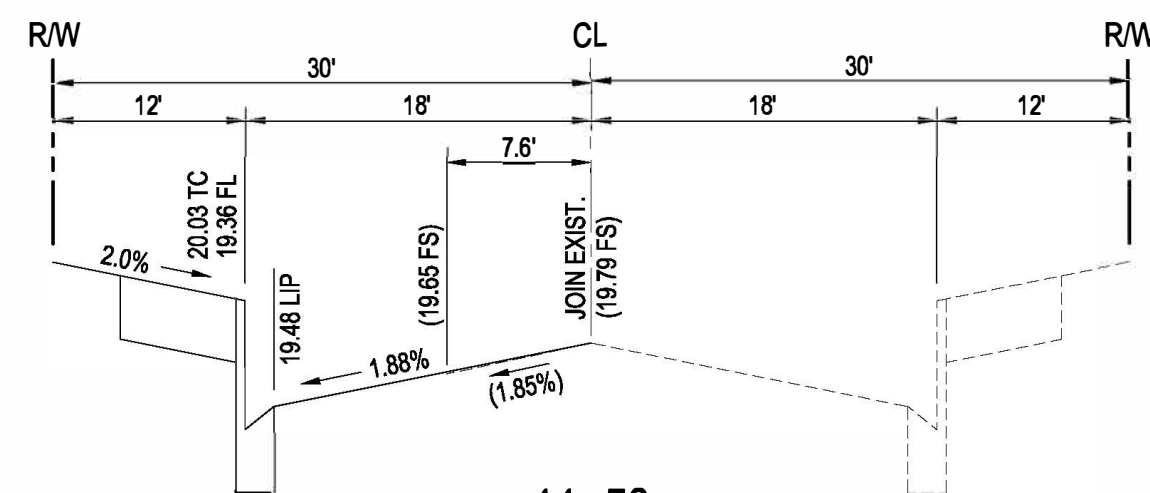


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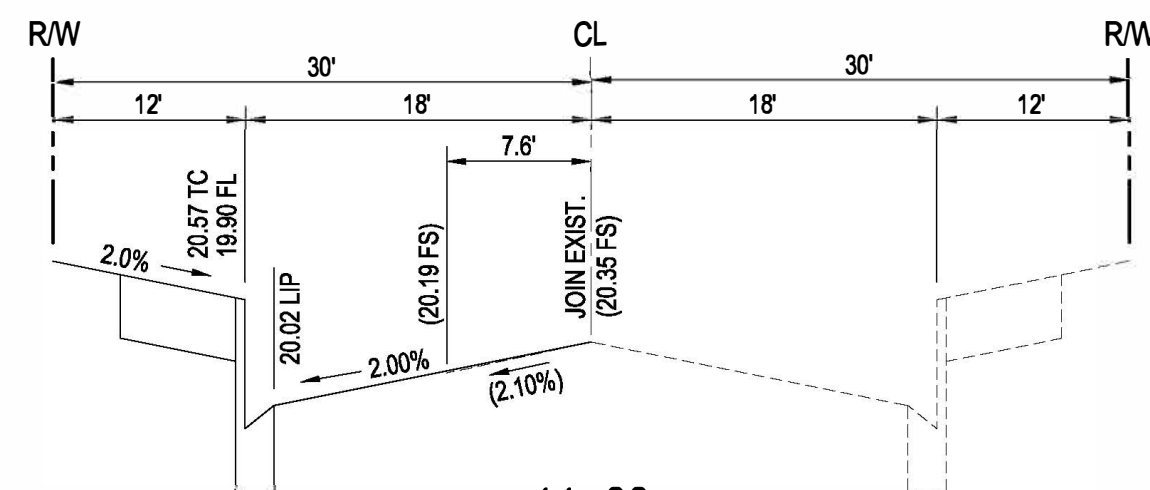
TAMARISK AVENUE



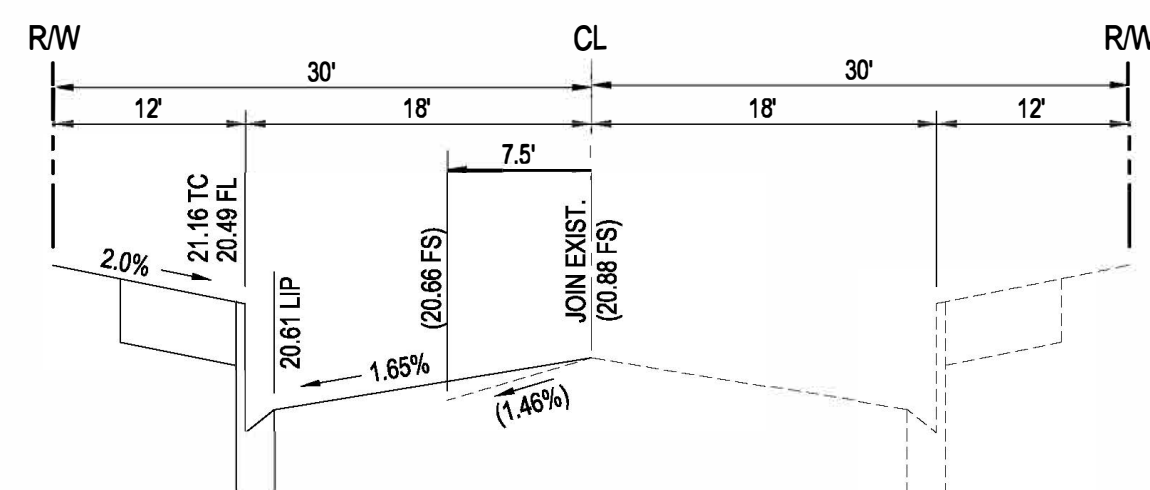
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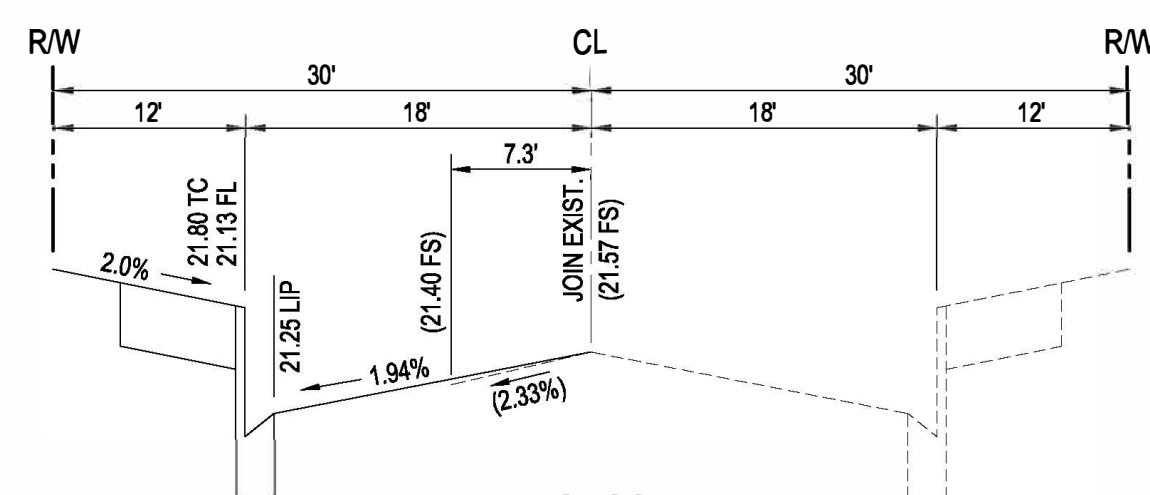
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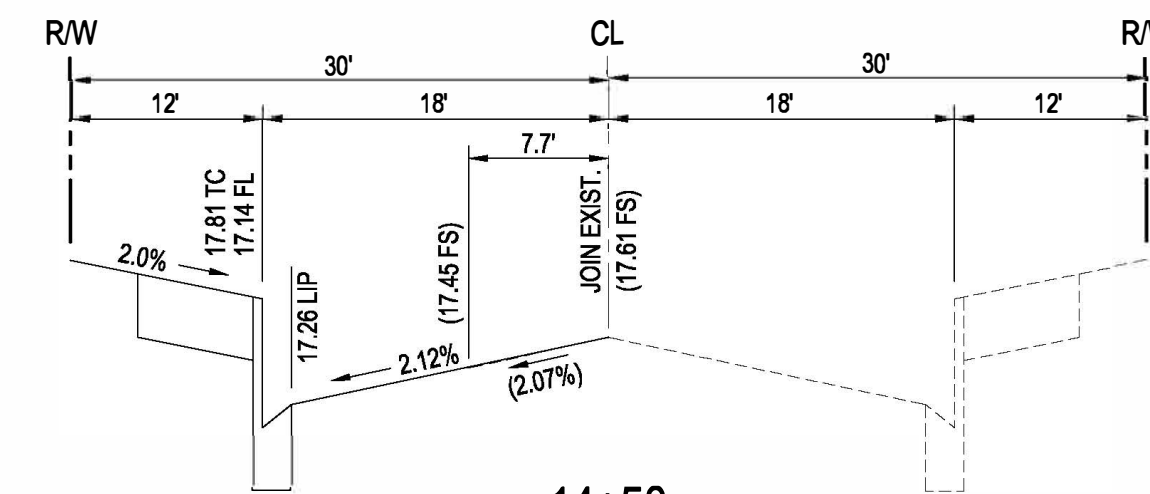
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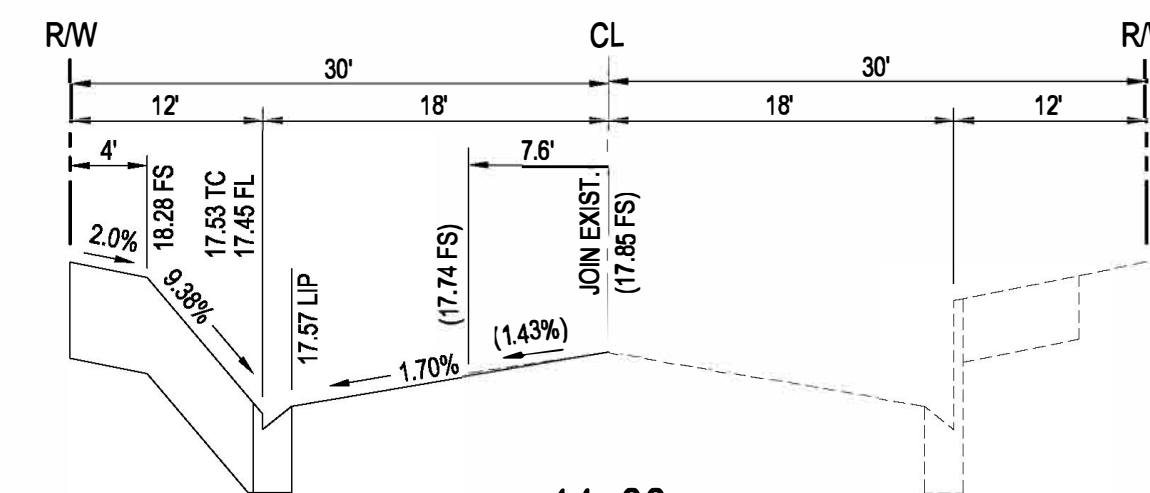
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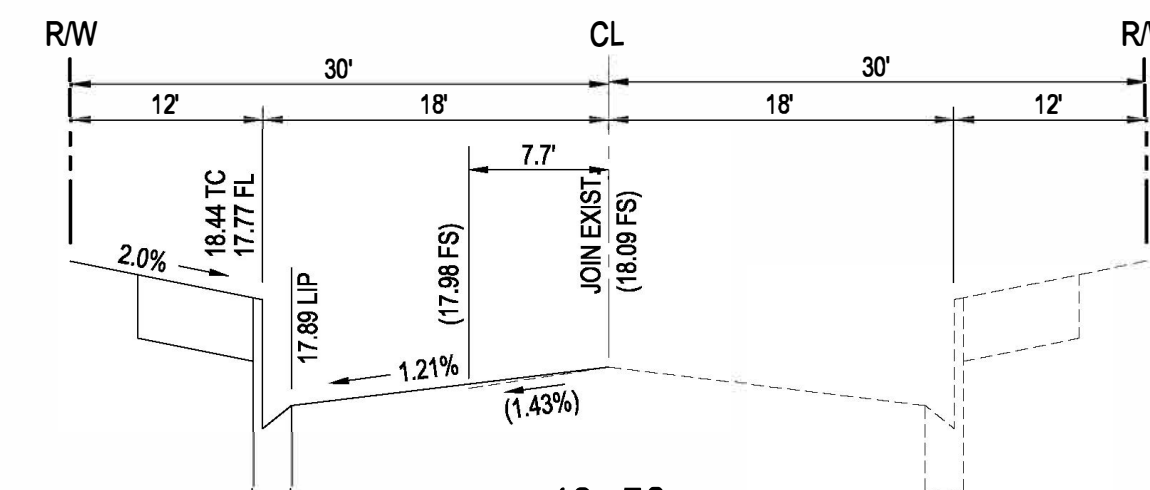
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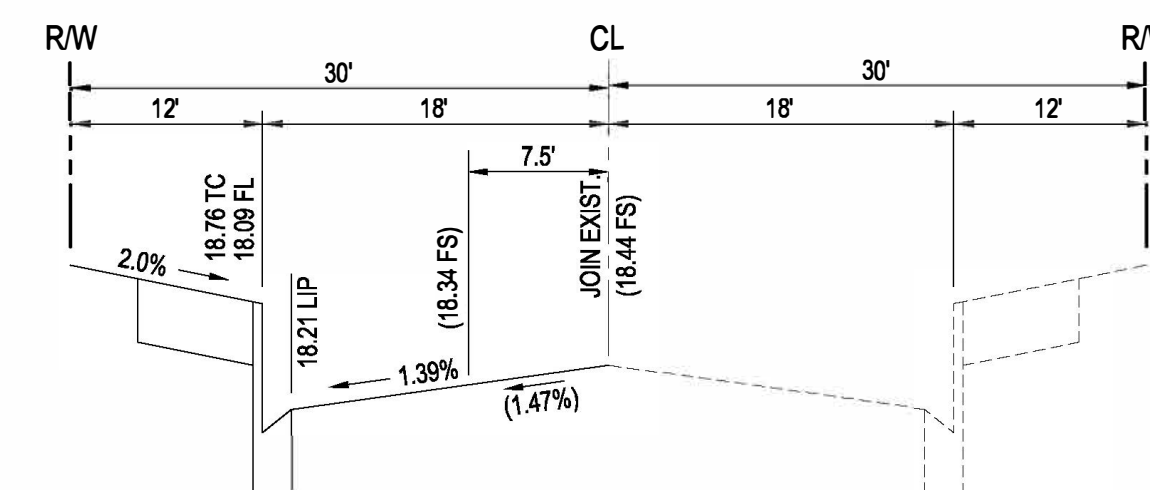
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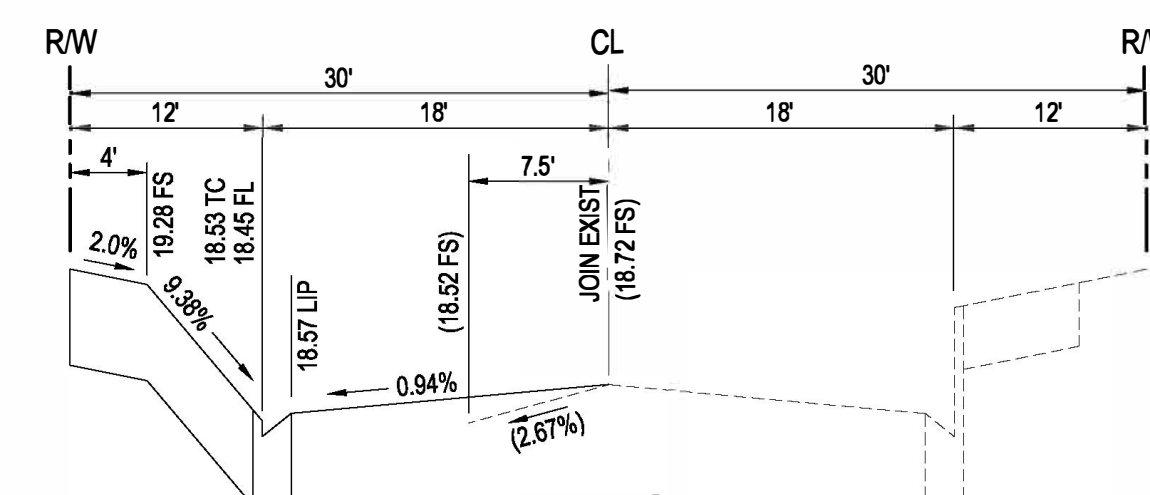
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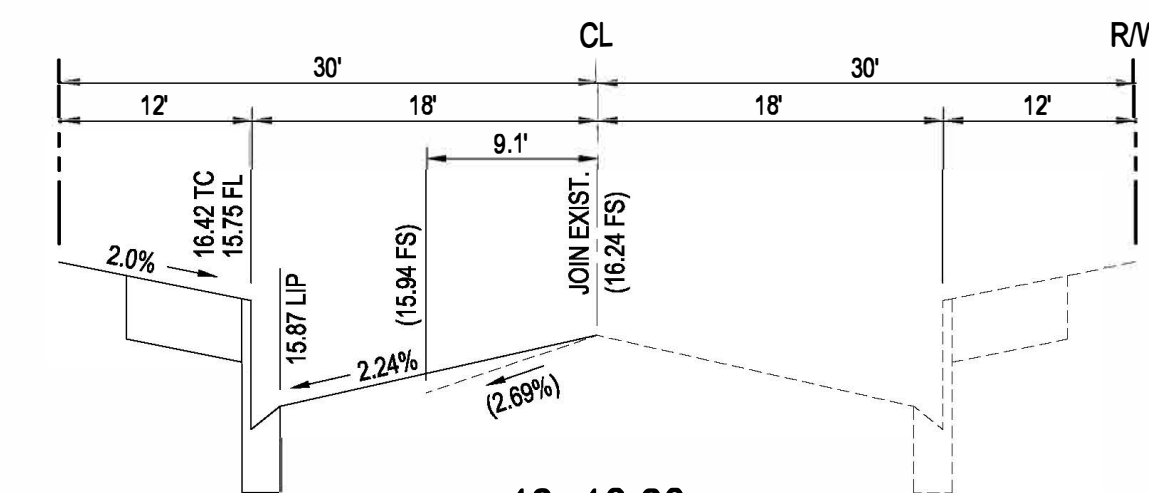
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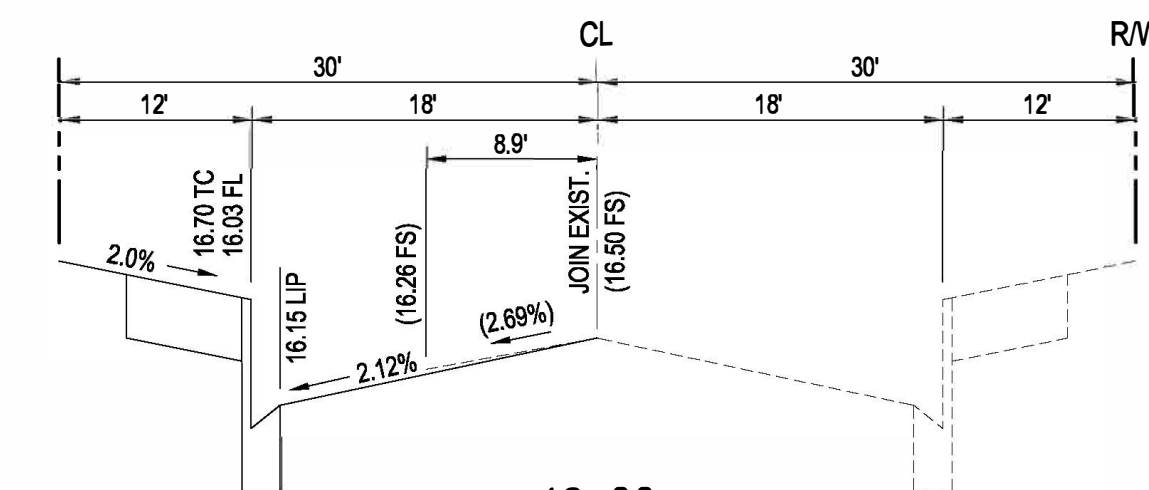
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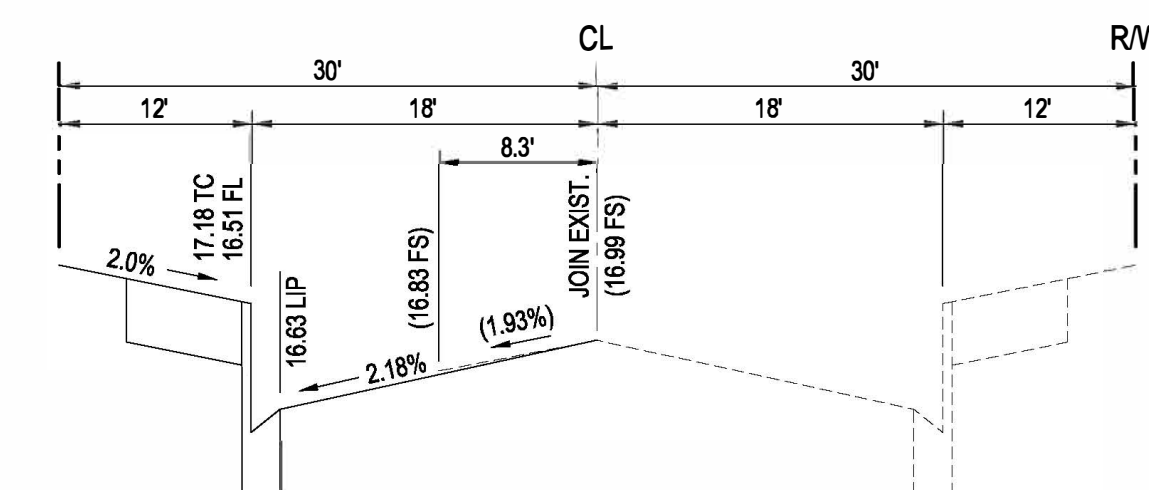
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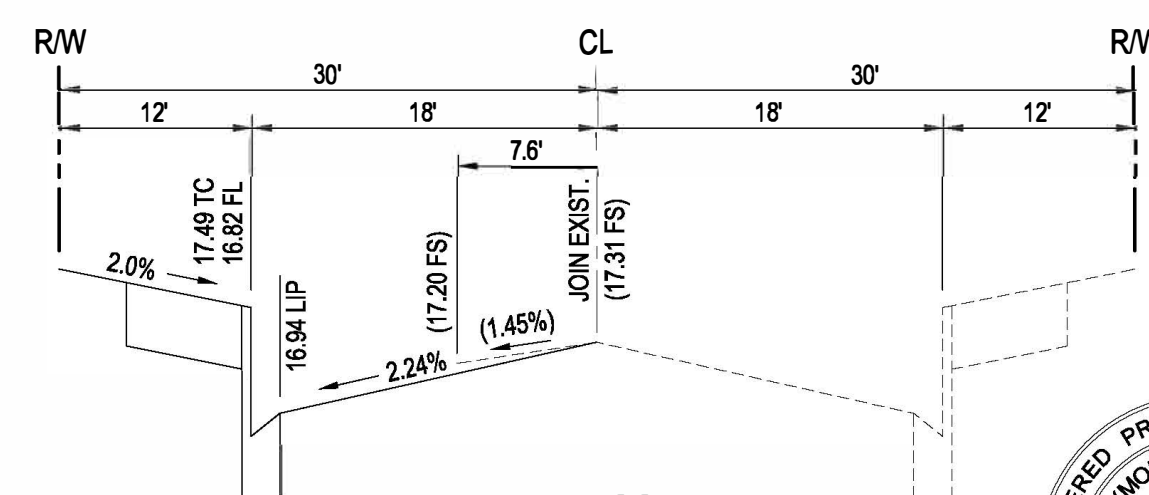
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16+00

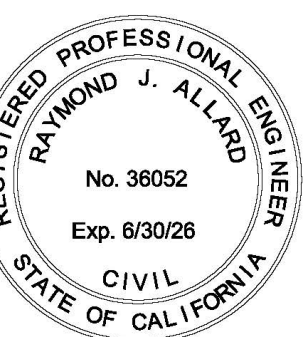


15+50



15+00

ORANGE STREET



REV.	DESCRIPTION	DATE	BY

BENCHMARK:

"H-18"

BRASS DISK IN CONCRETE, LOCATED APPROXIMATELY 22 FEET NORTH OF THE NE COR. BEHIND THE SIDEWALK AT THE INTERSECTION OF MAIN ST. & MAPLE ST.

ELEV=3376.492

DESIGNED BY: D.B.W.

DRAWN BY: D.B.W.

CHECKED BY: R.J.A.

SUBMITTED BY:

RAYMOND J. ALLARD RCE No. 36052

DATE



HIGH DESERT MAPPING

Land Surveying - Civil Design

16704 Neenach Road
Apple Valley, CA 92307
(760) 508-8555

dbw.hdm@gmail.com



CITY OF HESPERIA ENGINEERING DEPARTMENT

RECOMMENDED FOR APPROVAL BY:

APPROVED BY:

DATE

DATE

AUTHORIZED SIGNATURE

CASSANDRA SANCHEZ

R.C.E. 74776 EXP. DATE 12/31/25
CITY ENGINEER

**CITY OF HESPERIA
CROSS SECTIONS
TAMARISK APARTMENTS
MUNEM MAIDA
APN 3057-121-08**

**SHEET
13
OF
13**

CS-1