

Appendix 1

Cherry Outpost Development Plans

CHERRY OUTPOST

ENTITLEMENT SUBMITTAL

CONTACT INFORMATION

OWNER/DEVELOPER:

J & T MANAGEMENT, INC.
139 RADIO RD
CORONA, CA 92879
KARINE KOFDARALI
(951) 280-3833 EXT. 11
karine@jntmgmt.com

ARCHITECT:

KTGY GROUP, INC.
17911 VON KARMAN AVE, STE 200
IRVINE, CA 92614
JENNIFER WEIGAND
(949) 797-8306
jweigand@ktgy.com

CIVIL ENGINEER:

TAIT & ASSOCIATES, INC.
701 N. PARKCENTER DRIVE
SANTA ANA, CA 92705
KAVEH HAGHIGHI
(714) 560-8640
khaghighi@tait.com

LANDSCAPE ARCHITECT:

CDPC, INC.
3195-C AIRPORT LOOP DRIVE,
STUDIO ONE
COSTA MESA, CA 92626
RICHARD RAMIREZ
(702) 818-1223
ramirez@cdpcinc.com

PROJECT INFORMATION

SCOPE OF WORK:

PROPOSED DEVELOPMENT OF ±6.64 AC SITE WHICH INCLUDES ±16,700 SF RETAIL, 72 KEY HOTEL, AND ON-SITE IMPROVEMENTS. PROPOSED RETAIL USES INCLUDE RESTAURANTS, CONVENIENCE STORE, GAS/DIESEL STATION AND CAR WASH.

ASSESSOR'S PARCEL NUMBERS:

366-290-007 & 366-290-008

LAND USE:

COMMERCIAL RETAIL

CURRENT ZONING:

SCENIC HIGHWAY COMMERCIAL

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF RIVERSIDE, CITY OF WILDOMAR AND DESCRIBED AS FOLLOWS:

PARCEL 1:

THAT PORTION OF LOT 29 OF SEDCO TRACT NO. 1, IN THE CITY OF WILDOMAR, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA. AS SHOWN BY MAP ON FILE IN BOOK 10,, PAGES 58 THROUGH 75 INCLUSIVE OF MAPS, RIVERSIDE COUNTY RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING AT A TWO INCH IRON PIPE MARKING THE NORTHEAST CORNER OF SAID LOT 29; THENCE ALONG THE EASTERLY LINE OF SAID LOT 29, SOUTH 01° 11' 58" WEST(RECORD SOUTH 00° 37'20"WEST) 133.12 FEET; THENCE COURSE "A" NORTH 35° 22'37"WEST, 20.59 FEET; THENCE COURSE "B" NORTH 44° 14' 20" WEST, 55.90 FEET; THENCE COURSE "C"NORTH 33° 56'00" WEST, 94.44 FEET TO THE NORTHERLY LINE OF SAID LOT29, DISTANT ALONG SAID NORTHERLY LINE NORTH 88° 52' 14" WEST (RECORD NORTH 89° 26' 10" WEST) 105.44 FEET FROM THE POINT OF BEGINNING; THENCE ALONG SAID NORTHERLY LINE SOUTH 88° 52*14" EAST (RECORD SOUTH 89° 26' 10"EAST) 106.44 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED MARCH 30, 1978 AS FILE NO. 59661, OF OFFICIAL RECORDS.

PARCEL 2:

ALL THAT PORTION OF LOT 19 OF SEDCO TRACT NO. 1, IN THE CITY OF WILDOMAR, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 10, PAGES 58 THROUGH 75 INCLUSIVE OF MAPS, RIVERSIDE COUNTY RECORDS, LYING NORTHEASTERLY OF THE STATE HIGHWAY, AS CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED APRIL 20, 1955 IN BOOK 1725. PAGE 467, OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS.

EXCEPTING THEREFROM THAT PORTION AS DESCRIBED IN THE DEED TO THE COUNTY OF RIVERSIDE, RECORDED FEBRUARY 20.1970 AS FILE NO. 18792, OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED MARCH 30, 1978 AS FILE NO. 59661, OF OFFICIAL RECORDS.

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- 3 EASEMENT PLAN
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VICINITY MAP
N.T.S.



PROJECT LOCATION



Architecture + Planning
888.456.5849
ktgy.com

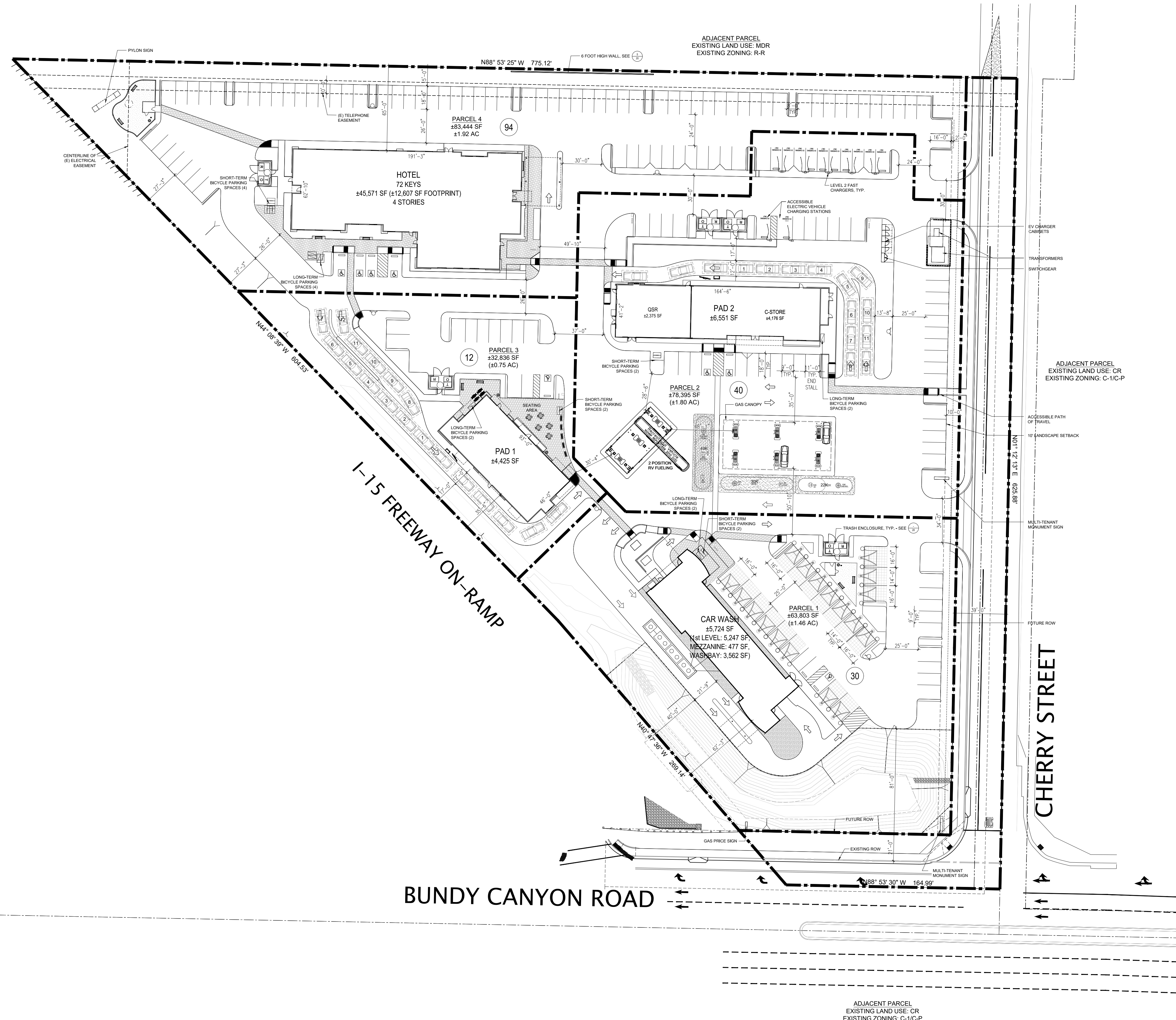
J&T Management, Inc.
139 Radio Road
Corona, CA 92879

CHERRY OUTPOST
WILDOMAR, CA

2022-0521

ENTITLEMENT SUBMITTAL
OCTOBER 3, 2024

TITLE SHEET



SITE SUMMARY		
FUTURE NET LAND AREA:		±289,445 SF (±6.64 AC)
EXISTING LAND AREA :		±259,087 SF (±5.95 AC)
BUILDING AREA :		±62,271 SF
LAND/BLDG RATIO:		9.0/1 ¹
COVERAGE:		10.0% ¹
PARKING PROVIDED:		176 STALLS
PARKING REQUIRED :		151 STALLS ²
RETAIL PARKING RATIO:		6.2/1000 ³

BICYCLE PARKING REQUIRED		
SHORT TERM PARKING:		9 STALLS ⁴
LONG TERM PARKING:		9 STALLS ⁴

BICYCLE PARKING PROVIDED		
SHORT TERM PARKING:		10 STALLS
LONG TERM PARKING:		10 STALLS

- 1 Based on Future Net Land Area and first level building area (±28,830 SF).
- 2 Based on City of Wildomar Municipal Code:
General Retail: 6/1000 (13,138³) = 79 stalls
Hotel: 1/ Key (72) = 72 stalls
- 3 Based on retail building area (13,138 SF³) and retail parking (82 stalls).
- 4 Based on 2022 CalGreen section 5.106.4.
- 5 Carwash Tunnel/Wash Bay (3,562 SF) is excluded from calculation.

NOTE:
GAS STATION TO PROVIDE REGULAR FUEL PRODUCTS, DIESEL, E85, RACING FUEL, AND ELECTRIC VEHICLE CHARGING STATIONS.
E85 AND RACING FUEL TO BE PROVIDED WITHIN STANDARD FUEL CANOPY.

UTILITIES & SERVICE
WATER:
ELSINORE VALLEY MUNICIPAL WATER DISTRICT
31315 CHANEY ST.
LAKE ELSINORE, CA 92530
951-674-3146

SEWER:
ELSINORE VALLEY MUNICIPAL WATER DISTRICT
31315 CHANEY ST.
LAKE ELSINORE, CA 92530
951-674-3146

GAS:
SOUTHERN CALIFORNIA GAS COMPANY
1801 S. ATLANTIC BLVD
MONTEREY PARK, CA 91754
1-800-427-2000

ELECTRIC:
SOUTHERN CALIFORNIA EDISON COMPANY
P.O. BOX 6400
RANCHO CUCAMONGA, CA 91729
1-800-990-7788

TELEPHONE:
FRONTIER
9 SOUTH 4TH ST.
REDLANDS, CA 92373
909-217-0116

CABLE TELEVISION:
SPECTRUM/CHARTER
560 S. PROMENADE AVE #102
CORONA, CA 92879
951-393-3146

SCHOOL DISTRICT:
LAKE ELSINORE UNIFIED SCHOOL DISTRICT
545 CHANEY ST.
LAKE ELSINORE, CA 92530
951-253-7000



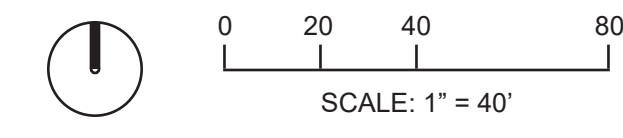
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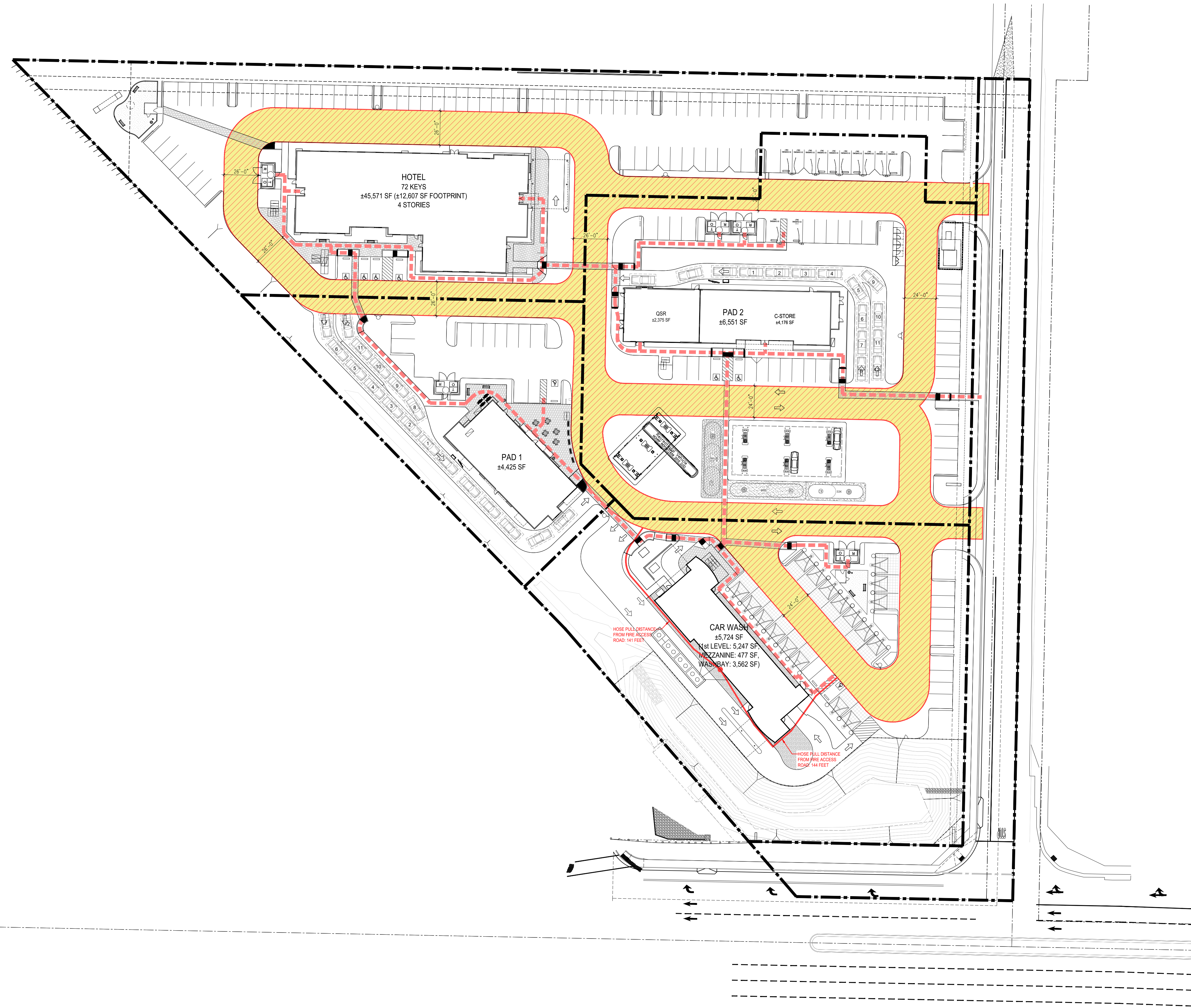
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WILDOMAR, CA

2022-0521

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CONCEPTUAL SITE PLAN

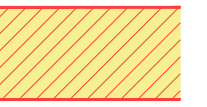


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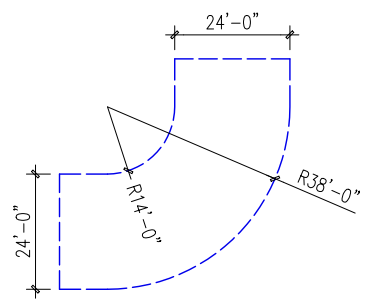
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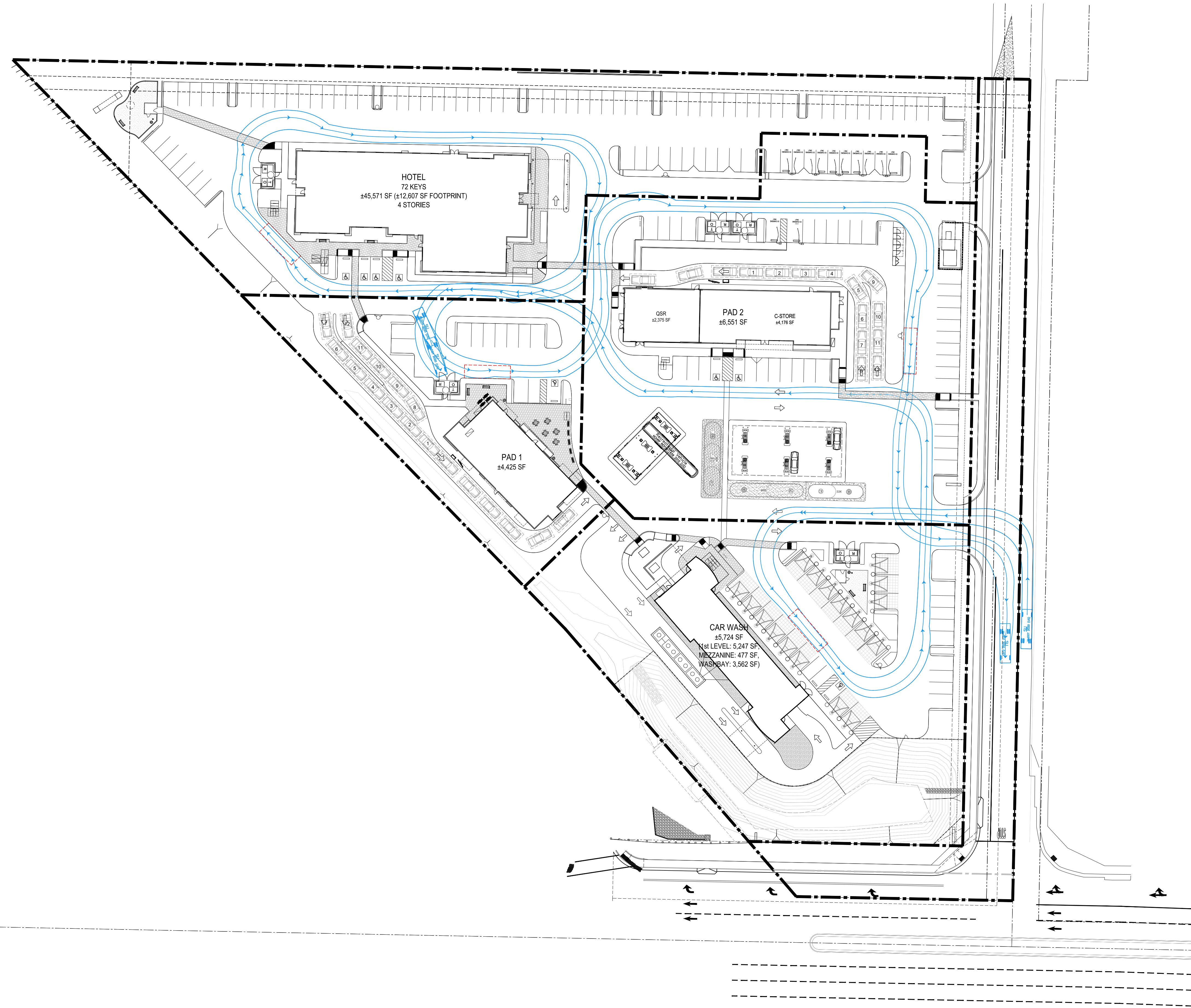


FIRE LANE/SERVICE VEHICLE PATH



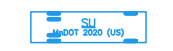
FIRE TRUCK TURNING RADIUS





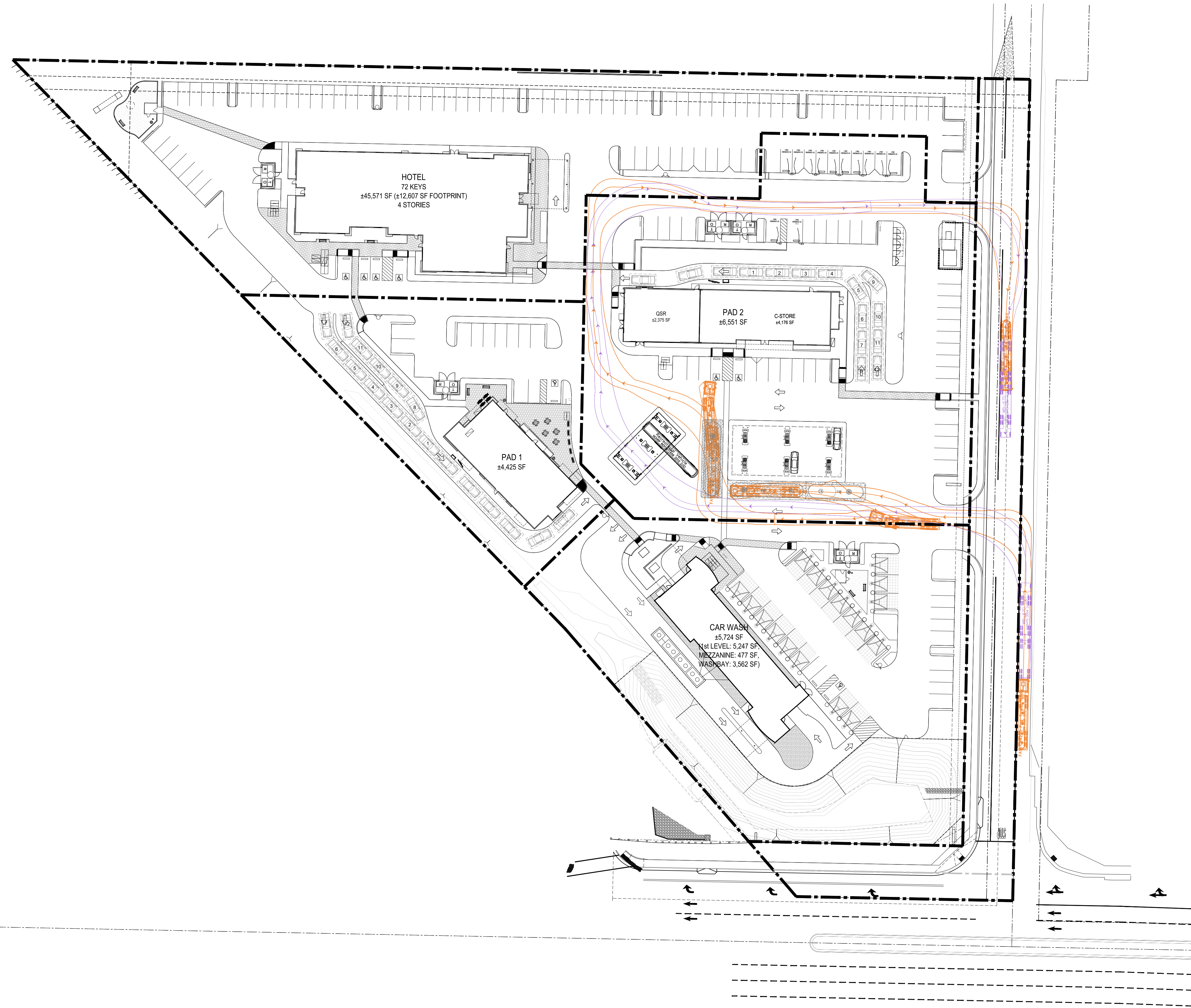
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LOADING TRUCK PATH



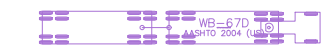
LOADING AREA





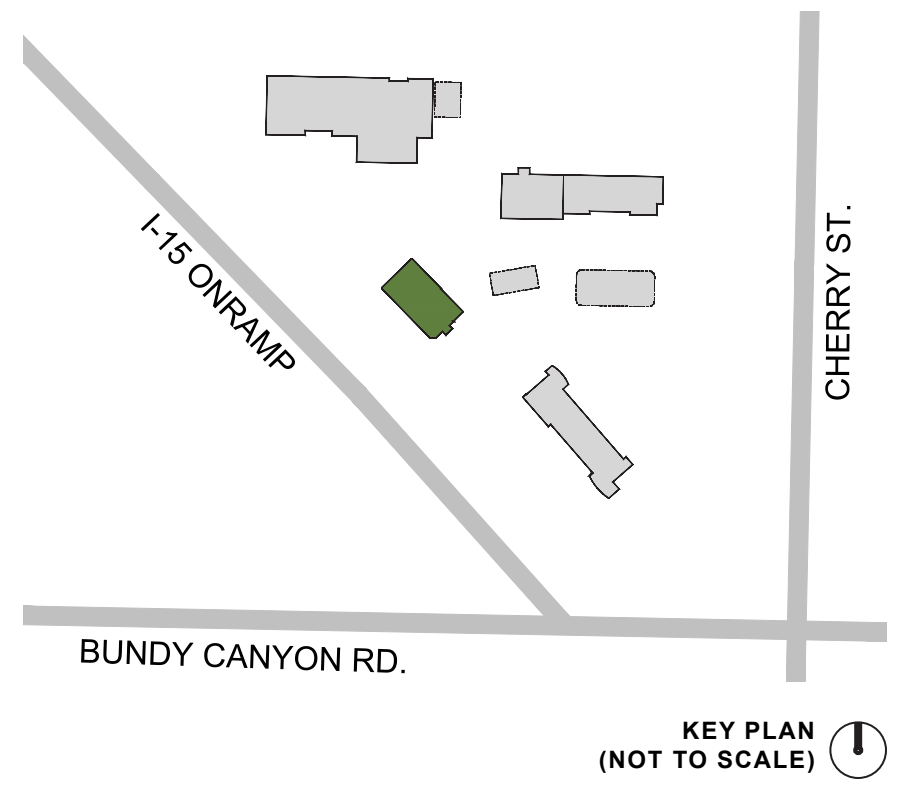
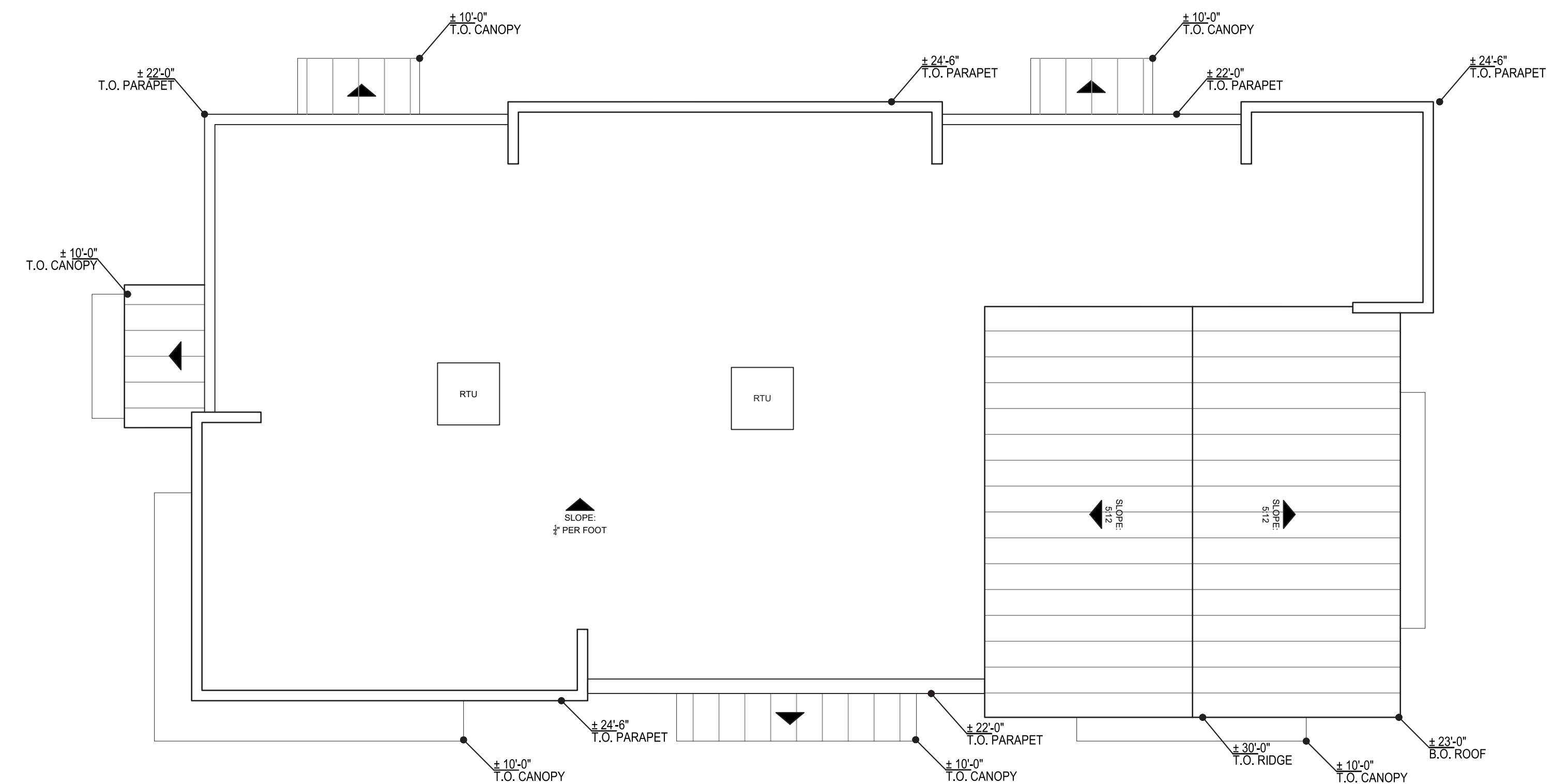
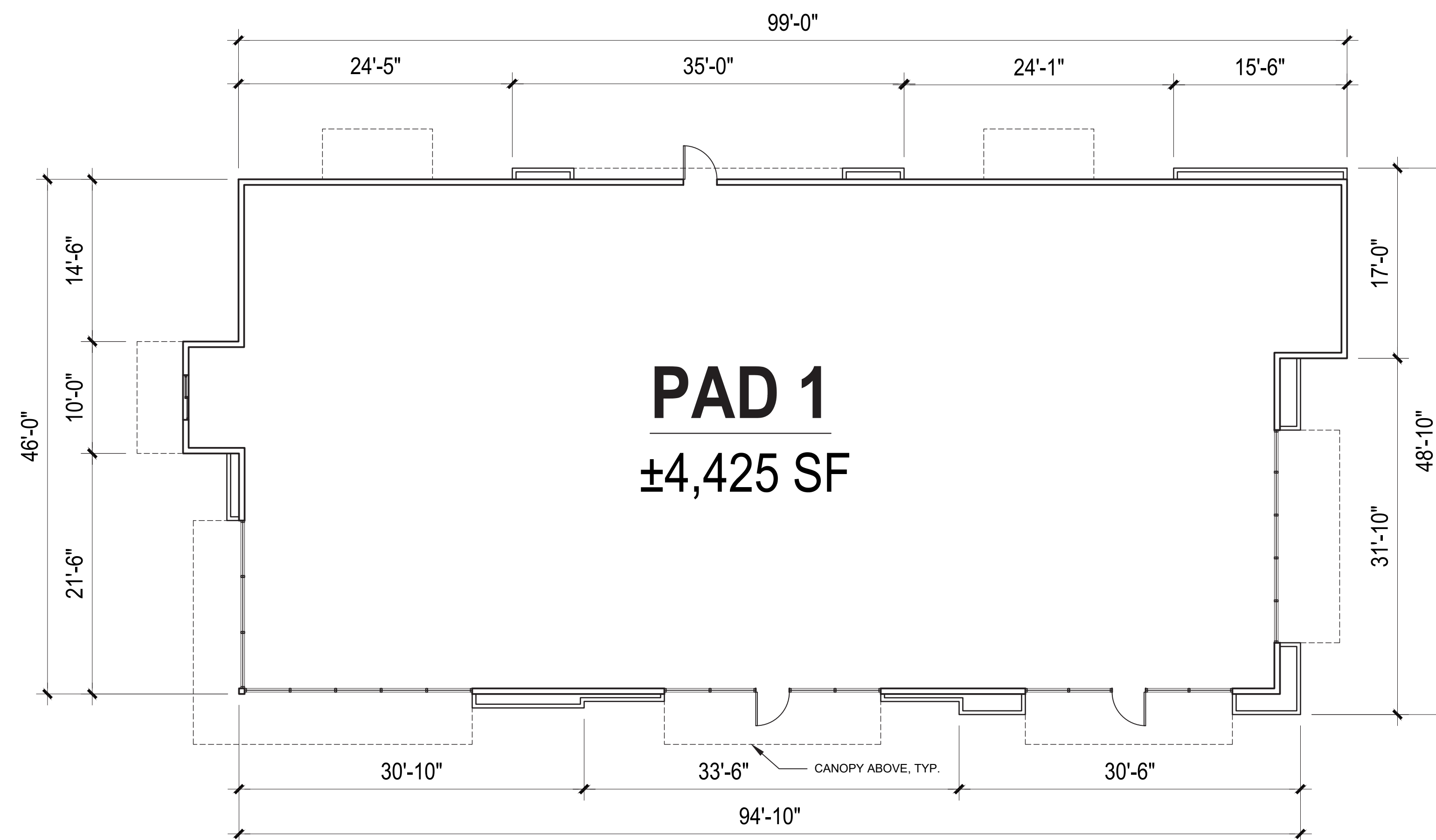
LEGEND

WB-67D TRUCK PATH

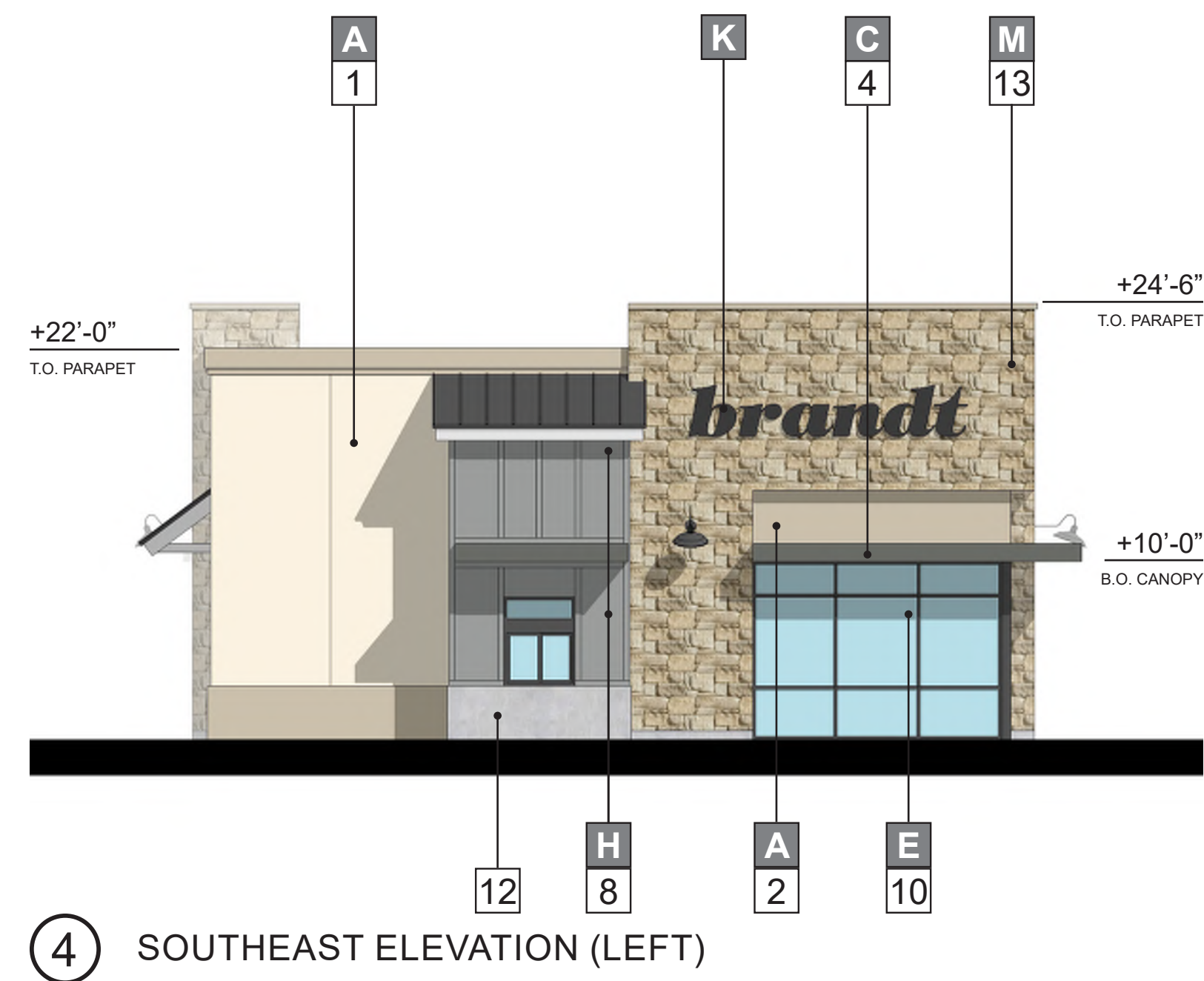
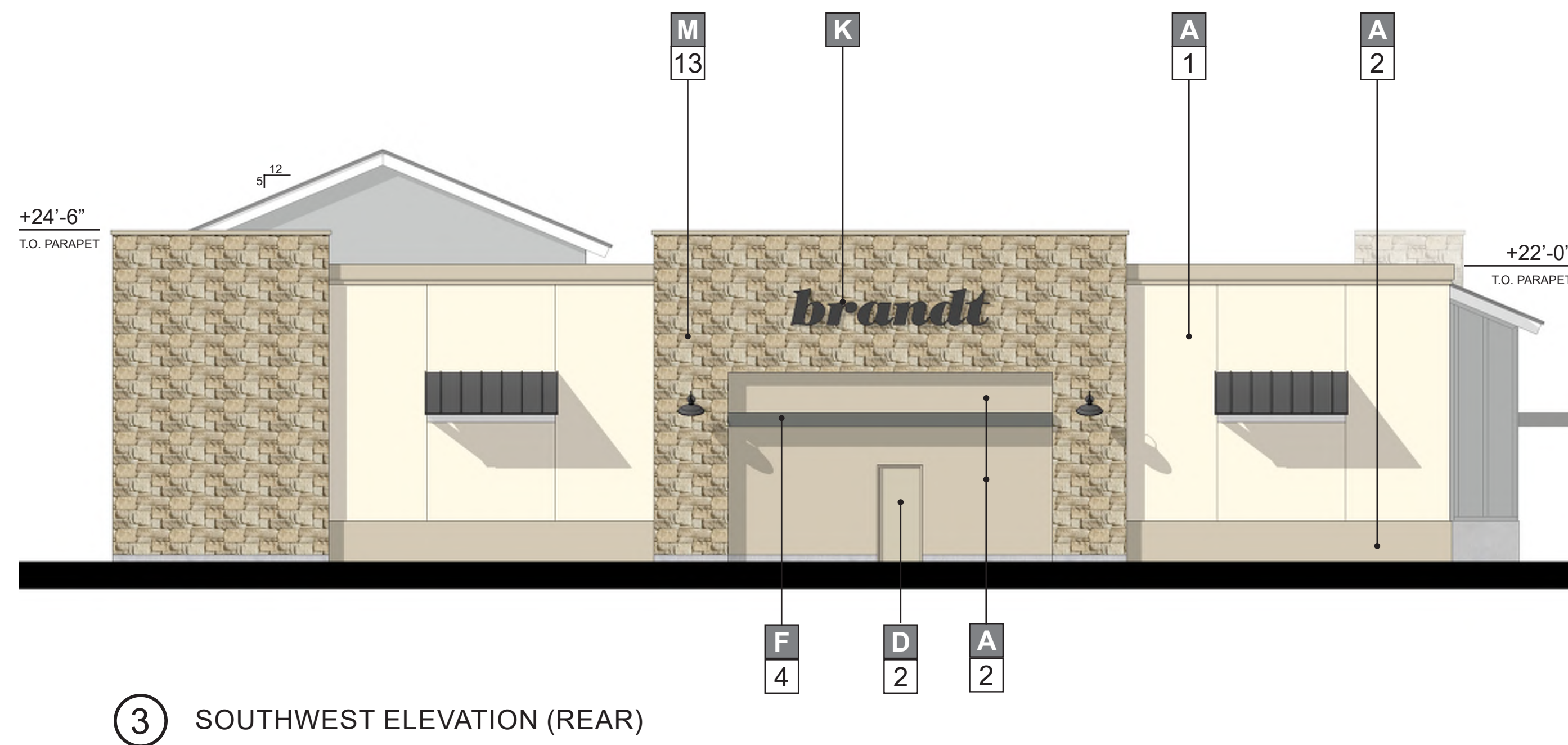
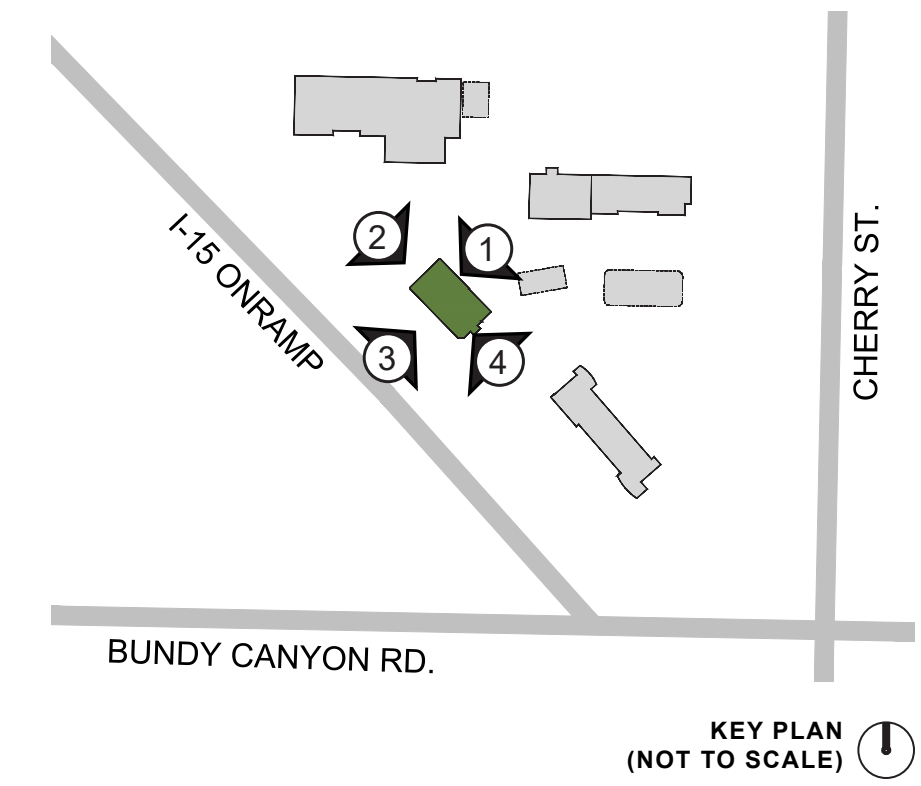
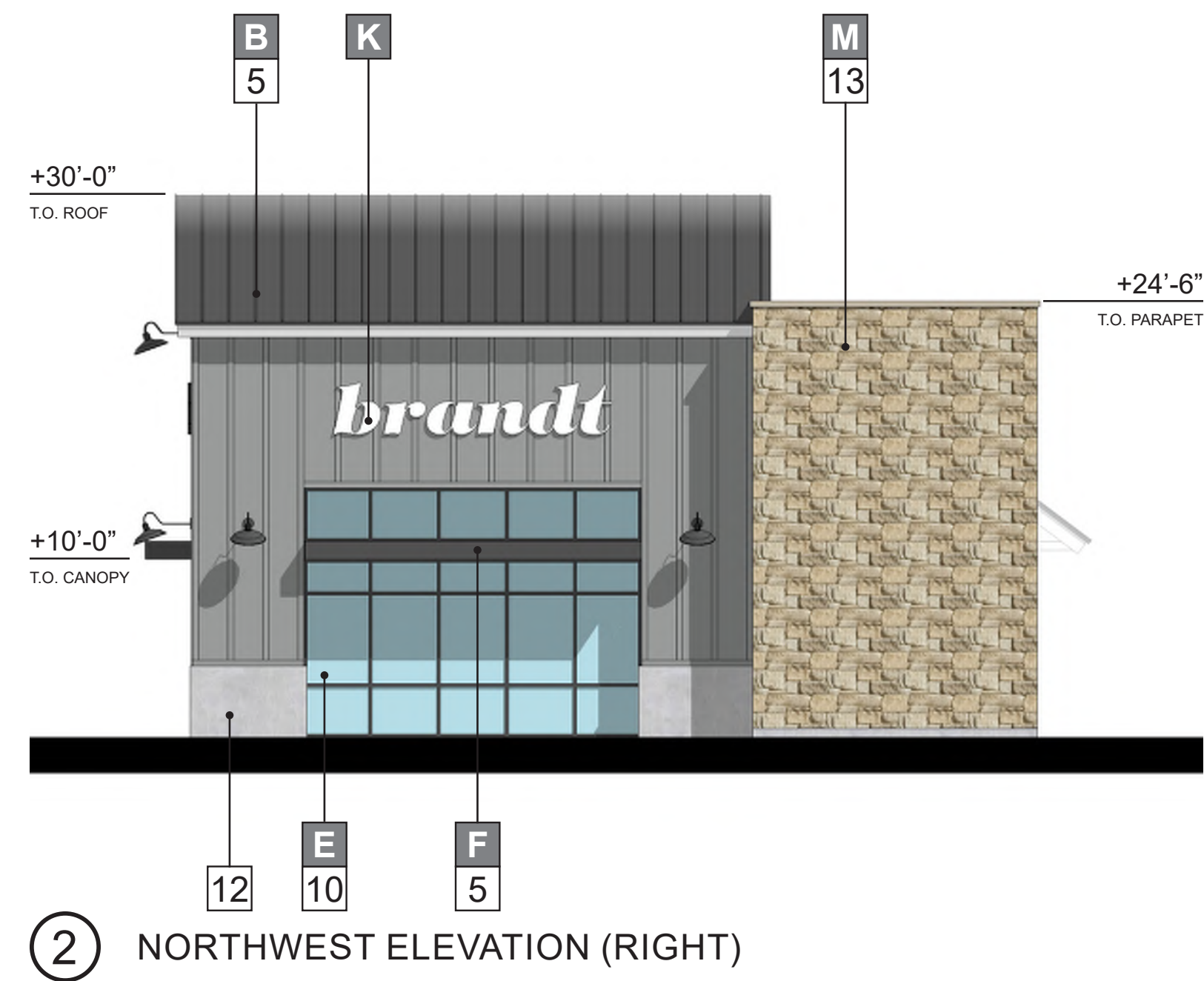
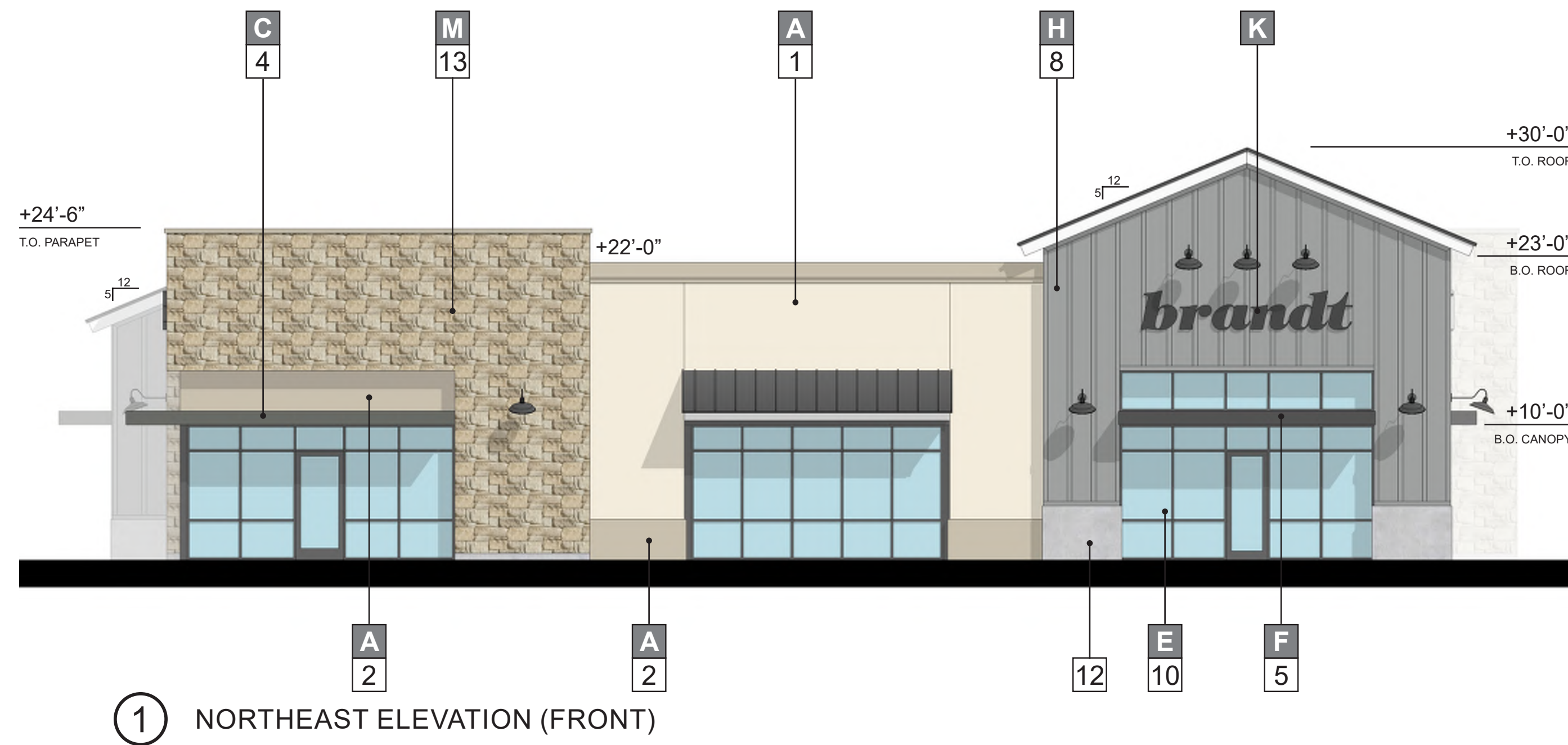


FUEL TANKER TRUCK PATH





NOTE:
1. RTU PLACEMENT IS CONCEPTUAL AND IS
SUBJECT TO CHANGE



NOTE:
1. SIGNAGE IS CONCEPTUAL AND WILL BE UNDER A
SEPARATE PERMIT.

MATERIALS

A	STUCCO: OMEGA-20/30 SAND FINISH	G	WOOD-LOOK ALUMINUM: KNOTWOOD "BEACHWOOD"	1	PAINT: DUNN EDWARDS-DE6183 "HOME PLATE"	7	PAINT: DUNN EDWARDS-DE6385 "BLACK BEAN"	13	STONE: CREATIVE MINES CRAFT ORCHARD LIMESTONE, "TIMBERWOLF"
B	STANDING SEAM METAL ROOF	H	BOARD AND BATTEN	2	PAINT: DUNN EDWARDS-DET637 "SEAGULL WAIL"	8	PAINT: DUNN EDWARDS-DE6382 "FORMAL GRAY"	14	STONE: CREATIVE MINES CRAFT SPLIT MODULAR, "LUNAR"
C	METAL CANOPY	J	BRICK: BELDEN - AMBASSADOR "GLACIER WHITE VELOUR"	3	PAINT: DUNN EDWARDS-DET648 "WHITE PICKET FENCE"	9	PAINT: DUNN EDWARDS-DET620 "BARNWOOD GRAY"	15	PAINT: DUNN EDWARDS-DET 697 "NOMAD"
D	DOOR	K	SIGNAGE	4	PAINT: DUNN EDWARDS-DET629 "FADE TO BLACK"	10	ARCADIA-AC-2 "CLEAR"		
E	STOREFRONT: ARCADIA-AC-2 "CLEAR"	L	HARDIE BOARD SIDING	5	PAINT: DUNN EDWARDS-DEA002 "BLACK"	11	ARCADIA-AB-7 "STANDARD DARK BRONZE"		
F	ARCHITECTURAL TRIM/COPING	M	STONE	6	PAINT: TENANT BRAND COLOR	12	PRECAST CONCRETE BASE		

COLORS & FINISHES



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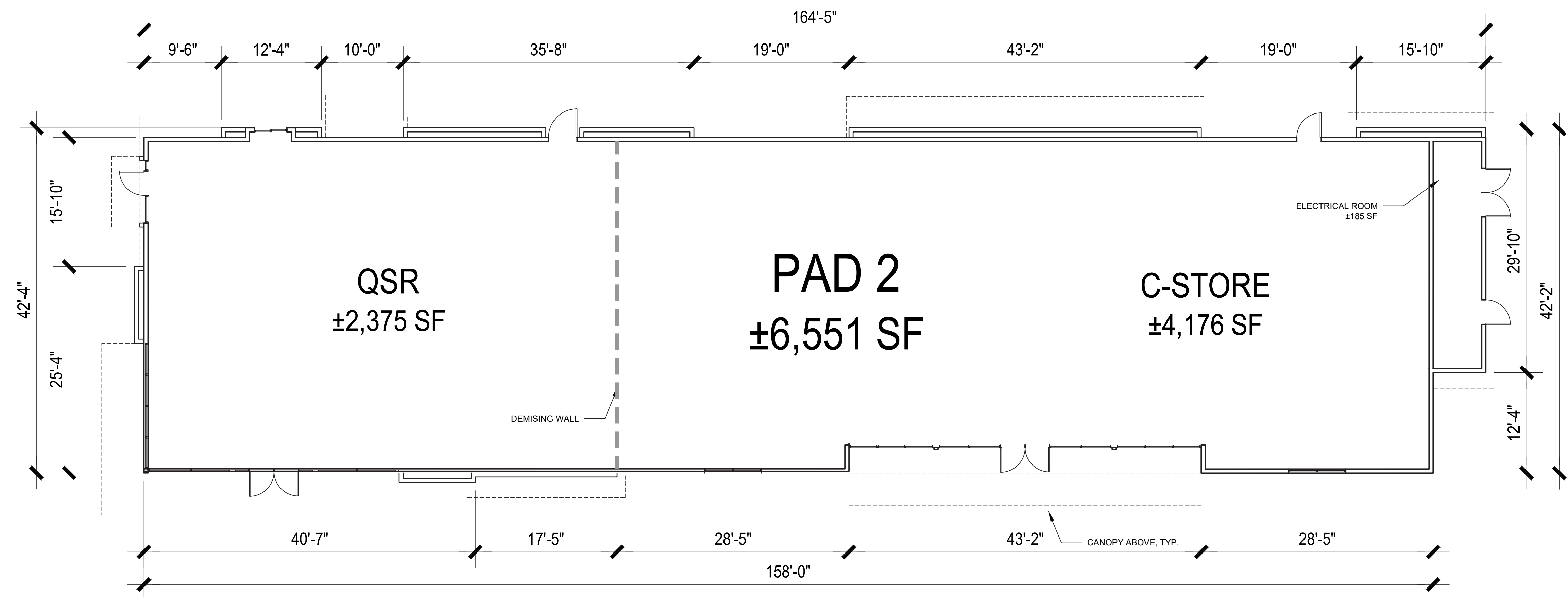
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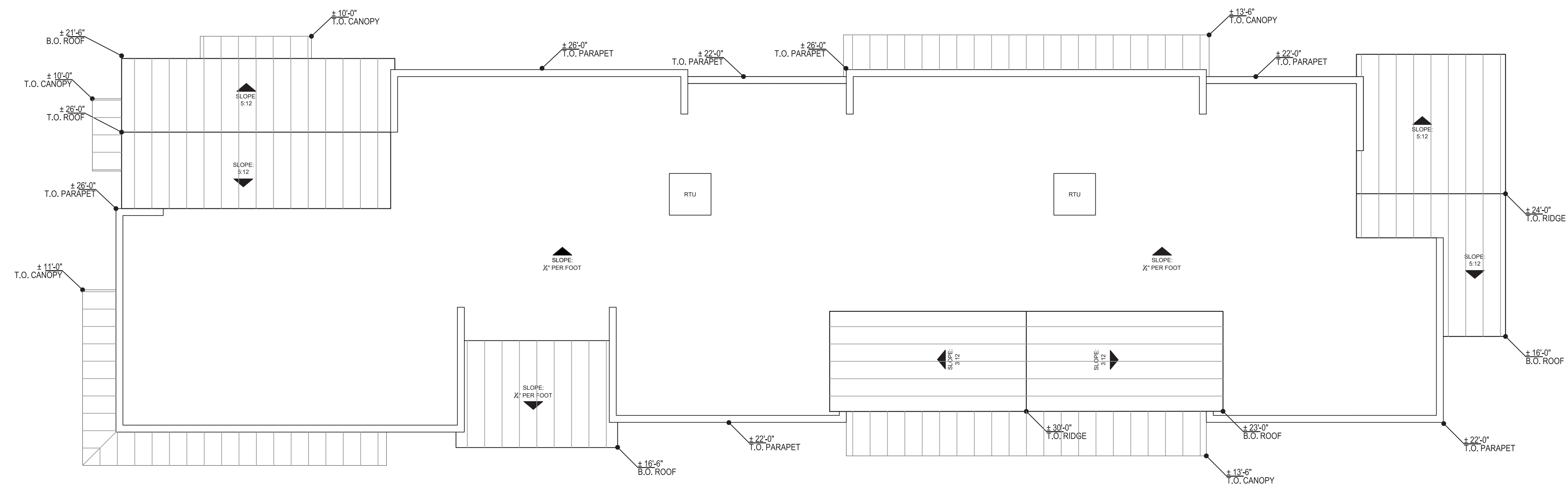
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0 4 8 16
SCALE: 1/8" = 1'

CONCEPTUAL ELEVATIONS
PAD 1



① FLOOR PLAN



② ROOF PLAN



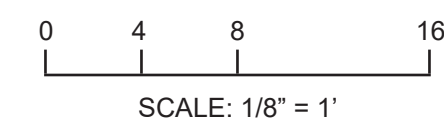
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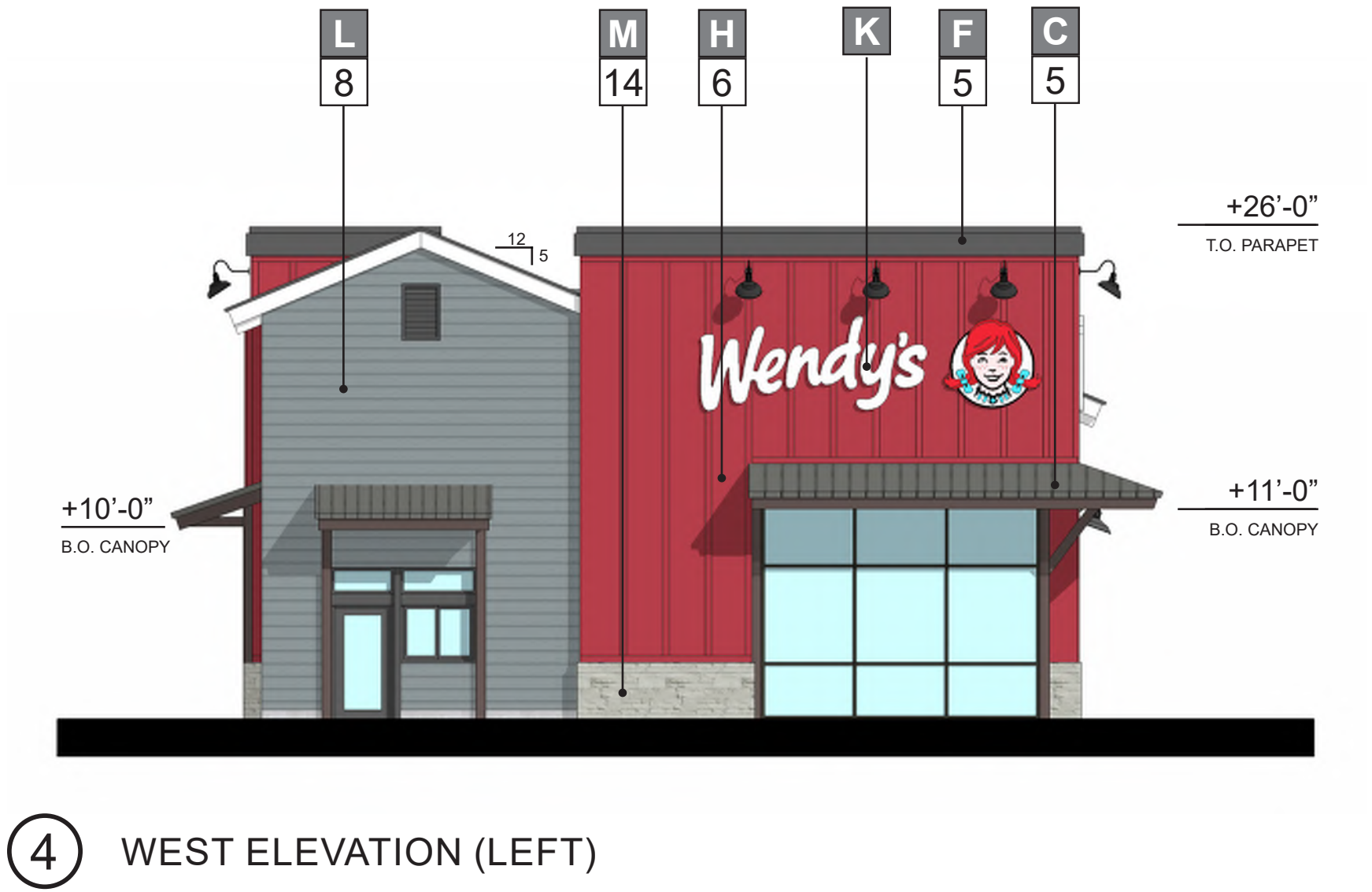
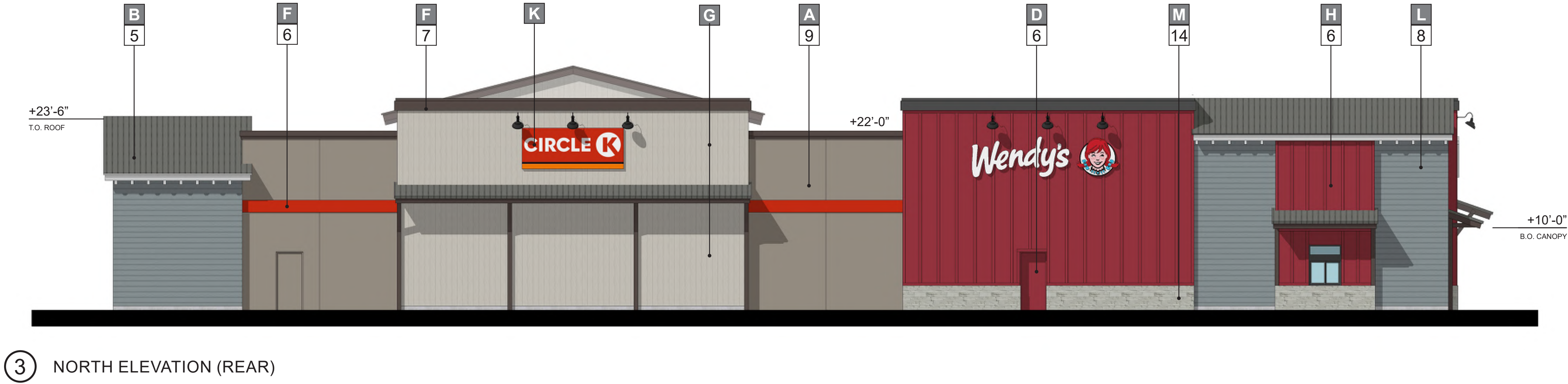
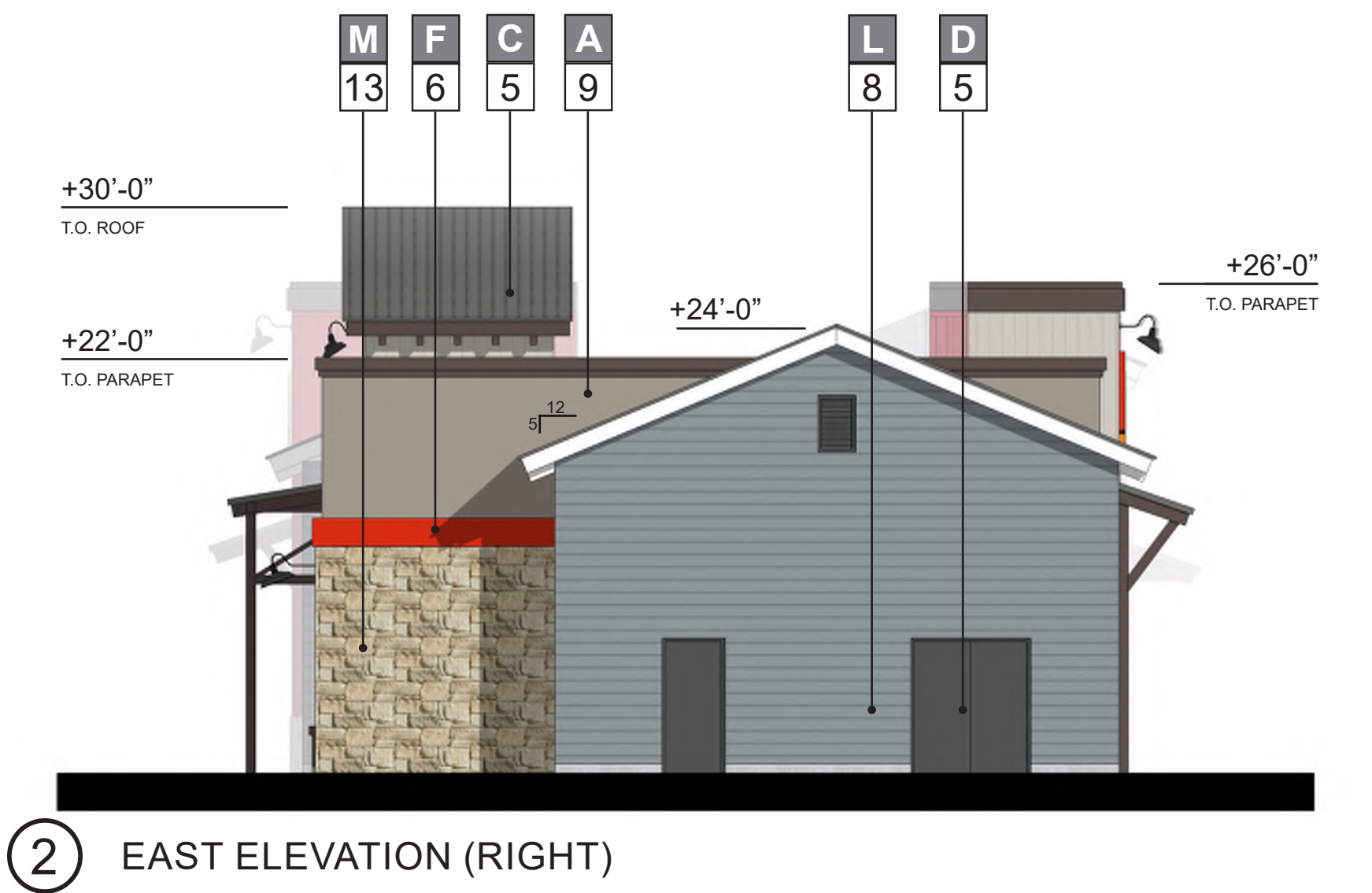
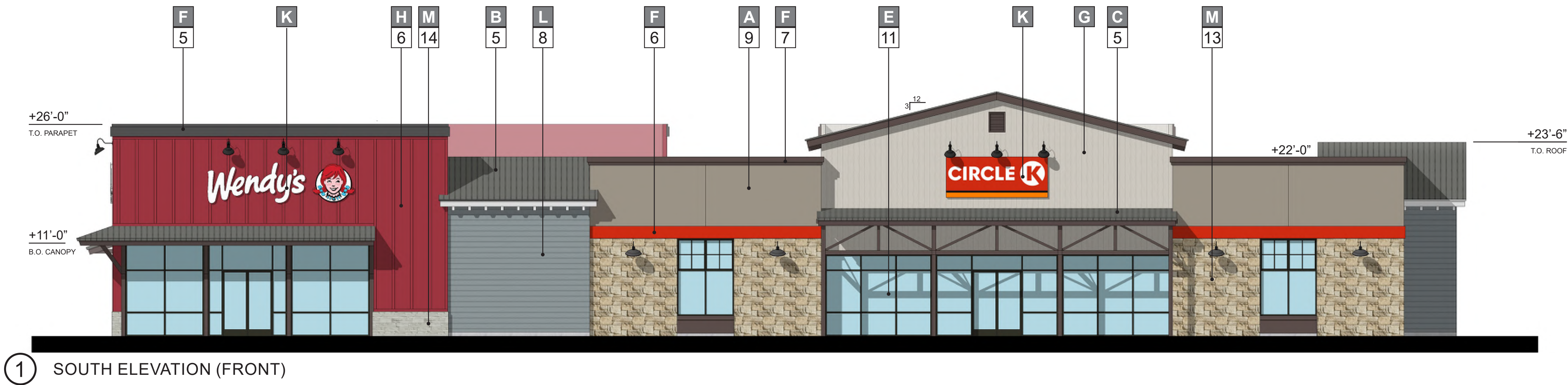
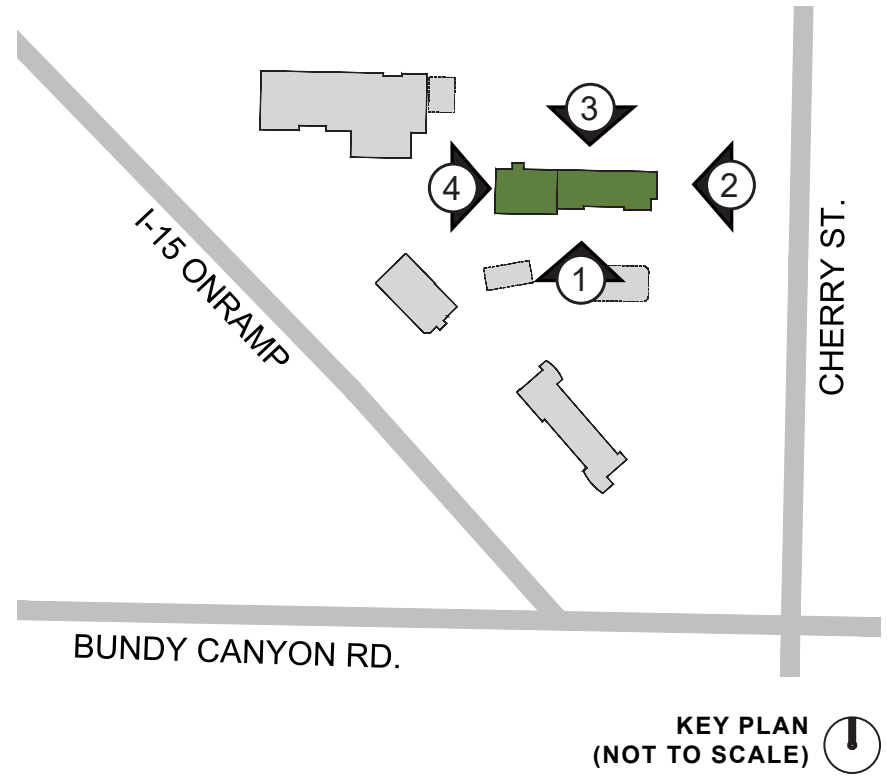
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CONCEPTUAL PLANS



NOTE:
1. SIGNAGE IS CONCEPTUAL AND WILL BE UNDER A
SEPARATE PERMIT.

MATERIALS

A	STUCCO: OMEGA-20/30 SAND FINISH
B	STANDING SEAM METAL ROOF
C	METAL CANOPY
D	DOOR
E	STOREFRONT: ARCADIA-AC-2 "CLEAR"
F	ARCHITECTURAL TRIM/COPING

G	WOOD-LOOK ALUMINUM: KNOTWOOD "BEACHWOOD"
H	BOARD AND BATTEN
J	BRICK: BELDEN - AMBASSADOR "GLACIER WHITE VELOUR"
K	SIGNAGE
L	HARDIE BOARD SIDING
M	STONE

COLORS & FINISHES

1	PAINT: DUNN EDWARDS-DE6183 "HOME PLATE"
2	PAINT: DUNN EDWARDS-DET637 "SEAGULL WAIL"
3	PAINT: DUNN EDWARDS-DET648 "WHITE PICKET FENCE"
4	PAINT: DUNN EDWARDS-DET629 "FADE TO BLACK"
5	PAINT: DUNN EDWARDS-DEA002 "BLACK"
6	PAINT: TENANT BRAND COLOR

7	PAINT: DUNN EDWARDS-DE6385 "BLACK BEAN"
8	PAINT: DUNN EDWARDS-DE6382 "FORMAL GRAY"
9	PAINT: DUNN EDWARDS-DET620 "BARNWOOD GRAY"
10	ARCADIA-AC-2 "CLEAR"
11	ARCADIA-AB-7 "STANDARD DARK BRONZE"
12	PRECAST CONCRETE BASE

13	STONE: CREATIVE MINES CRAFT ORCHARD LIMESTONE, "TIMBERWOLF"
14	STONE: CREATIVE MINES CRAFT SPLIT MODULAR, "LUNAR"
15	PAINT: DUNN EDWARDS-DET 697 "NOMAD"



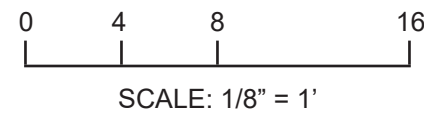
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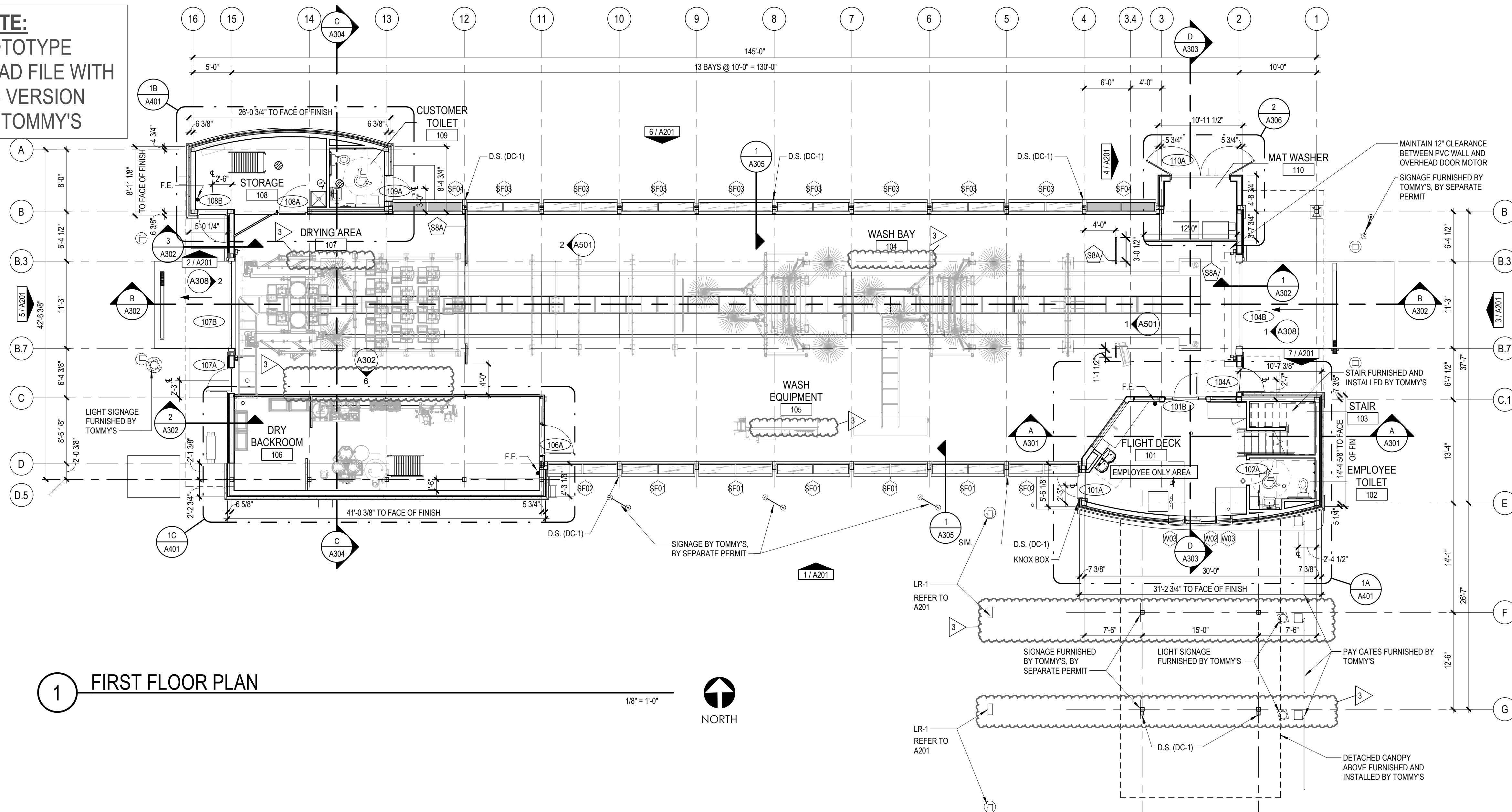
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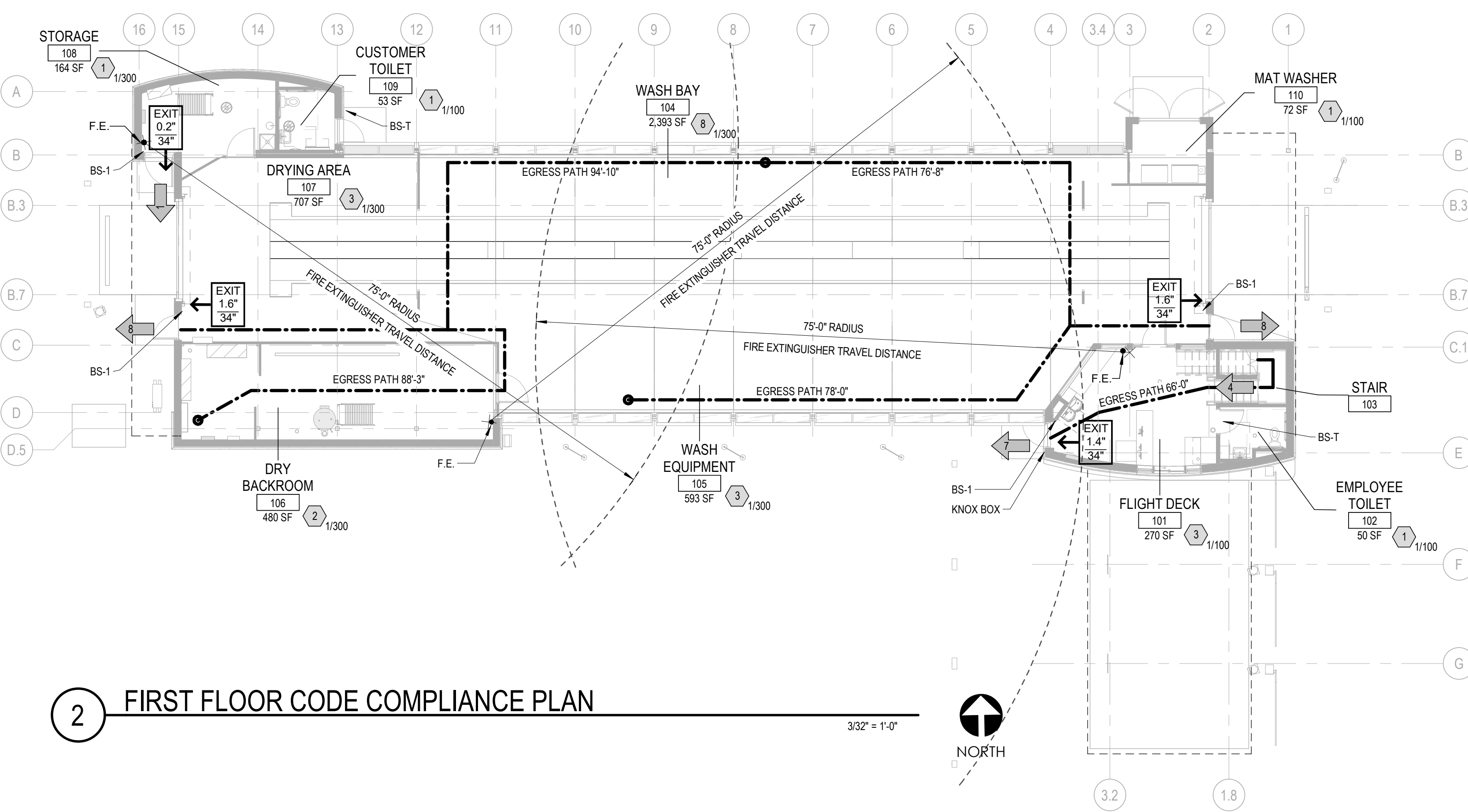
CONCEPTUAL ELEVATIONS
PAD 2

DESIGNER NOTE:
REPLACE PROTOTYPE
EQUIPMENT CAD FILE WITH
SITE SPECIFIC VERSION
PROVIDED BY TOMMY'S



1 FIRST FLOOR PLAN

1/8" = 1'-0"



2 FIRST FLOOR CODE COMPLIANCE PLAN

3/32" = 1'-0"



GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- FINISH FLOOR ELEVATION = 100' - 0". REFER TO CIVIL DRAWINGS FOR SITE DATUM ELEVATION EQUIVALENT.
- BEGINNING WORK INDICATES THAT THE CONTRACTOR HAS ACCEPTED AND VERIFIED EXISTING CONDITIONS.
- REFER TO CODE COMPLIANCE DRAWING(S) FOR LOCATIONS OF RATED ASSEMBLIES AND CODE SUMMARY.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF CONCRETE, FACE OF STUDS, COLUMN CENTERLINE AS SHOWN UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE PERPENDICULAR AND PARALLEL, UNLESS NOTED OTHERWISE.
- OWNER FURNISHED EQUIPMENT IS SHOWN LIGHT DASHED FOR REFERENCE ONLY. REFER TO EQUIPMENT DRAWINGS FOR ADDITIONAL INFORMATION.

FLOOR PLAN LEGEND AND NOTES

D.S., DOWNSPOUTS FURNISHED AND INSTALLED BY G.C.

ENCLOSURES DC-1 FURNISHED AND INSTALLED BY TOMMY'S, REFER TO SHEET A201

- # REFER TO SHEET A602 FOR WINDOW SCHEDULE
- # REFER TO SHEET A601 FOR DOOR SCHEDULE
- # WALL TYPE, REFER TO WALL TYPE LEGEND
- NEW WALL CONSTRUCTION, REFER TO WALL TYPE LEGEND

NOTE 1: ALL GYPSUM BOARD TO BE "TYPE X" FIRE RATED, UNLESS NOTED OTHERWISE, TYP. USE MOISTURE RESISTANT GYP. BOARD IN WET AREAS, TYP.

NOTE 2: ALL PLYWOOD AND DIMENSIONAL LUMBER USED AS BLOCKING TO BE EXTERIOR GRADE PRESSURE TREATED WOOD, UNLESS NOTED OTHERWISE, TYP.

INTERIOR WALL GENERAL NOTES

- CONSTRUCT ALL WALLS TIGHT TO DECK ABOVE AND EXTEND INTO DECK FLUTES AND WEBS OF STEEL MEMBERS UNLESS OTHERWISE NOTED.
- PROVIDE DEFLECTION TRACK AT THE TOP OF ALL INTERIOR NON-BEARING METAL STUD WALLS CAPABLE OF ACCOMMODATING 3/4" ROOF/FLOOR DEFLECTION.

INTERIOR WALL LEGEND

- S1 METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" GYPSUM BOARD EACH SIDE. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK.
 - S1A 3-5/8" METAL STUDS
- S2 METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" GYPSUM BOARD EACH SIDE AND ACOUSTICAL BATT INSULATION. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK.
 - S2A 3-5/8" METAL STUDS
- S3 METAL STUD FRAMING / FRAMING 20 GA @ 16" O.C. W/ 5/8" GYPSUM BOARD ONE SIDE. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK. PROVIDE FRP PANELS IN TOILET ROOMS AS REQUIRED, REFER TO INTERIOR ELEVATIONS FOR HEIGHTS OF FRP AT TOILET ROOMS.
 - S3A 7/8" METAL HAT CHANNEL
 - S3B 1-1/2" METAL STUDS
 - S3D 3-5/8" METAL STUDS
- S4 METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" GYPSUM BOARD ONE SIDE AND 1/2" CDX PLYWOOD WITH SELF-ADHERED WATER RESISTIVE BARRIER (VAPROSHIELD "WRAPSHIELD SA" OR EQUIVALENT) AND 1/2" PVC PANELS INSTALLED ON WASH TUNNEL SIDE. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK.
 - S4E 6" METAL STUDS
- S5 METAL STUD FRAMING 20 GA @ 16" O.C. W/ 1/2" CDX PLYWOOD AND SELF-ADHERED WATER RESISTIVE BARRIER (VAPROSHIELD "WRAPSHIELD SA" OR EQUIVALENT) ONE SIDE AND 5/8" GYPSUM BD W/ FRP PANELS ON TOILET ROOM SIDE. REFER TO INTERIOR ELEVATION FOR HEIGHTS OF FRP. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK. UNLESS NOTED OTHERWISE.
 - S5B 6" METAL STUDS
- S6 METAL STUD FRAMING 20 GA @ 16" O.C. W/ 1/2" CDX PLYWOOD ONE SIDE AND 1/2" CDX PLYWOOD WITH SELF-ADHERED WATER RESISTIVE BARRIER (VAPROSHIELD "WRAPSHIELD SA" OR EQUIVALENT) AND 1/2" PVC WALL PANEL. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK. UNLESS NOTED OTHERWISE.
 - S6A 3-5/8" METAL STUDS
- S7 METAL STUD FRAMING 20 GA @ 16" O.C. W/ 1/2" CDX PLYWOOD ONE SIDE AND 5/8" GYPSUM BD W/ FRP PANELS ON TOILET ROOM SIDE. REFER TO INTERIOR ELEVATION FOR HEIGHTS OF FRP. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK. UNLESS NOTED OTHERWISE.
 - S7A 3-5/8" METAL STUDS
- S8 DEMOUNTABLE PVC WALL PANEL SYSTEM FURNISHED BY TOMMY'S
 - S8A 2-1/4" THICK X 24" WIDE TONGUE & GROOVE PANEL
- S9 NOT USED
- S10 METAL STUD FRAMING 20 GA @ 16" O.C. W/ 1/2" CDX PLYWOOD ONE SIDE. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF STRUCTURE ABOVE.
 - S10A 3-5/8" METAL STUDS
- S11 METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" GYPSUM BOARD EACH SIDE. EXTEND ALL WALL COMPONENTS TO 3'-6" ABOVE UPPER STAIR NOSING.
 - S11A 3-5/8" METAL STUDS

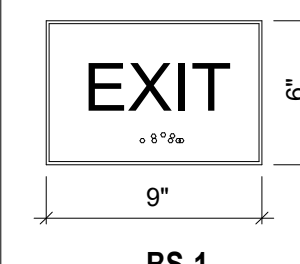
NOTE: ALL PVC WALL PANELS/TRIM ARE FURNISHED BY TOMMY'S AND INSTALLED BY G.C. STAINLESS STEEL FASTENERS FURNISHED AND INSTALLED BY G.C. REFER TO TOMMY'S PROVIDED EXTRUTECH MANUAL FOR FASTENER TYPES AND LOCATIONS.

CODE LEGEND

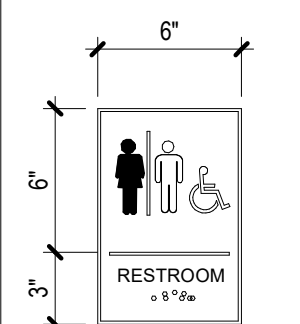
- EXIT/EXIT ACCESS WITH CAPACITY SERVED
- DIRECTION OF EGRESS INCLUDING SECONDARY EXIT/EXIT ACCESS
- OCCUPANT LOAD OF SPACE AND BASIS FOR CALCULATION
- REQUIRED EGRESS DOOR WIDTH
- PROVIDED EGRESS DOOR WIDTH
- WALL MOUNTED FIRE EXTINGUISHER CLASS A Ordinary (Moderate) Hazard Occupancy 2A-10B EXTINGUISHER. CONTRACTOR TO VERIFY LOCATION WITH FIRE INSPECTOR PRIOR TO INSTALLATION. 75' TRAVEL DISTANCE MAXIMUM.

DESIGNER NOTE:
STRUCTURAL STEEL MODEL IS INCLUDED FOR REFERENCE ONLY AS A "GENERIC MODEL" FAMILY ON WORKSET "XLINK_STEEL_FRAME". REFER TO SITE SPECIFIC STEEL DRAWINGS FOR MORE INFORMATION.

SIGNAGE



BS-1



BS-T

BUILDING SIGNS - EXIT 9"W X 6"H BLACK PLASTIC (FIELD) BACKGROUND WITH WHITE EMBLEMS AND 2" HIGH WHITE LETTERING. (NOTE: EMBLEMS AND LETTERING MUST BE RAISED OR DEPRESSED MIN 1/16" TYPICAL.) PROVIDE (1) SIGN PER EXIT DOOR COMPLYING WITH ANSI A117.1. SIGN TO HAVE RAISED AND BRAILLE CHARACTERS. MOUNT NEAR CORRESPONDING DOOR ACCORDING TO LOCAL CODE.

BUILDING SIGNS - TOILET ROOMS 6"W X 9"H BLACK PLASTIC (FIELD) BACKGROUND WITH WHITE EMBLEMS AND 5/8" MIN. TO 2" MAX. HIGH WHITE LETTERING. (NOTE: EMBLEMS AND LETTERING MUST BE RAISED OR DEPRESSED MIN 1/16" TYPICAL.) PROVIDE (1) SIGN PER TOILET ROOM COMPLYING WITH ANSI A117.1. SIGN TO HAVE RAISED AND BRAILLE CHARACTERS AND PICTORIAL SYMBOL OF ACCESSIBILITY. MOUNT NEAR CORRESPONDING DOOR ACCORDING TO LOCAL CODE.

REVISION NUMBER	1	2	3
REVISION DATE	01/31/2023	01/31/2023	01/31/2023
REVISION DESCRIPTION			

CONSULTANTS

TOMMY CAR WASH SYSTEMS
QUOTE: XXXXX
VERSION NUMBER: XX
PROGRAM: 2023-Q1-T3-R24

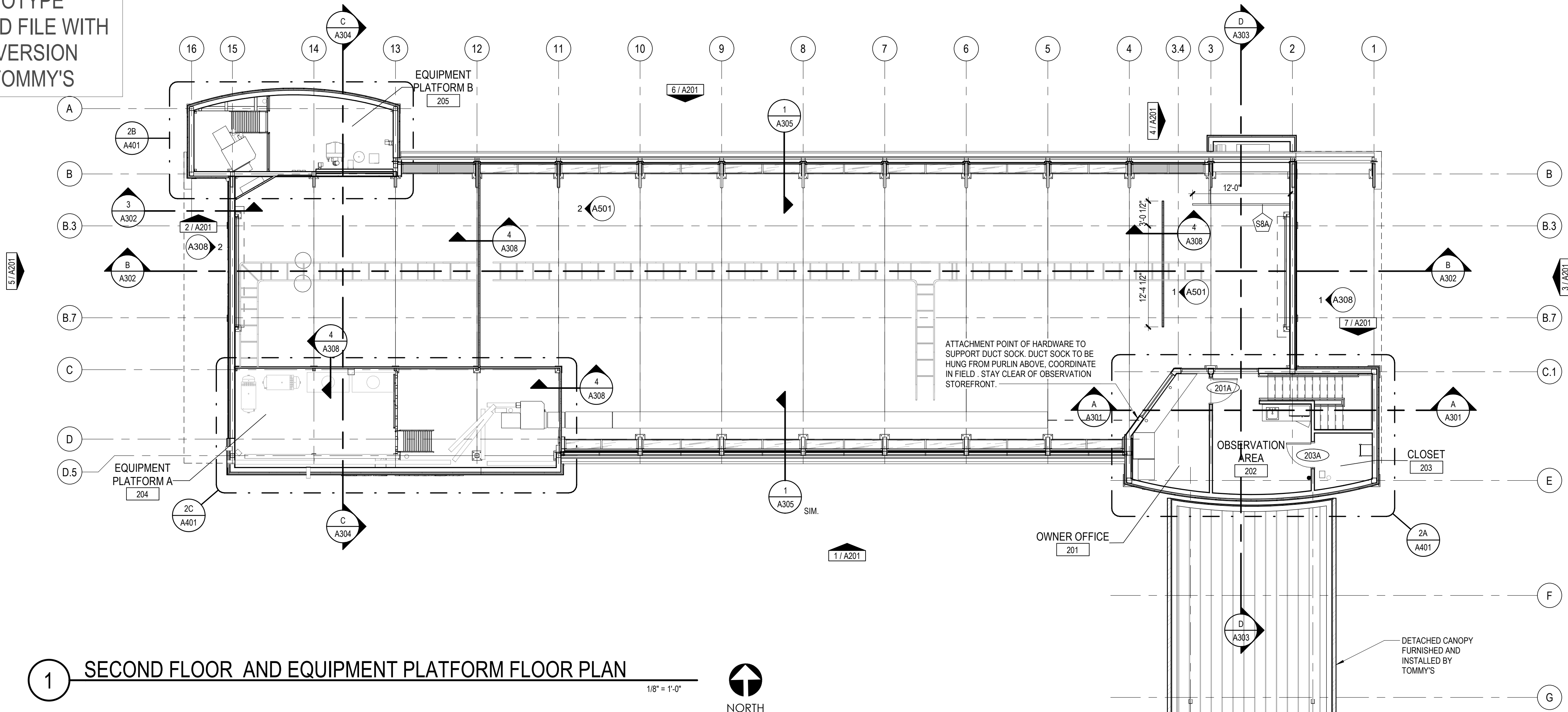
FIRST FLOOR PLAN AND CODE COMPLIANCE PLAN
TOMMY EXPRESS T130-T3-R24-Q1
ADDRESS: CITY, STATE ZIP

PRELIMINARY NOT FOR CONSTRUCTION
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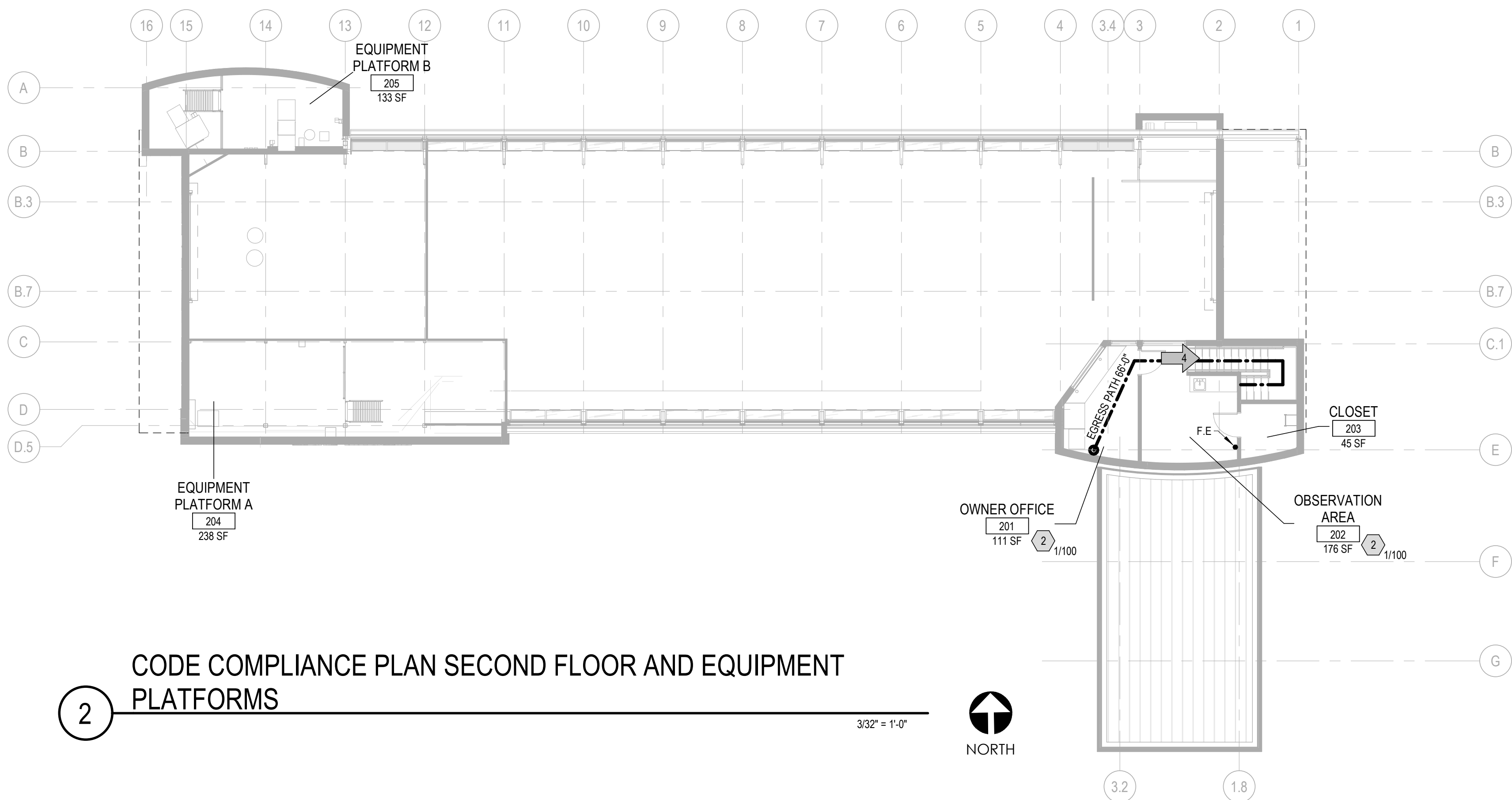
As indicated
9
01/31/2023
Project Number

Paul L. Cripe, Inc.

DESIGNER NOTE:
REPLACE PROTOTYPE
EQUIPMENT CAD FILE WITH
SITE SPECIFIC VERSION
PROVIDED BY TOMMY'S



1 SECOND FLOOR AND EQUIPMENT PLATFORM FLOOR PLAN
1/8" = 1'-0"



2 CODE COMPLIANCE PLAN SECOND FLOOR AND EQUIPMENT PLATFORMS
3/32" = 1'-0"

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- FINISH FLOOR ELEVATION = 100' - 0". REFER TO CIVIL DRAWINGS FOR SITE DATUM ELEVATION EQUIVALENT.
- BEGINNING WORK INDICATES THAT THE CONTRACTOR HAS ACCEPTED AND VERIFIED EXISTING CONDITIONS.
- REFER TO CODE COMPLIANCE DRAWING(S) FOR LOCATIONS OF RATED ASSEMBLIES AND CODE SUMMARY.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, FACE OF CONCRETE, FACE OF STUDS, COLUMN CENTERLINE AS SHOWN UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE PERPENDICULAR AND PARALLEL, UNLESS NOTED OTHERWISE.
- OWNER FURNISHED EQUIPMENT IS SHOWN LIGHT DASHED FOR REFERENCE ONLY. REFER TO EQUIPMENT DRAWINGS FOR ADDITIONAL INFORMATION.

FLOOR PLAN LEGEND AND NOTES

D.S. DOWNSPOUTS FURNISHED AND INSTALLED BY G.C.

ENCLOSURES DC-1 FURNISHED AND INSTALLED BY TOMMY'S, REFER TO SHEET A201

- # REFER TO SHEET A602 FOR WINDOW SCHEDULE
- # REFER TO SHEET A601 FOR DOOR SCHEDULE
- # WALL TYPE, REFER TO WALL TYPE LEGEND
- NEW WALL CONSTRUCTION, REFER TO WALL TYPE LEGEND

- NOTE 1:** ALL GYPSUM BOARD TO BE "TYPE X" FIRE RATED, UNLESS NOTED OTHERWISE, TYP. USE MOISTURE RESISTANT GYP. BOARD IN WET AREAS, TYP.
- NOTE 2:** ALL PLYWOOD AND DIMENSIONAL LUMBER USED AS BLOCKING TO BE EXTERIOR GRADE PRESSURE TREATED WOOD, UNLESS NOTED OTHERWISE, TYP.

INTERIOR WALL GENERAL NOTES

- CONSTRUCT ALL WALLS TIGHT TO DECK ABOVE AND EXTEND INTO DECK FLUTES AND WEBS OF STEEL MEMBERS UNLESS OTHERWISE NOTED.
- PROVIDE DEFLECTION TRACK AT THE TOP OF ALL INTERIOR NON-BEARING METAL STUD WALLS CAPABLE OF ACCOMMODATING 3/4" ROOF/FLOOR DEFLECTION.

INTERIOR WALL LEGEND

- S1 METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" GYPSUM BOARD EACH SIDE. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK.
 - S1A 3-5/8" METAL STUDS
- S2 METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" GYPSUM BOARD EACH SIDE AND ACOUSTICAL BATT INSULATION. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK.
 - S2A 3-5/8" METAL STUDS
- S3 METAL STUD FURRING / FRAMING 20 GA @ 16" O.C. W/ 5/8" GYPSUM BOARD ONE SIDE. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK. PROVIDE FRP PANELS IN TOILET ROOMS AS REQUIRED, REFER TO INTERIOR ELEVATIONS FOR HEIGHTS OF FRP AT TOILET ROOMS.
 - S3A 7/8" METAL HAT CHANNEL
 - S3B 1-1/2" METAL STUDS
 - S3D 3-5/8" METAL STUDS
- S4 METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" GYPSUM BOARD ONE SIDE AND 1/2" CDX PLYWOOD WITH SELF-ADHERED WATER RESISTIVE BARRIER (VAPROSHIELD "WRAPSHIELD SA" OR EQUIVALENT) AND 1/2" PVC PANELS INSTALLED ON WASH TUNNEL SIDE. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK.
 - S4E 6" METAL STUDS
- S5 METAL STUD FRAMING 20 GA @ 16" O.C. W/ 1/2" CDX PLYWOOD AND SELF-ADHERED WATER RESISTIVE BARRIER (VAPROSHIELD "WRAPSHIELD SA" OR EQUIVALENT) ONE SIDE AND 5/8" GYPSUM BD W/ FRP PANELS ON TOILET ROOM SIDE. REFER TO INTERIOR ELEVATION FOR HEIGHTS OF FRP. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK. UNLESS NOTED OTHERWISE.
 - S5B 6" METAL STUDS
- S6 METAL STUD FRAMING 20 GA @ 16" O.C. W/ 1/2" CDX PLYWOOD ONE SIDE AND 1/2" CDX PLYWOOD WITH SELF-ADHERED WATER RESISTIVE BARRIER (VAPROSHIELD "WRAPSHIELD SA" OR EQUIVALENT) AND 1/2" PVC WALL PANEL. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK. UNLESS NOTED OTHERWISE.
 - S6A 3-5/8" METAL STUDS
- S7 METAL STUD FRAMING 20 GA @ 16" O.C. W/ 1/2" CDX PLYWOOD ONE SIDE AND 5/8" GYPSUM BD W/ FRP PANELS ON TOILET ROOM SIDE. REFER TO INTERIOR ELEVATION FOR HEIGHTS OF FRP. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF DECK. UNLESS NOTED OTHERWISE.
 - S7A 3-5/8" METAL STUDS
- S8 DEMOUNTABLE PVC WALL PANEL SYSTEM FURNISHED BY TOMMY'S
 - S8A 2-1/4" THICK X 24" WIDE TONGUE & GROOVE PANEL
- S9 NOT USED
- S10 METAL STUD FRAMING 20 GA @ 16" O.C. W/ 1/2" CDX PLYWOOD ONE SIDE. EXTEND ALL WALL COMPONENTS TO UNDERSIDE OF STRUCTURE ABOVE.
 - S10A 3-5/8" METAL STUDS
- S11 METAL STUD FRAMING 20 GA @ 16" O.C. W/ 5/8" GYPSUM BOARD EACH SIDE. EXTEND ALL WALL COMPONENTS TO 3'-6" ABOVE UPPER STAIR NOSING.
 - S11A 3-5/8" METAL STUDS

NOTE: ALL PVC WALL PANELS/TRIM ARE FURNISHED BY TOMMY'S AND INSTALLED BY G.C. STAINLESS STEEL FASTENERS FURNISHED AND INSTALLED BY G.C. REFER TO TOMMY'S PROVIDED EXTRUTECH MANUAL FOR FASTENER TYPES AND LOCATIONS.

CODE LEGEND

- EXIT/EXIT ACCESS WITH CAPACITY SERVED
- DIRECTION OF EGRESS INCLUDING SECONDARY EXIT/EXIT ACCESS
- # OCCUPANT LOAD OF SPACE AND BASIS FOR CALCULATION
- XXXXXX SF
- EXIT
XXXX
XXXX
REQUIRED EGRESS DOOR WIDTH
PROVIDED EGRESS DOOR WIDTH
- F.E. WALL MOUNTED FIRE EXTINGUISHER CLASS A Ordinary (Moderate) Hazard Occupancy 2A-10B EXTINGUISHER. CONTRACTOR TO VERIFY LOCATION WITH FIRE INSPECTOR PRIOR TO INSTALLATION. 7.5' TRAVEL DISTANCE MAXIMUM.

REVISION NUMBER	REVISION DATE	REVISION DESCRIPTION
1	01/31/2023	ISSUED FOR PERMIT
2	01/31/2023	ISSUED FOR PERMIT
3	01/31/2023	ISSUED FOR PERMIT

CONSULTANTS
TOMMY CAR WASH SYSTEMS

SECOND FLOOR PLAN AND CODE COMPLIANCE PLAN
TOMMY CAR WASH SYSTEMS
TOMMY EXPRESS T130-T3-R24-Q1
ADDRESS: CITY, STATE ZIP

PRELIMINARY NOT FOR CONSTRUCTION
As indicated
10
01/31/2023
Project Number

ROOF LEGEND

- THERMOPLASTIC MEMBRANE ROOFING OVER (2) LAYERS OF POLYISOCYANURATE INSULATION STAGGERED OVER METAL DECK FOR A TOTAL OF 5" MINIMUM THICKNESS AT LOWEST POINT.
- ACRYLIC ROOF SYSTEM FURNISHED AND INSTALLED BY TOMMY'S
- ROOF WALKWAY PAD
- INDICATES DIRECTION OF SLOPE
- ROOF DRAIN (RD) OR OVERFLOW ROOF DRAIN (ORD)

DESIGNER NOTE:
POS CANOPY IS A MODEL GROUP THAT CAN BE SELECTED AND QUICKLY SWITCHED TO THE 2-LANE OR CANTILEVERED VERSION IN THE PROPERTIES WINDOW.

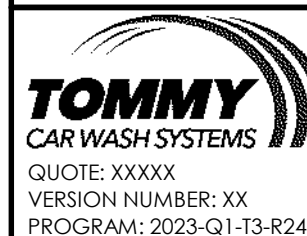
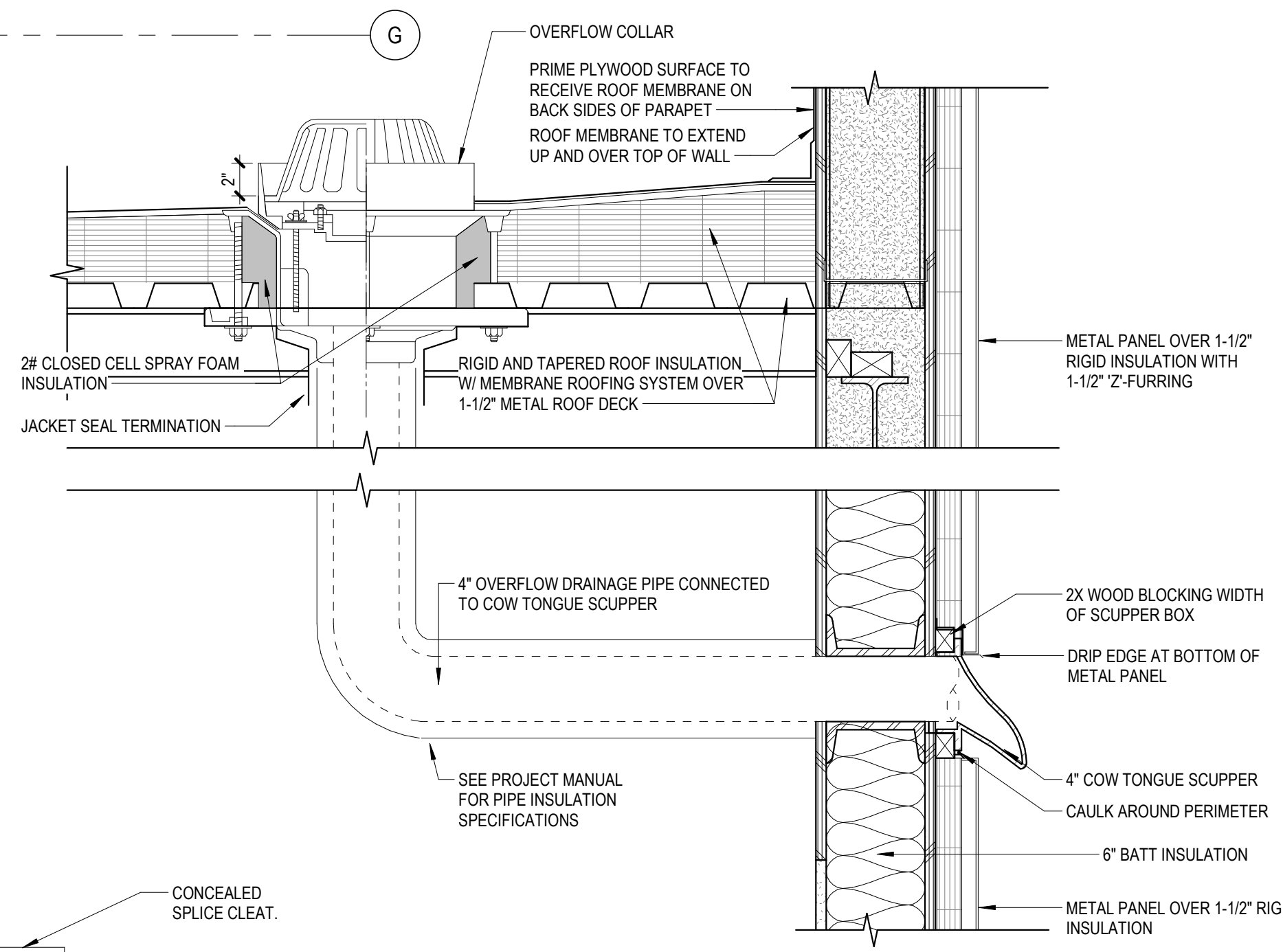
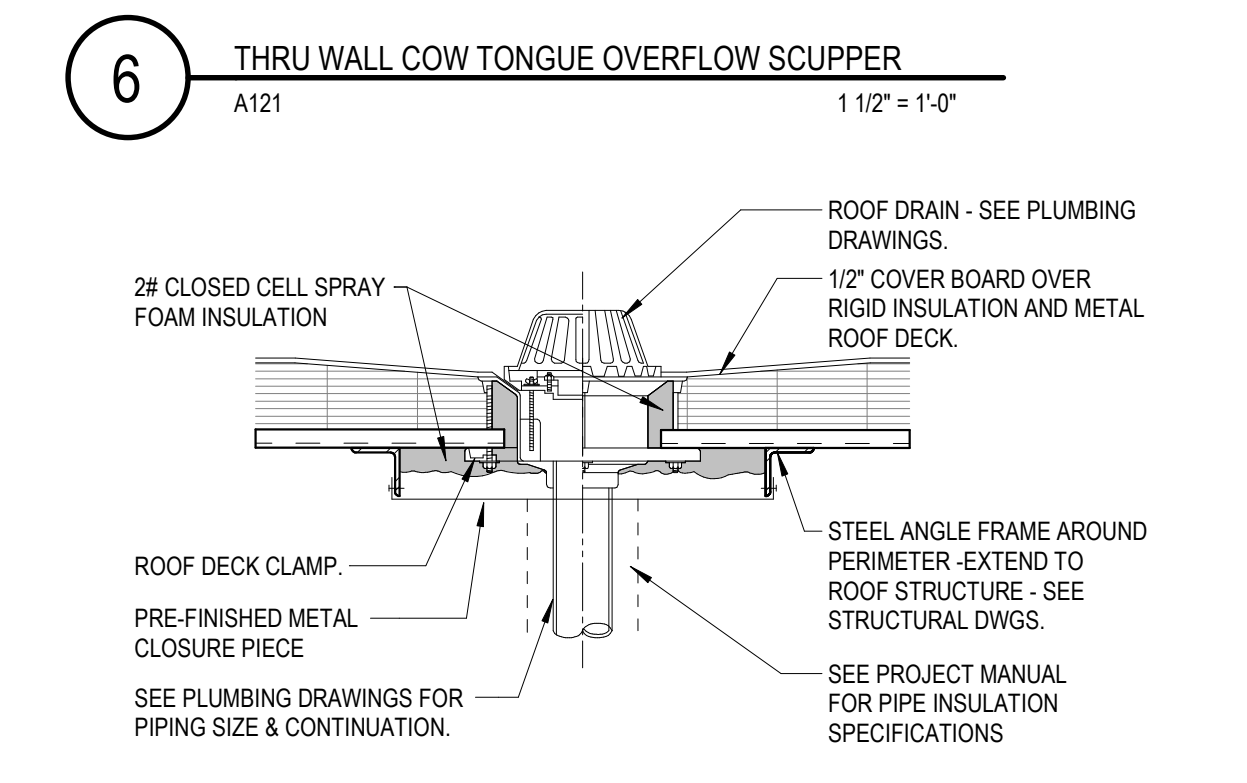
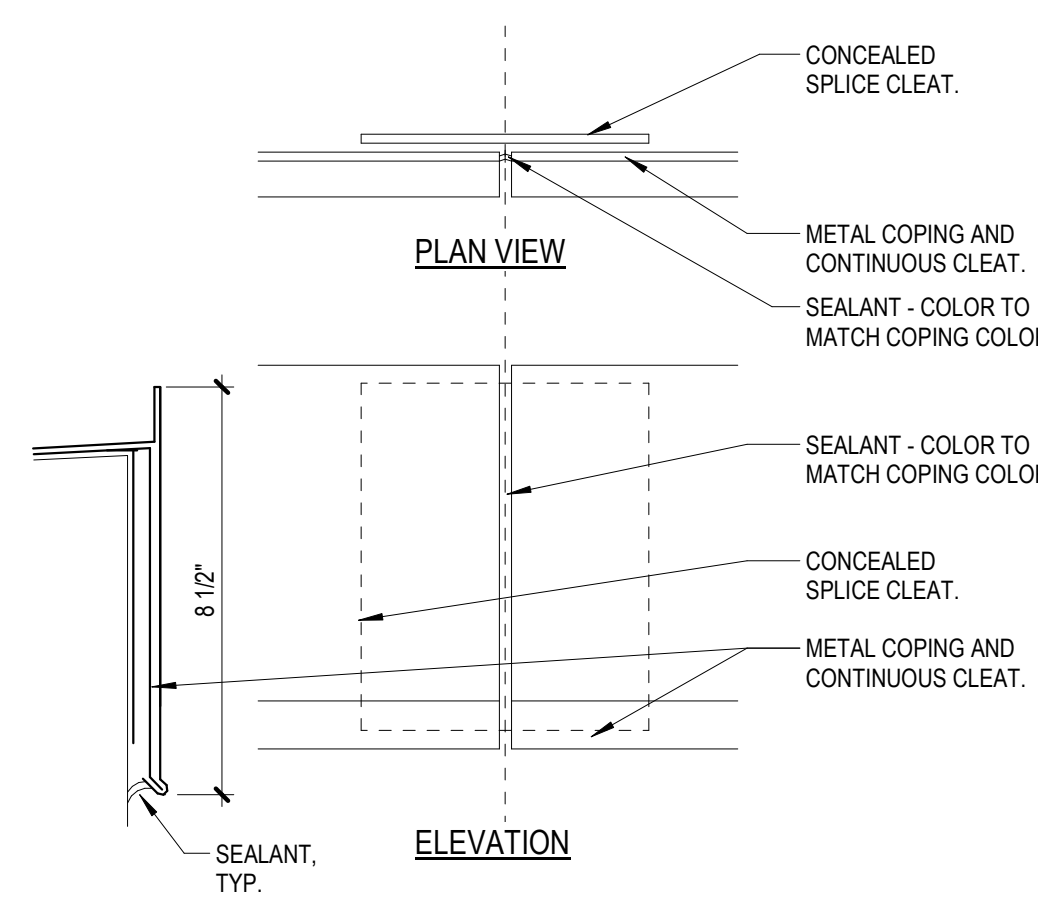
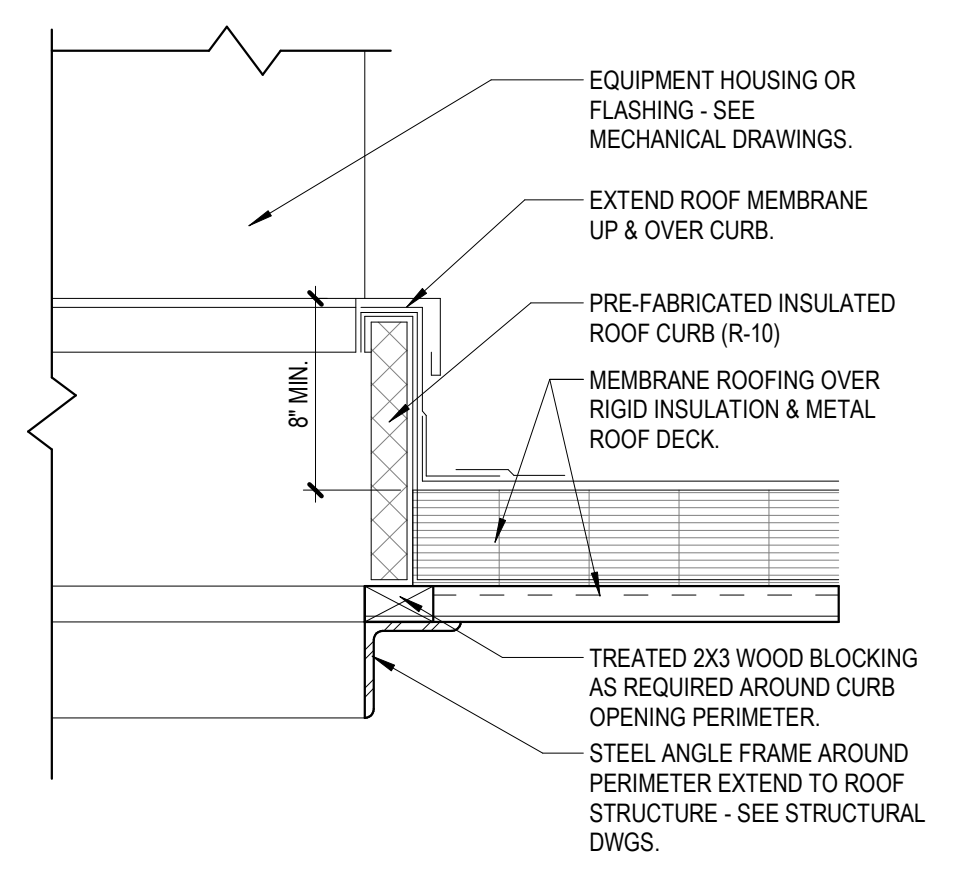
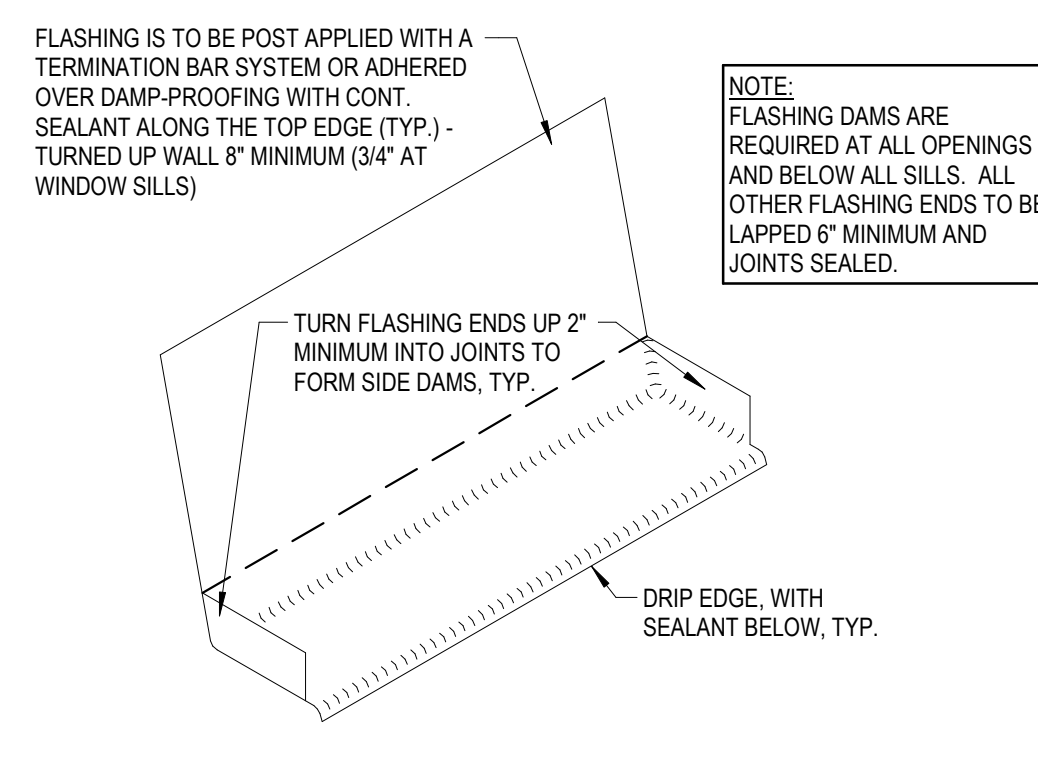
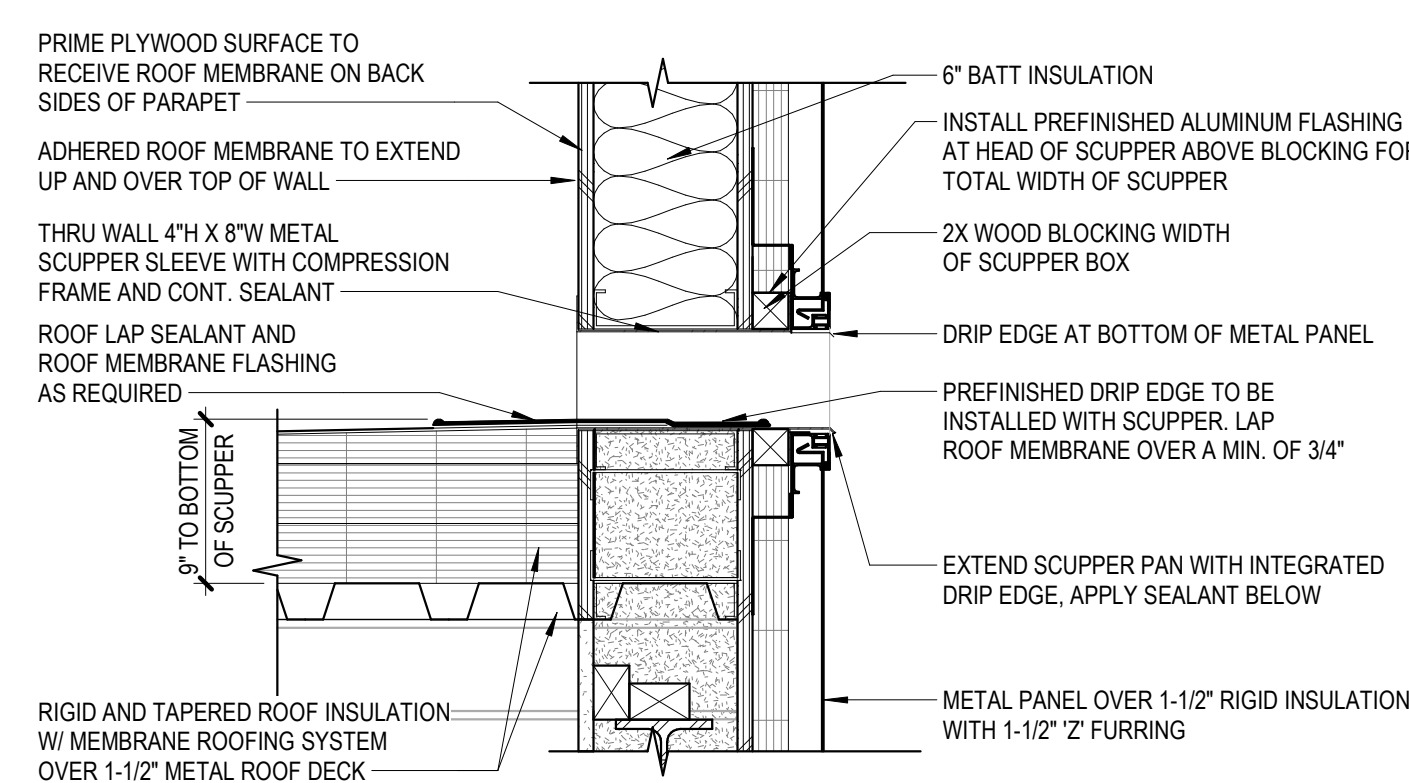
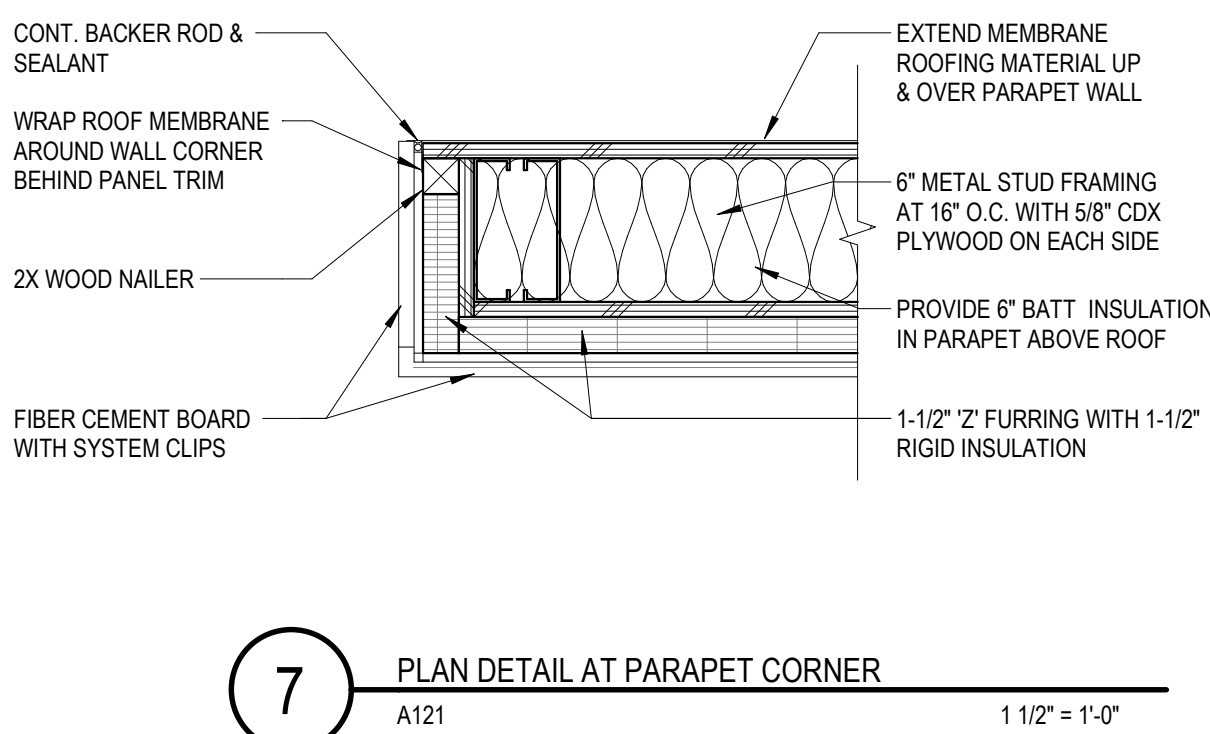
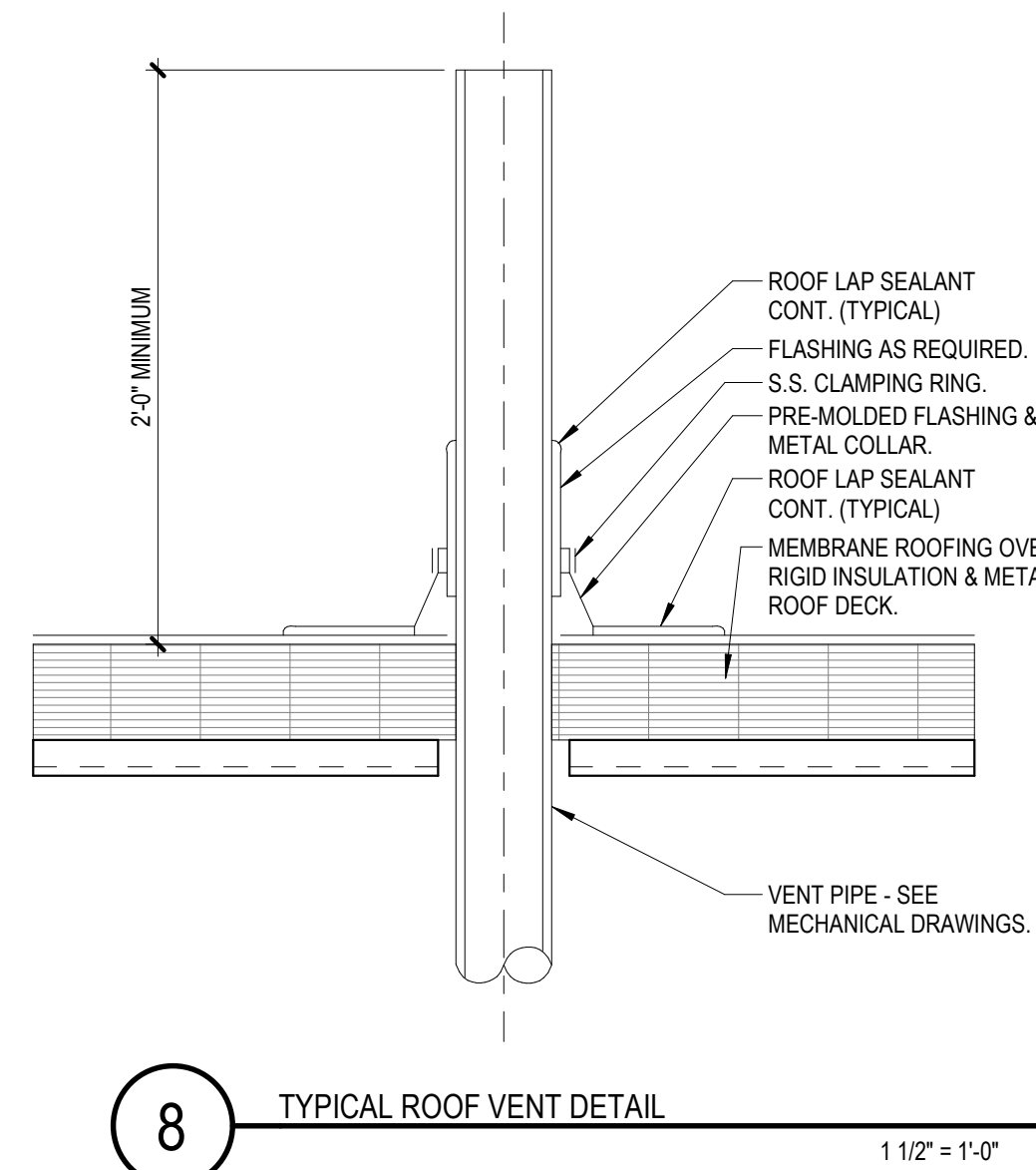
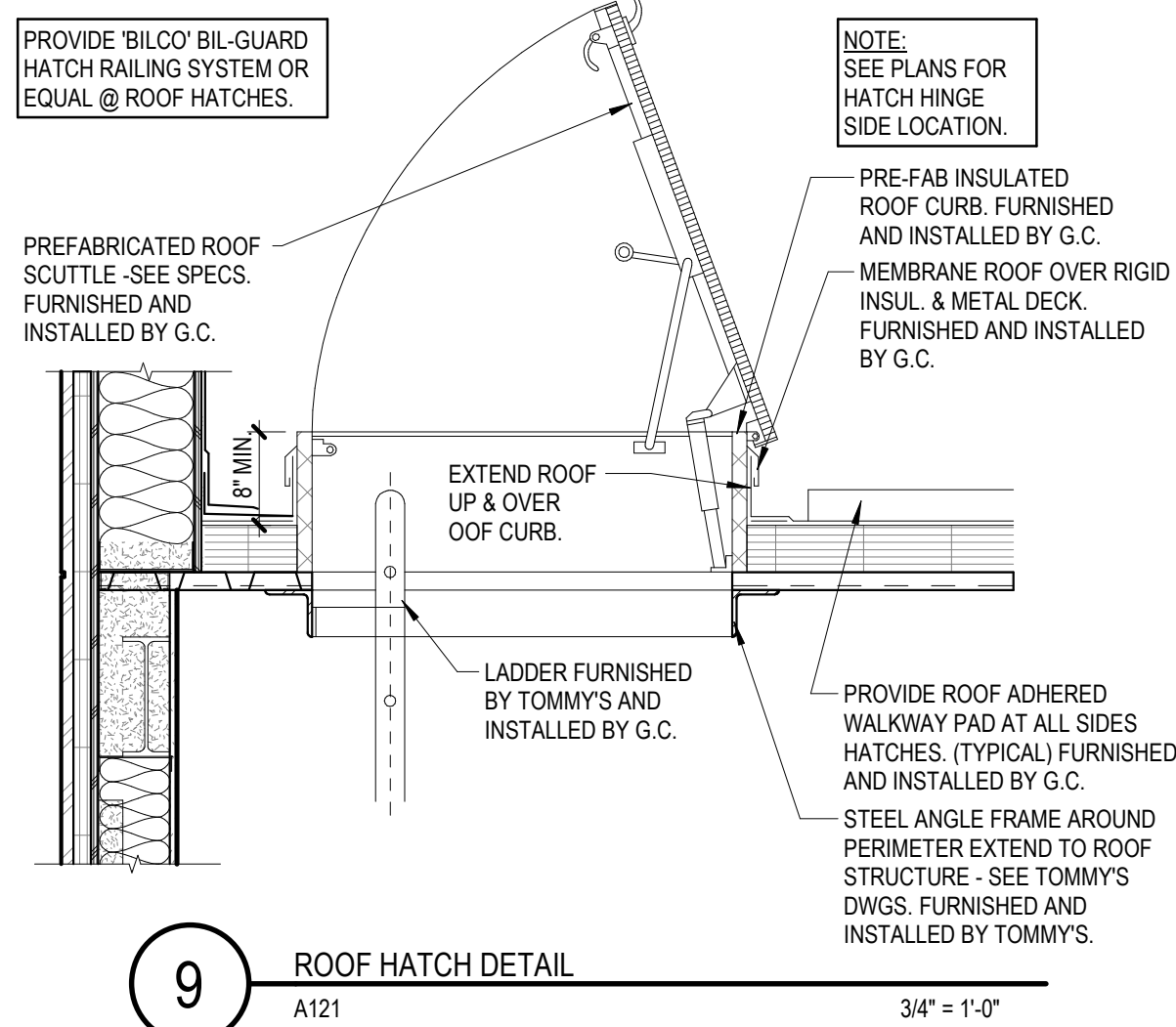
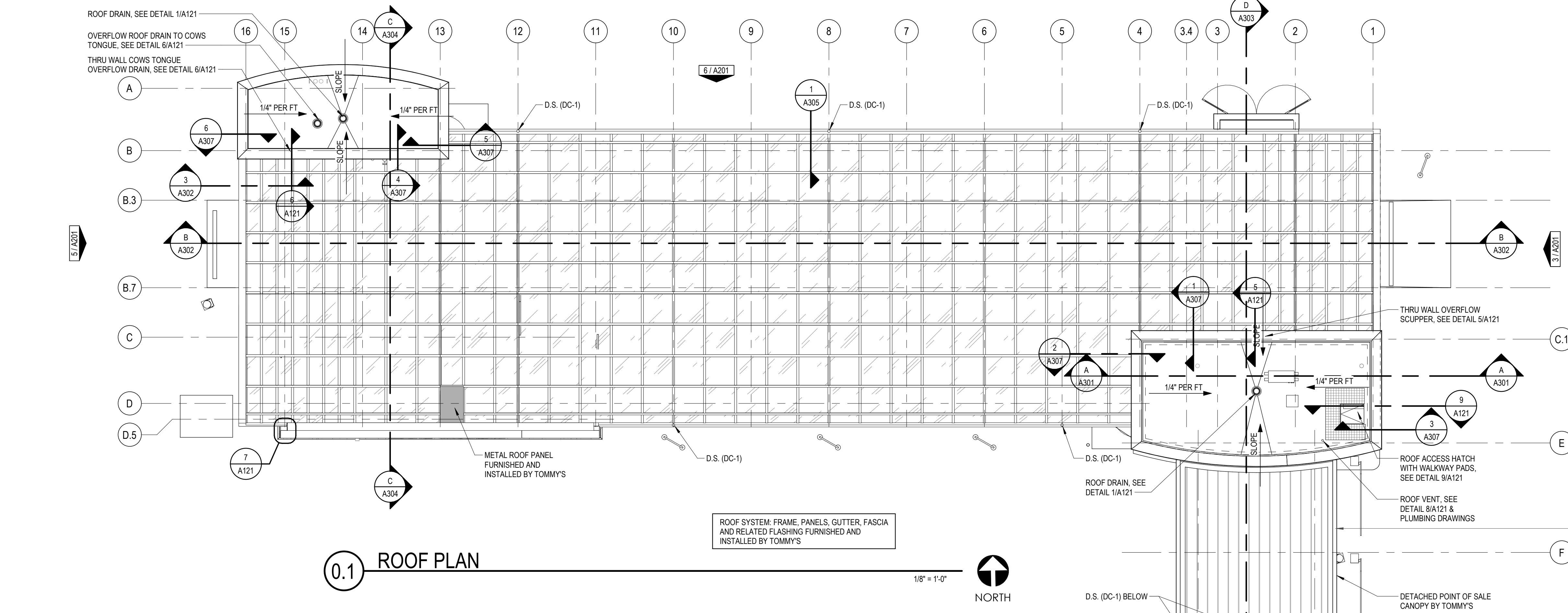
0.1 ROOF PLAN

1/8" = 1'-0"



NORTH

ROOF SYSTEM: FRAME, PANELS, GUTTER, FASCIA AND RELATED FLASHING FURNISHED AND INSTALLED BY TOMMY'S



QUOTE: XXXXX
VERSION NUMBER: XX
PROGRAM: 2023-Q1-T3-R24-Q1

ROOF PLAN
TOMMY CAR WASH SYSTEMS
TOMMY EXPRESS T130-T3-R24-Q1
ADDRESS: CITY, STATE ZIP

PRELIMINARY
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CONSTRUCTION

As indicated
11
01/31/2023

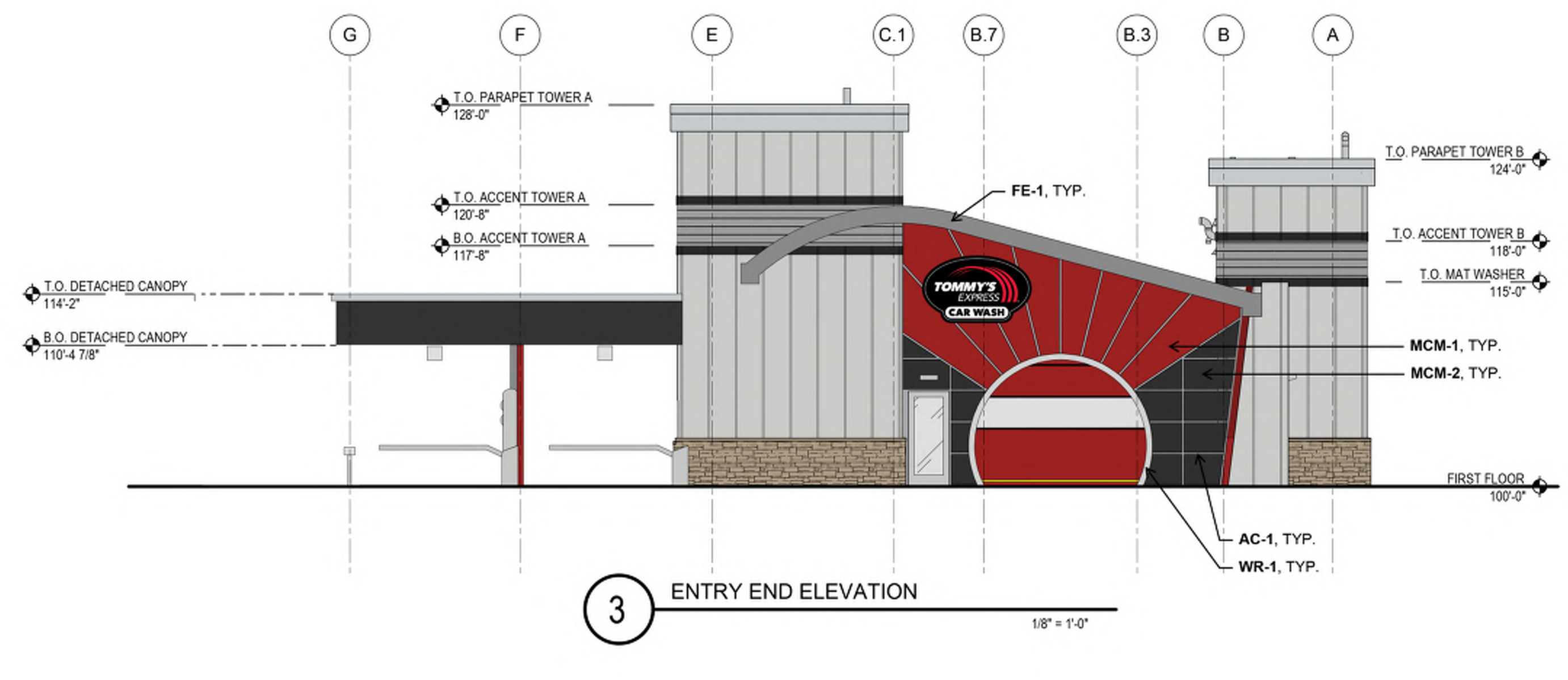
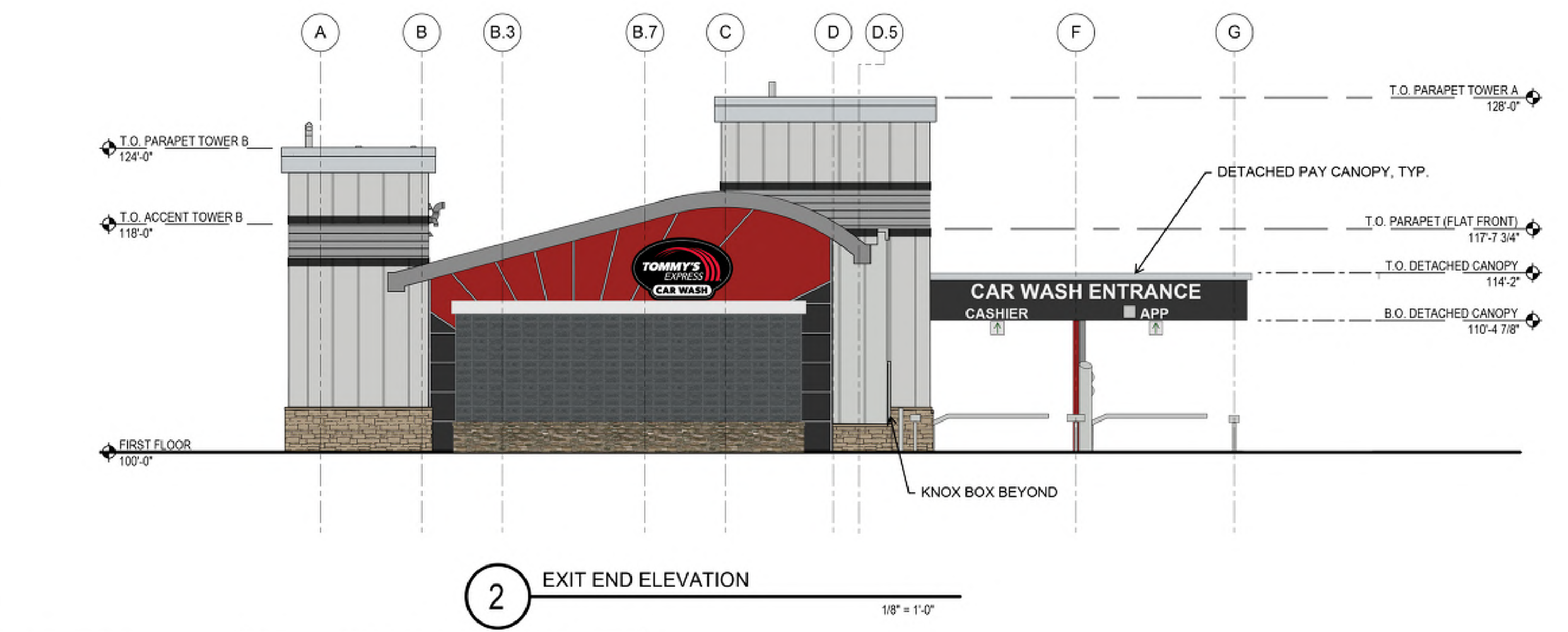
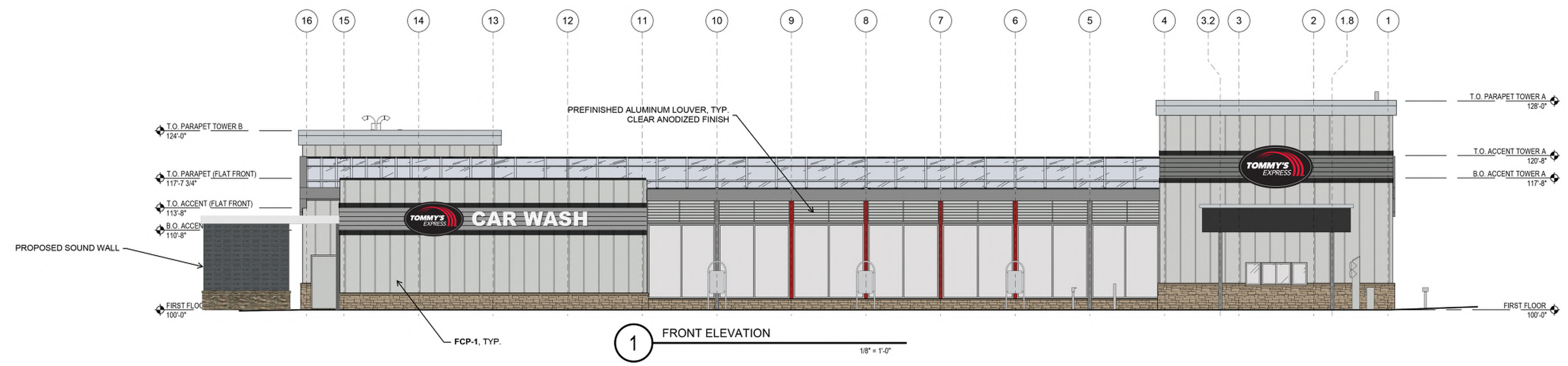
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REVISION SCHEDULE	
VERSION	DATE
DESCRIPTION	

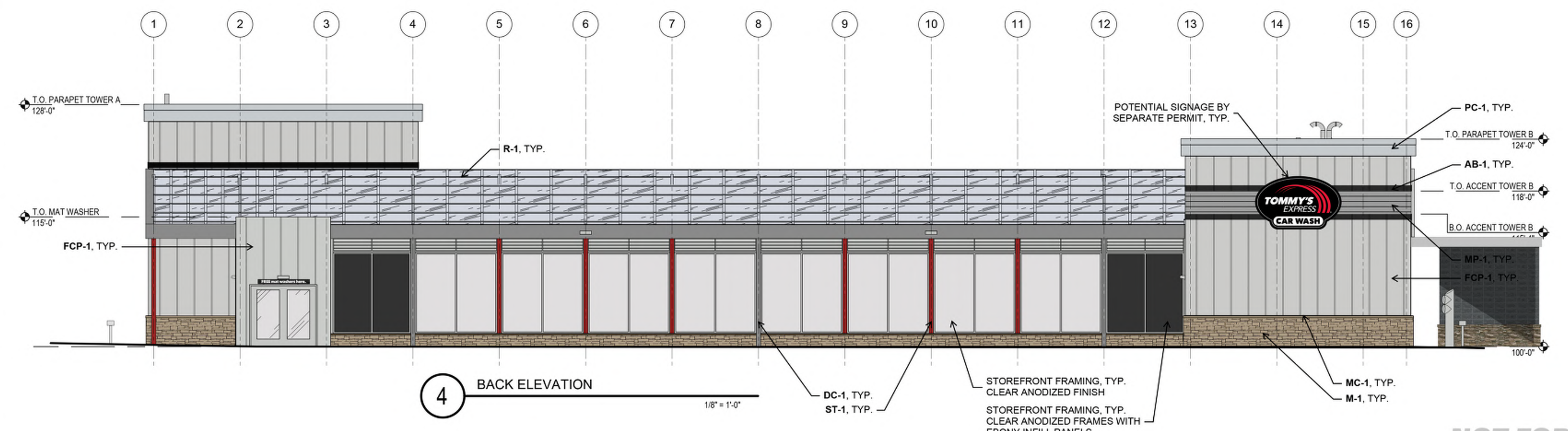


TOMMY'S EXPRESS CAR WASH
EXTERIOR ELEVATIONS

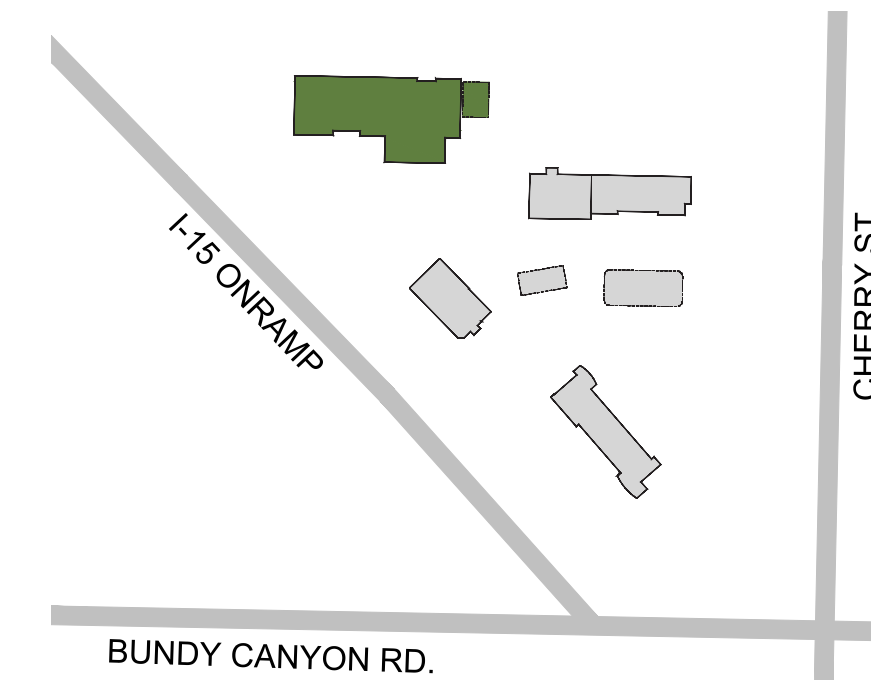
P4047 WILDOMAR, CALIFORNIA



TAG	MATERIAL	MFR.	DESCRIPTION	MFR. COLOR
ST-1	STRUCTURAL STEEL	PROSPANT	5-STAGE POWDER COATED	RAL 3001
MP-1	PREFINISHED PROFILED MCM, TOWER BANDING	ATAS	BELVEDERE 7.2" RIB PANEL	SILVERSMITH
FCP-1	FIBER CEMENT PANEL BOARD	JAMES HARDIE (OR EQUIV)	VERTICAL SIDING	SW7064 PASSIVE
M-1	CULTURED STONE VENEER, KNEE WALL	ELDORADO STONE	STACKED STONE	CASTAWAY (MORTAR COLOR TO MATCH)
MC-1	WAINSCOT SILLS CAP (FOR KNEE WALL)	ELDORADO STONE	SPLIT-EDGE WAINSCOT SILL	GREY SKY
AB-1	PREFINISHED MCM, TOWER BANDING	ATAS	FLAT SHEET AND COIL	BLACK
PC-1	PREFINISHED MCM, TOWER FASCIA	ARCONIC	REYNOBOND COMPOSITE PANEL	BRIGHT SILVER METALLIC
MCM-1	PREFINISHED MCM, END WALLS	CITADEL	SINOCORE	RAL 3001
MCM-2	PREFINISHED MCM, END WALLS	CITADEL	SINOCORE	EBONY
AC-1	PREFINISHED MCM, END WALL REVEALS	TUBELITE	200 SERIES CURTAINWALL	CLEAR ANODIZED
DC-1	PREFINISHED MCM, DOWNSPOUT COVERS	ALPOLIC	4MM PE CORE	TBX METALLIC SILVER
WR-1	PREFINISHED MCM, GARAGE DOOR WRAPS	CITADEL	ENVELOPE 2000 SYSTEM	CLEAR SATIN ANODIZED
FE-1	PREFINISHED MCM, ROOF FASCIA	ALPOLIC	4MM PE CORE	TBX METALLIC SILVER
R-1	ACRYLIC ROOF SYSTEM	ACRYLITE	HEATSTOP HIGH IMPACT MULTI-SKIN	WZO11 - COOL BLUE WHITE

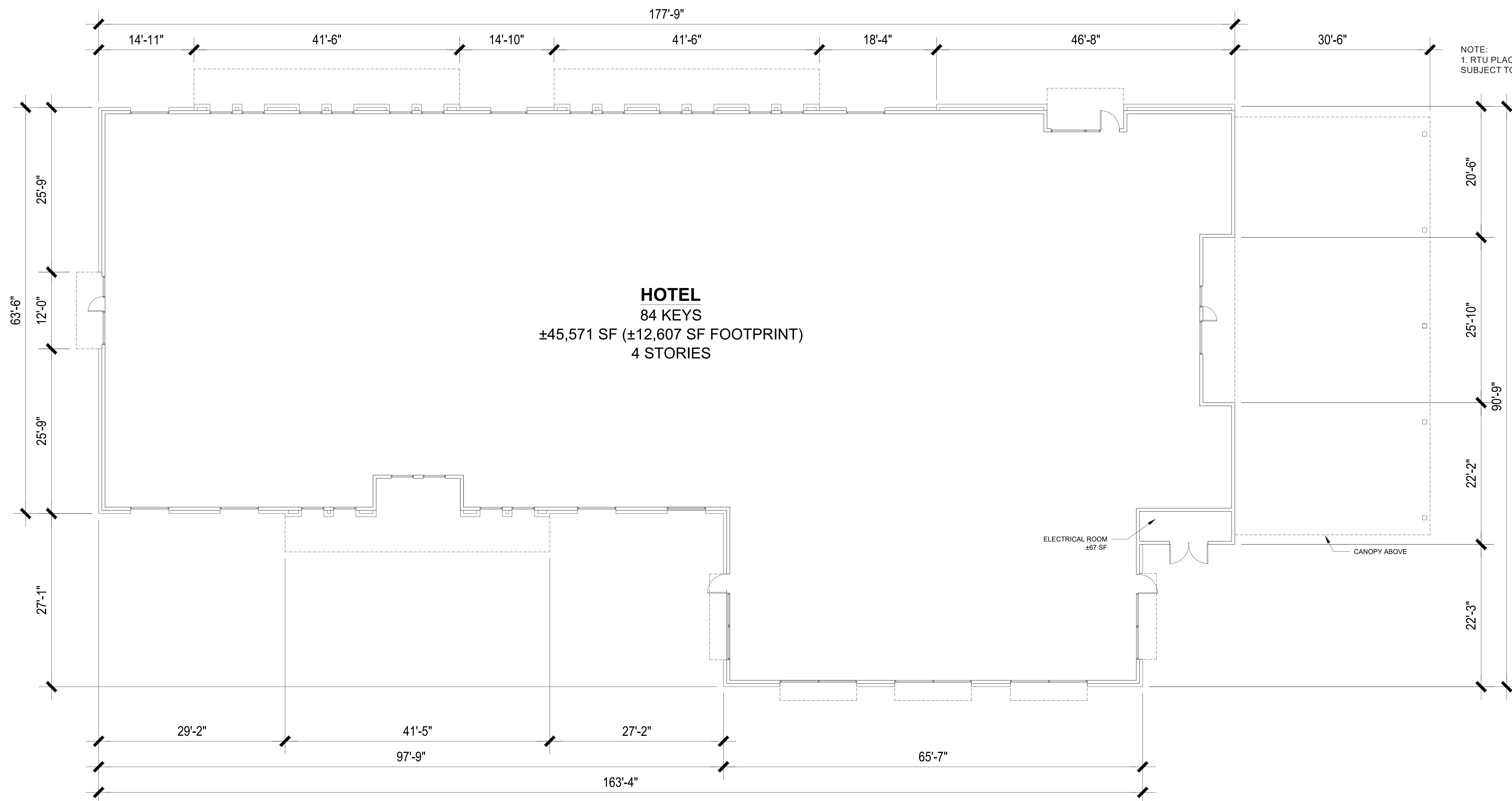


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NOT TOMMY APPROVED



KEY PLAN
(NOT TO SCALE) ①

NOTE:
1. RTU PLACEMENT IS CONCEPTUAL AND IS
SUBJECT TO CHANGE



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CHERRY OUTPOST
WILDOMAR, CA

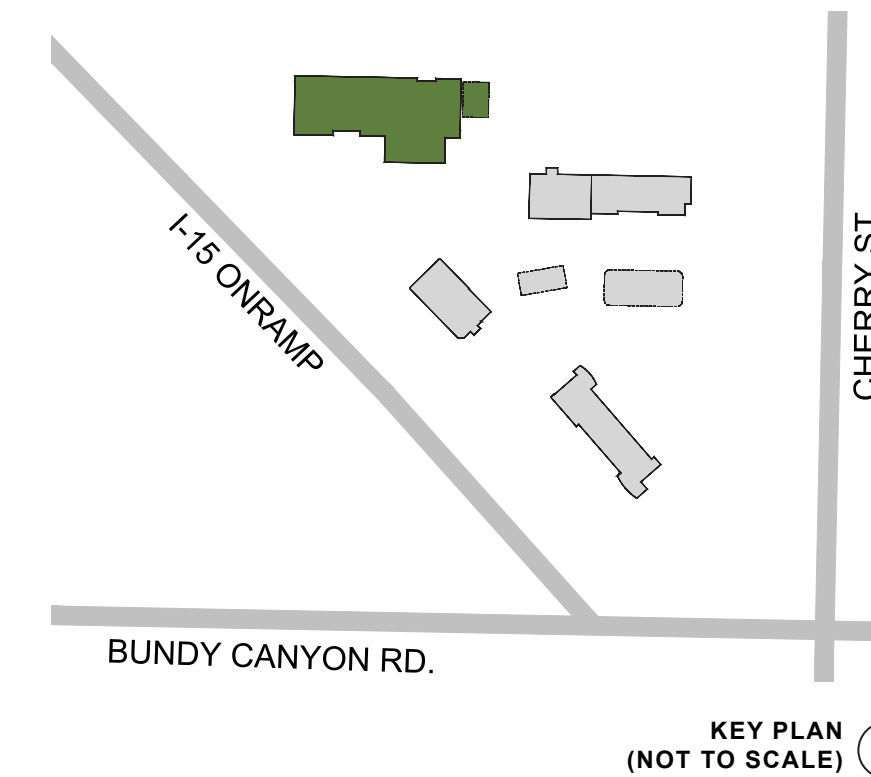
2022-0521

ENTITLEMENT SUBMITTAL
OCTOBER 3, 2024

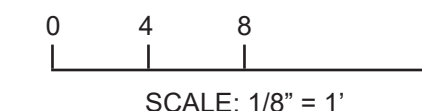
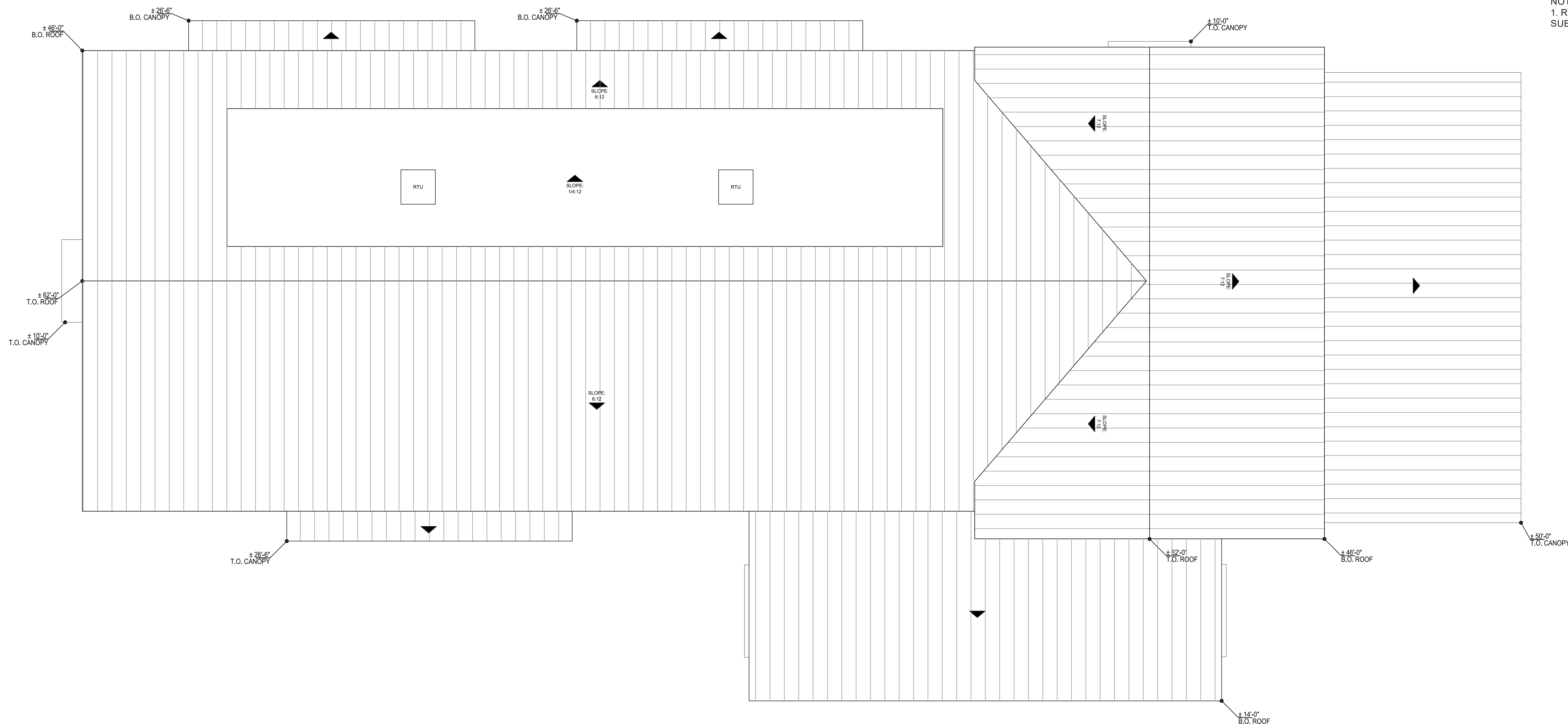


0 4 8 16
SCALE: 1/8" = 1'

CONCEPTUAL PLANS
HOTEL - FIRST FLOOR

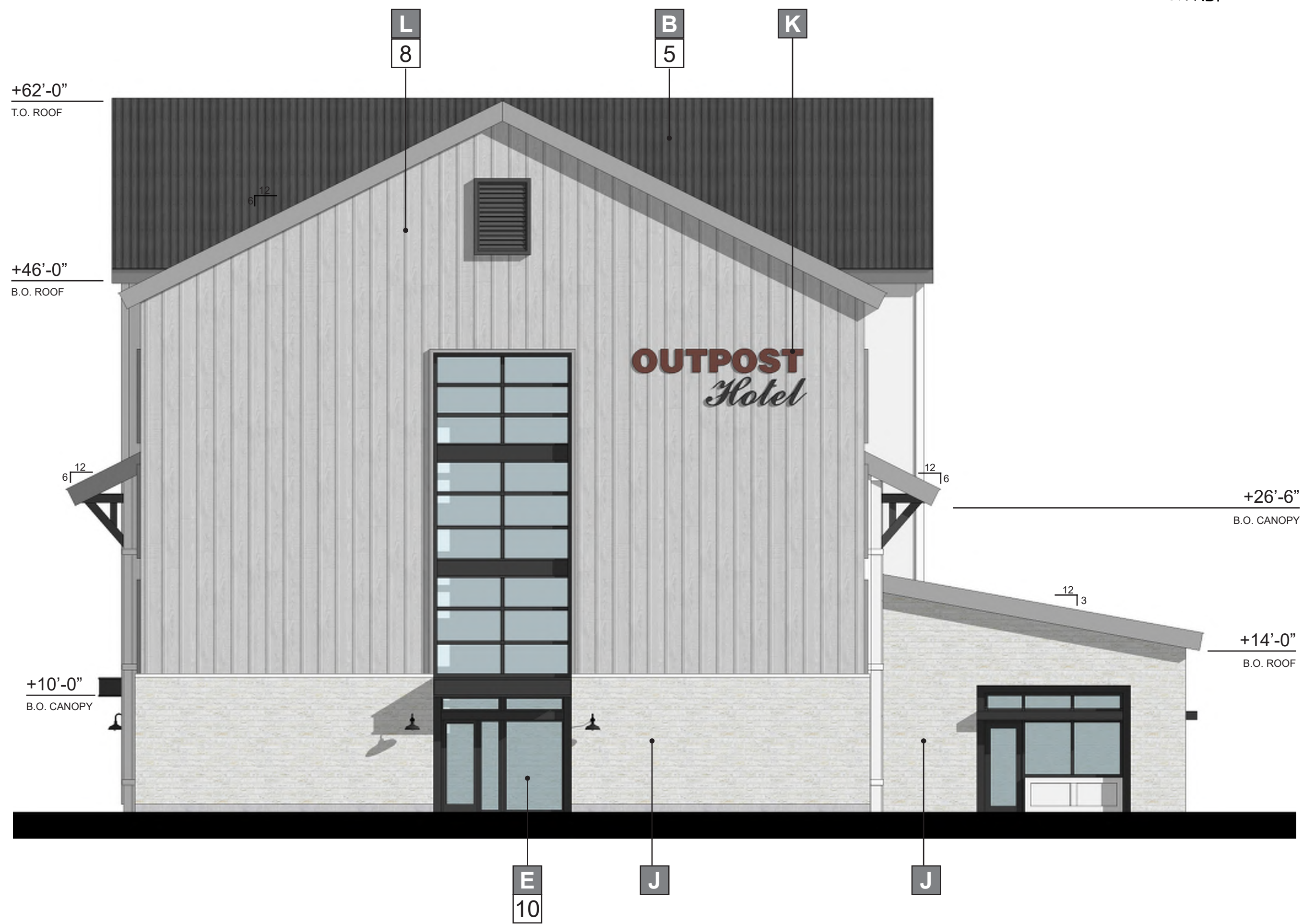


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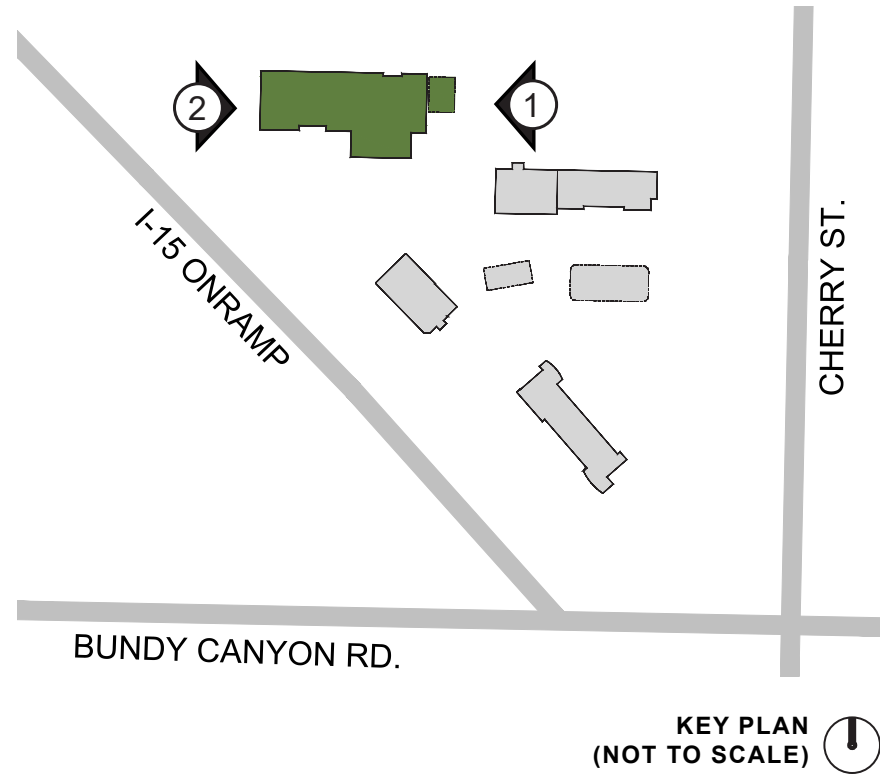




1 EAST ELEVATION (FRONT)



2 WEST ELEVATION (REAR)



NOTE:
1. SIGNAGE IS CONCEPTUAL AND WILL BE UNDER A SEPARATE PERMIT.

MATERIALS			COLORS & FINISHES		
A	STUCCO: OMEGA-20/30 SAND FINISH	G	WOOD-LOOK ALUMINUM: KNOTWOOD "BEACHWOOD"	1	PAINT: DUNN EDWARDS-DE6183 "HOME PLATE"
B	STANDING SEAM METAL ROOF	H	BOARD AND BATTEN	2	PAINT: DUNN EDWARDS-DET637 "SEAGULL WAIL"
C	METAL CANOPY	J	BRICK: BELDEN - AMBASSADOR "GLACIER WHITE VELOUR"	3	PAINT: DUNN EDWARDS-DET648 "WHITE PICKET FENCE"
D	DOOR	K	SIGNAGE	4	PAINT: DUNN EDWARDS-DET629 "FADE TO BLACK"
E	STOREFRONT: ARCADIA-AC-2 "CLEAR"	L	HARDIE BOARD SIDING	5	PAINT: DUNN EDWARDS-DEA002 "BLACK"
F	ARCHITECTURAL TRIM/COPING	M	STONE	6	PAINT: TENANT BRAND COLOR
				7	PAINT: DUNN EDWARDS-DE6385 "BLACK BEAN"
				8	PAINT: DUNN EDWARDS-DE6382 "FORMAL GRAY"
				9	PAINT: DUNN EDWARDS-DET620 "BARNWOOD GRAY"
				10	ARCADIA-AC-2 "CLEAR"
				11	ARCADIA-AB-7 "STANDARD DARK BRONZE"
				12	PRECAST CONCRETE BASE
				13	STONE: CREATIVE MINES CRAFT ORCHARD LIMESTONE, "TIMBERWOLF"
				14	STONE: CREATIVE MINES CRAFT SPLIT MODULAR, "LUNAR"
				15	PAINT: DUNN EDWARDS-DET 697 "NOMAD"



NOTE:
1. SIGNAGE IS CONCEPTUAL AND WILL BE UNDER A
SEPARATE PERMIT.

MATERIALS

A	STUCCO: OMEGA-20/30 SAND FINISH
B	STANDING SEAM METAL ROOF
C	METAL CANOPY
D	DOOR
E	STOREFRONT: ARCADIA-AC-2 "CLEAR"
F	ARCHITECTURAL TRIM/COPING

G	WOOD-LOOK ALUMINUM: KNOTWOOD "BEACHWOOD"
H	BOARD AND BATTEN
J	BRICK: BELDEN - AMBASSADOR "GLACIER WHITE VELOUR"
K	SIGNAGE
L	HARDIE BOARD SIDING
M	STONE

COLORS & FINISHES

1	PAINT: DUNN EDWARDS-DE6183 "HOME PLATE"
2	PAINT: DUNN EDWARDS-DET637 "SEAGULL WAIL"
3	PAINT: DUNN EDWARDS-DET648 "WHITE PICKET FENCE"
4	PAINT: DUNN EDWARDS-DET629 "FADE TO BLACK"
5	PAINT: DUNN EDWARDS-DEA002 "BLACK"
6	PAINT: TENANT BRAND COLOR

7	PAINT: DUNN EDWARDS-DE6385 "BLACK BEAN"
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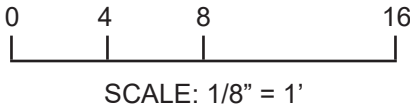
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2022-0521

ENTITLEMENT SUBMITTAL
OCTOBER 3, 2024



CONCEPTUAL ELEVATIONS
HOTEL



NOTE:
1. SIGNAGE IS CONCEPTUAL AND WILL BE UNDER A
SEPARATE PERMIT.

MATERIALS

A	STUCCO: OMEGA-20/30 SAND FINISH
B	STANDING SEAM METAL ROOF
C	METAL CANOPY
D	DOOR
E	STOREFRONT: ARCADIA-AC-2 "CLEAR"
F	ARCHITECTURAL TRIM/COPING

G	WOOD-LOOK ALUMINUM: KNOTWOOD "BEACHWOOD"
H	BOARD AND BATTEN
J	BRICK: BELDEN - AMBASSADOR "GLACIER WHITE VELOUR"
K	SIGNAGE
L	HARDIE BOARD SIDING
M	STONE

COLORS & FINISHES

1	PAINT: DUNN EDWARDS-DE6183 "HOME PLATE"
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9	PAINT: DUNN EDWARDS-DET620 "BARNWOOD GRAY"
10	ARCADIA-AC-2 "CLEAR"
11	ARCADIA-AB-7 "STANDARD DARK BRONZE"
12	PRECAST CONCRETE BASE

13	STONE: CREATIVE MINES CRAFT ORCHARD LIMESTONE, "TIMBERWOLF"
14	STONE: CREATIVE MINES CRAFT SPLIT MODULAR, "LUNAR"
15	PAINT: DUNN EDWARDS-DET 697 "NOMAD"



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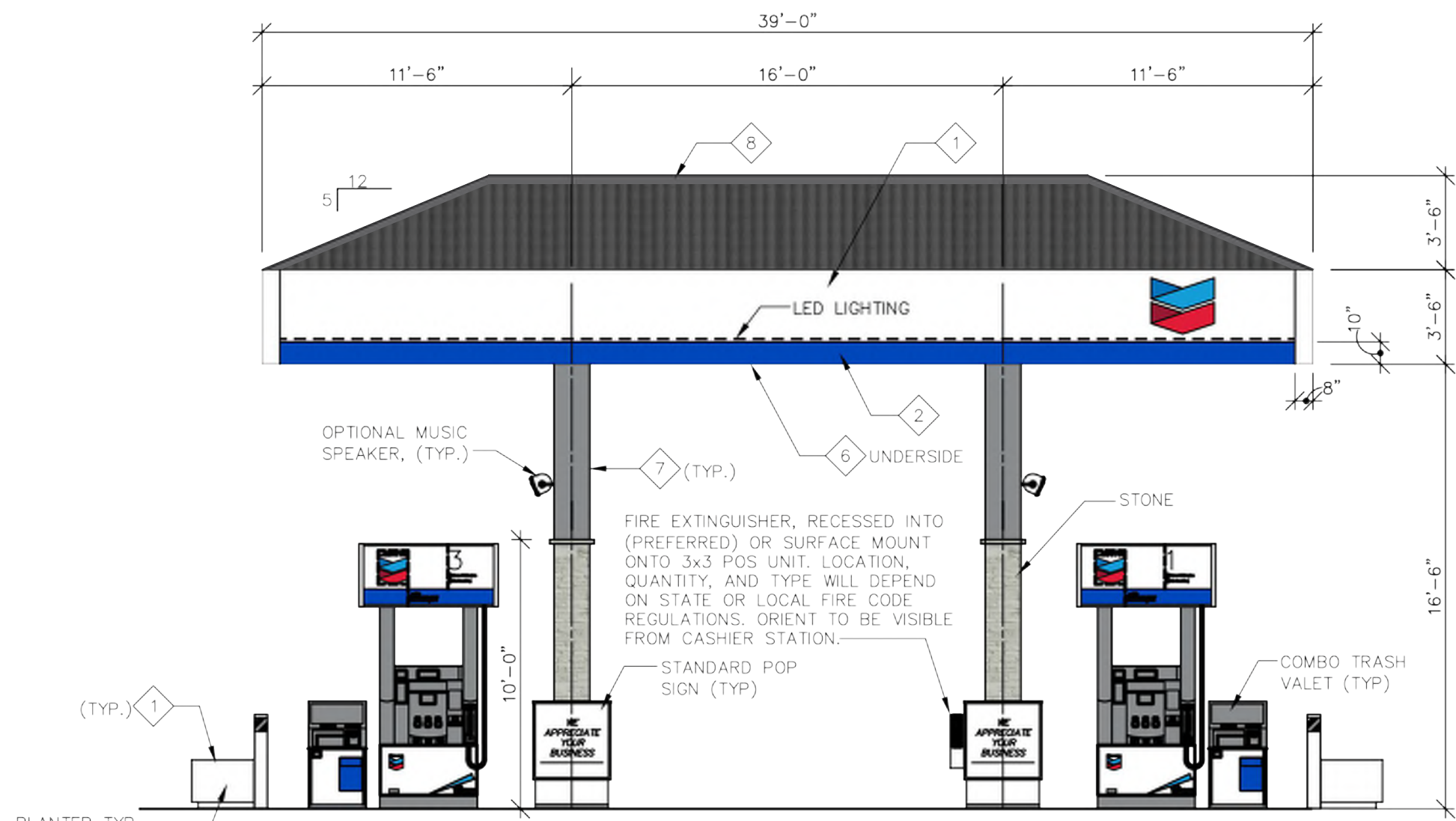
J&T Management, Inc.
139 Radio Road
Corona, CA 92879

CHERRY OUTPOST
WILDOMAR, CA

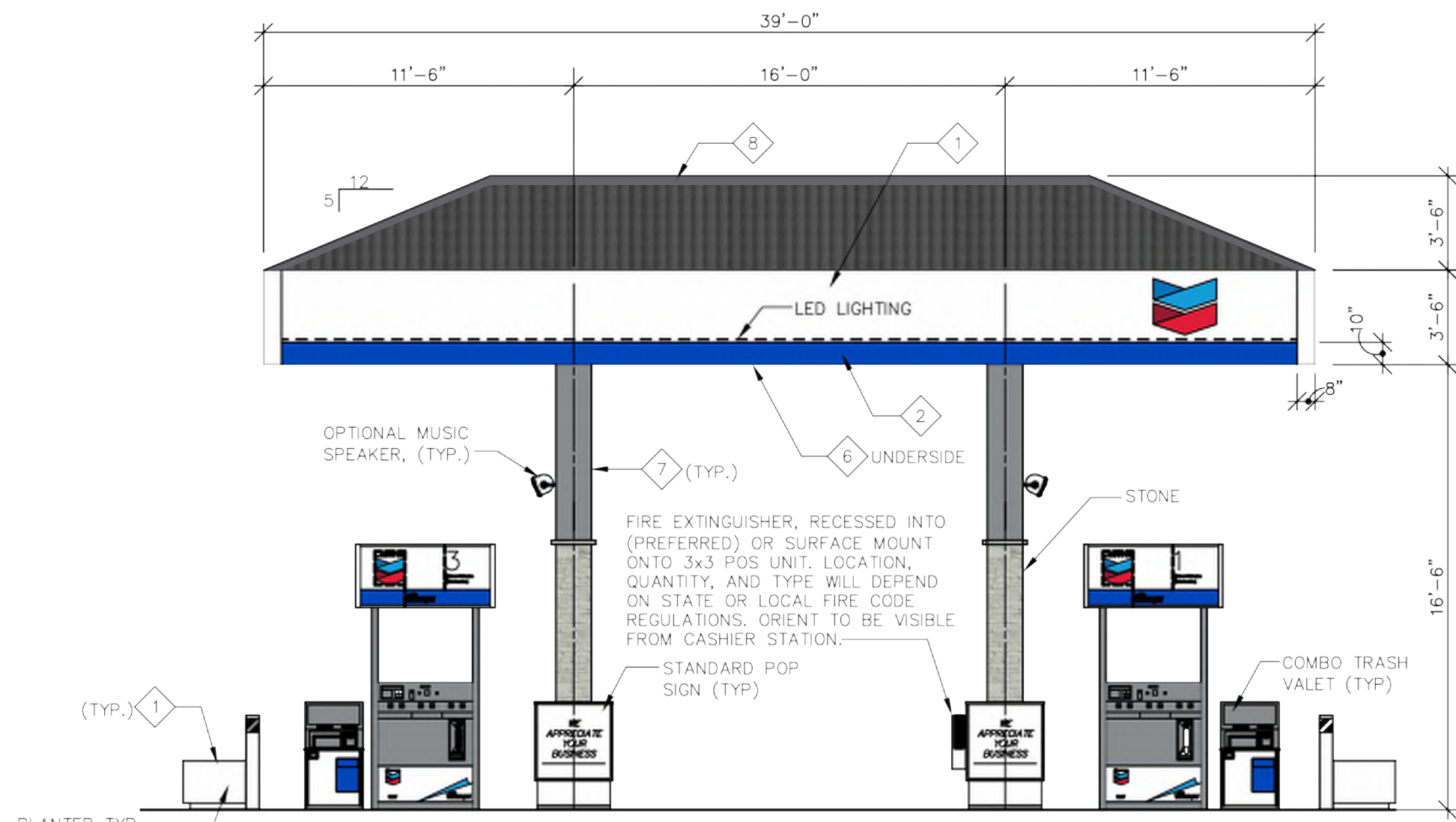
2022-0521

ENTITLEMENT SUBMITTAL
OCTOBER 3, 2024

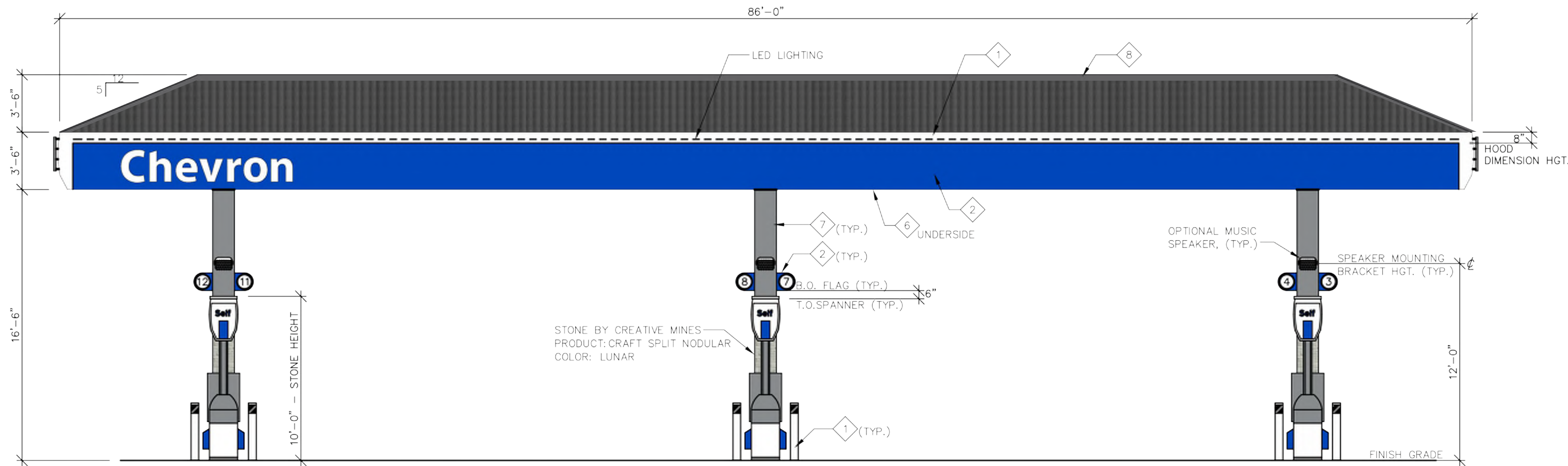
CONCEPTUAL ELEVATIONS
HOTEL



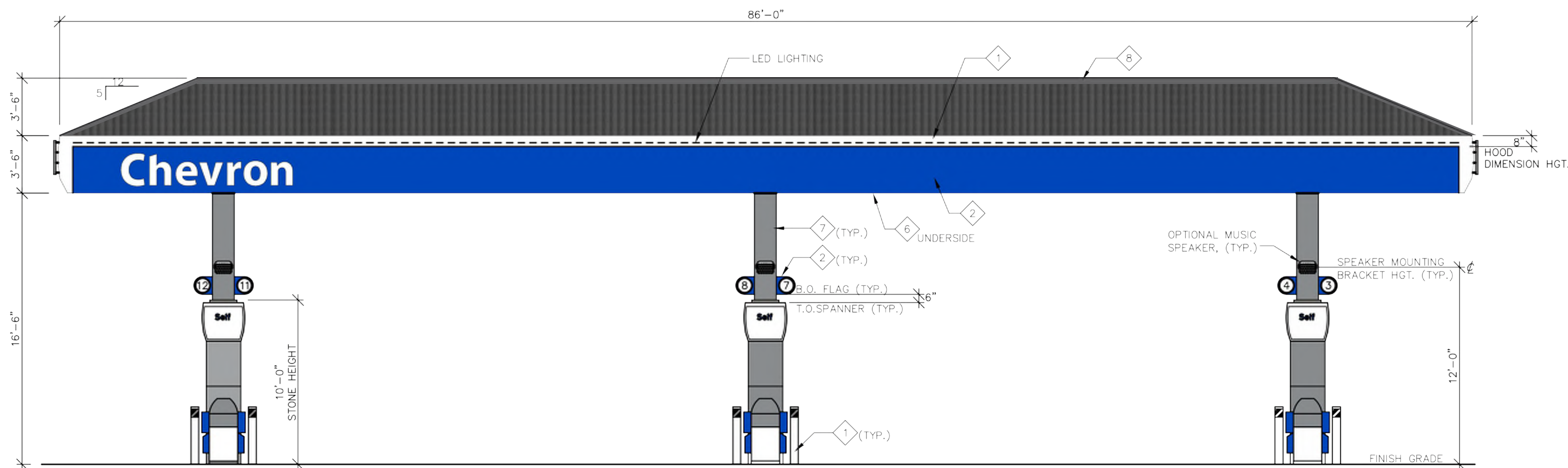
01 GAS CANOPY ELEVATION - FACING CHERRY
SCALE: 3/16"=1'-0"



02 GAS CANOPY ELEVATION - FACING 1-15 FWY
SCALE: 3/16"=1'-0"



01 GAS CANOPY ELEVATION - FACING BUNDY CANYON
SCALE: 3/16"=1'-0"



01 GAS CANOPY ELEVATION - FACING C - STORE
SCALE: 3/16"=1'-0"

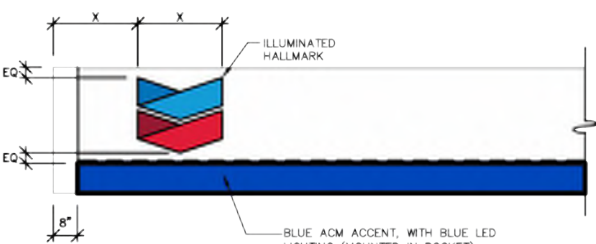
GENERAL NOTES

- Do not scale off this drawing.
- This drawing is the property of the Chevron Property & Facilities Optimization (P&FO) & must not be used, copied or reproduced in whole or in part without prior written permission.
- Under-Canopy light fixture, LSI Encore, Low Profile, 320W Metal Halide
- Under-Canopy light fixture, LSI Focus, 100W Metal Halide
- Refer to Hallmark 20/20 Image Guidelines for additional information as to design and image.

COLOR LEGEND

COLOR	PMS MATCH	FILM (VINYL)
1 CVX WHITE (WH-835-S)	WHITE	ARLON WHITE #2
2 RETAIL OUTDOOR BLUE	PMS 293	N/A
3 CVX LIGHT GRAY (GY-450)	PMS 428	ARLON CUSTOM LIGHT GRAY
4 CVX DARK GRAY (GY-210)	PMS 431	ARLON CUSTOM DARK GRAY
5 CHEVRON RED	PMS 186	ARLON RED #3094E (TRANSLUCENT)
6 DECK WHITE	DECK WHITE	N/A
7 CVX SILVER FLAKE	PMS 877	ARLON CUSTOM SILVER
8 STANDING SEAM METAL ROOF	PAINT: DUNN EDWARDS -- DEAO02"BLACK"	

ALL PAINT TO BE V.O.C. COMPLIANT URETHANE



HALLMARK DETAIL

SCALE: 3/8"=1'-0"



WORKMARK DETAIL

SCALE: 3/8"=1'-0"

NOTE:
DIMENSIONS SHOWN ARE FOR A 4'x4' CANOPY FACING.
REFER TO THE MOST CURRENT VERSION OF THE CHEVRON
HALLMARK AND WORKMARK GUIDELINES FOR THE SIZE OF
HALLMARK AND WORKMARK THAT ARE APPROPRIATE
FOR VARIOUS FACILITY TYPES.

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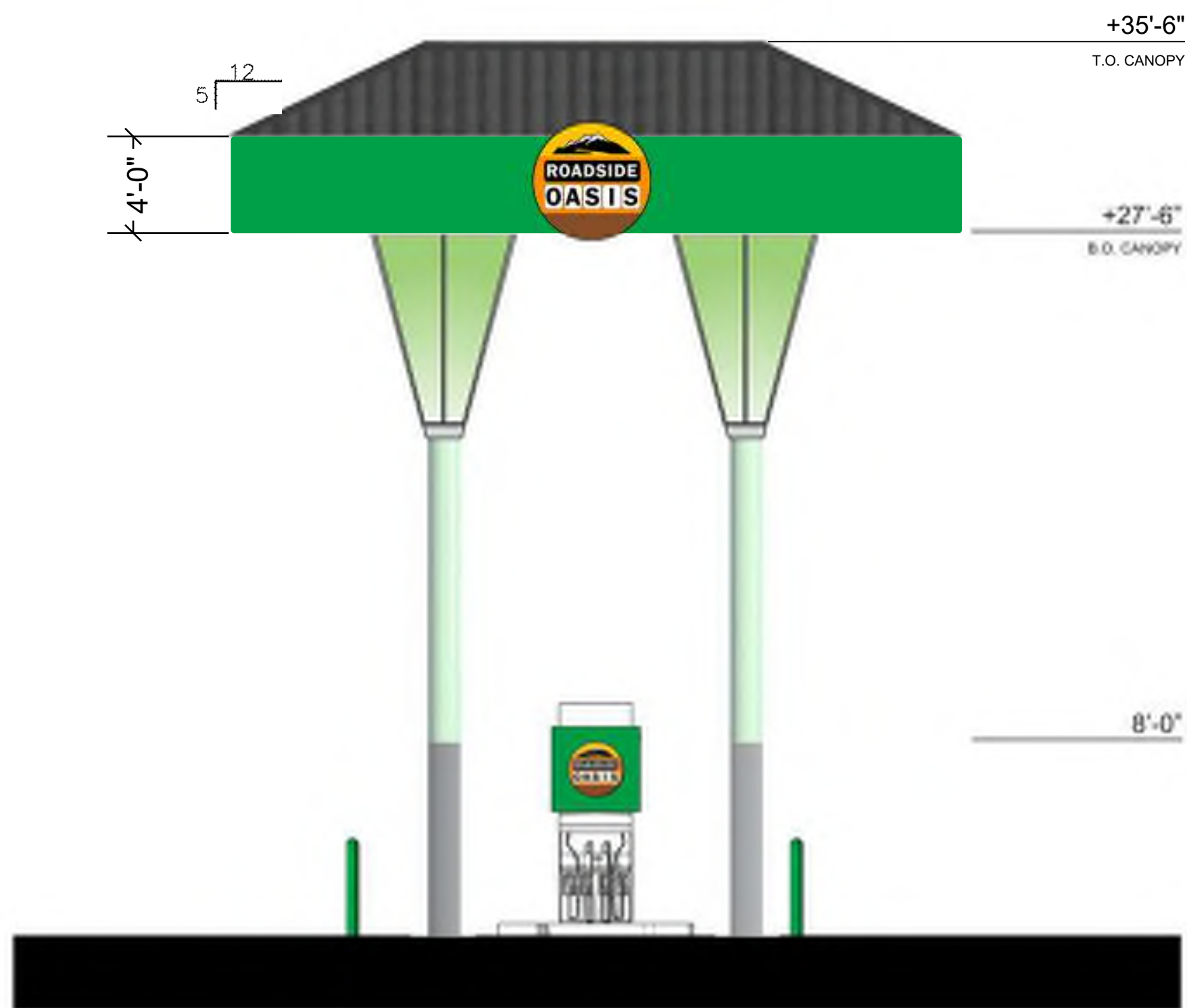


GASOLINE CANOPY
ELEVATION
WILDOMAR - FOLEY
BUNDY CANYON ROAD / CHERRY STREET
WILDOMAR, CA

1	2	3	4	5	6	7	8
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DATE	JOB NO.
07-05-22	000.000
SCALE	DRAWN BY
AS SHOWN	JH

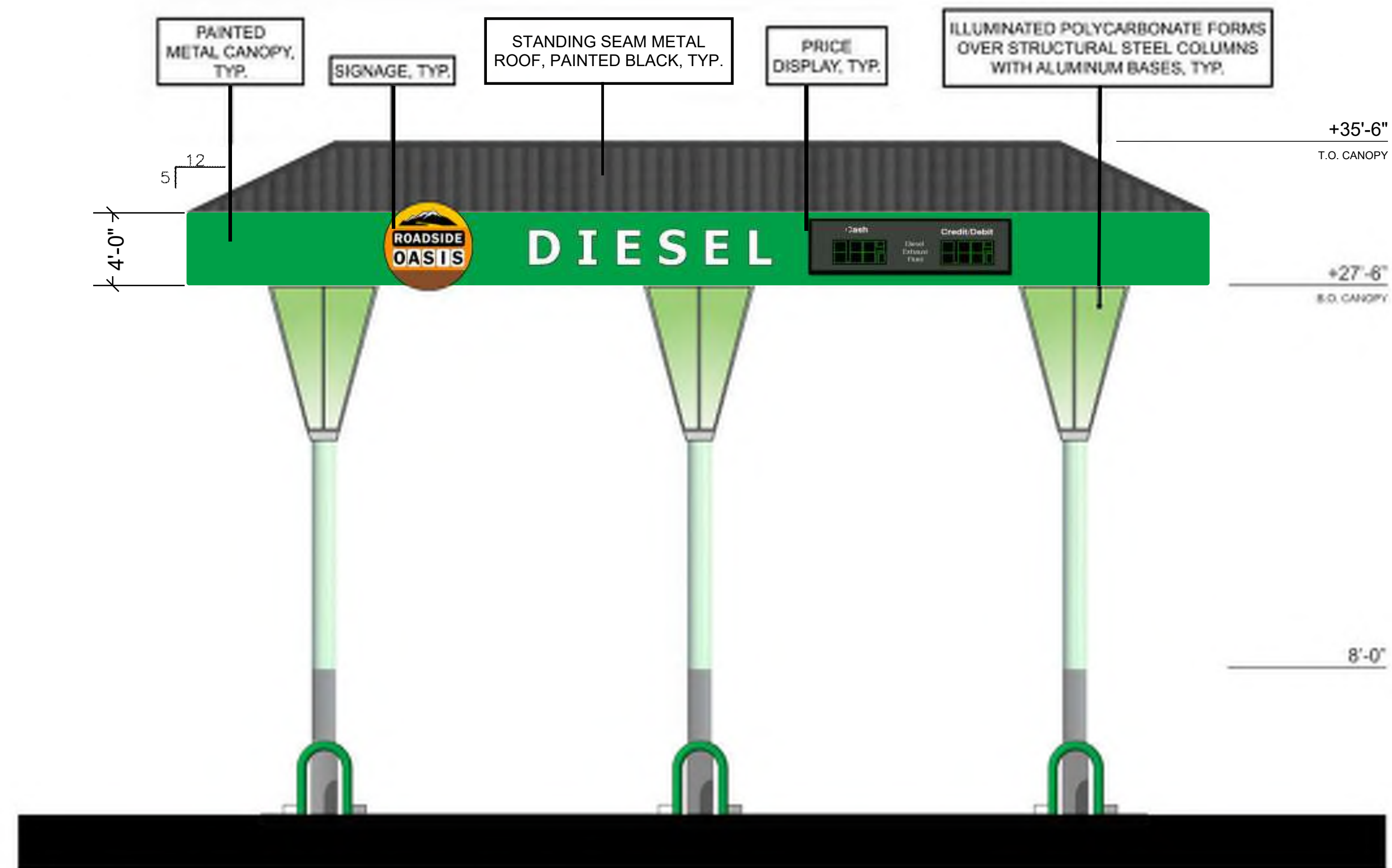
CUP
DRAWING NO.



① ELEVATION FACING CHERRY ST.



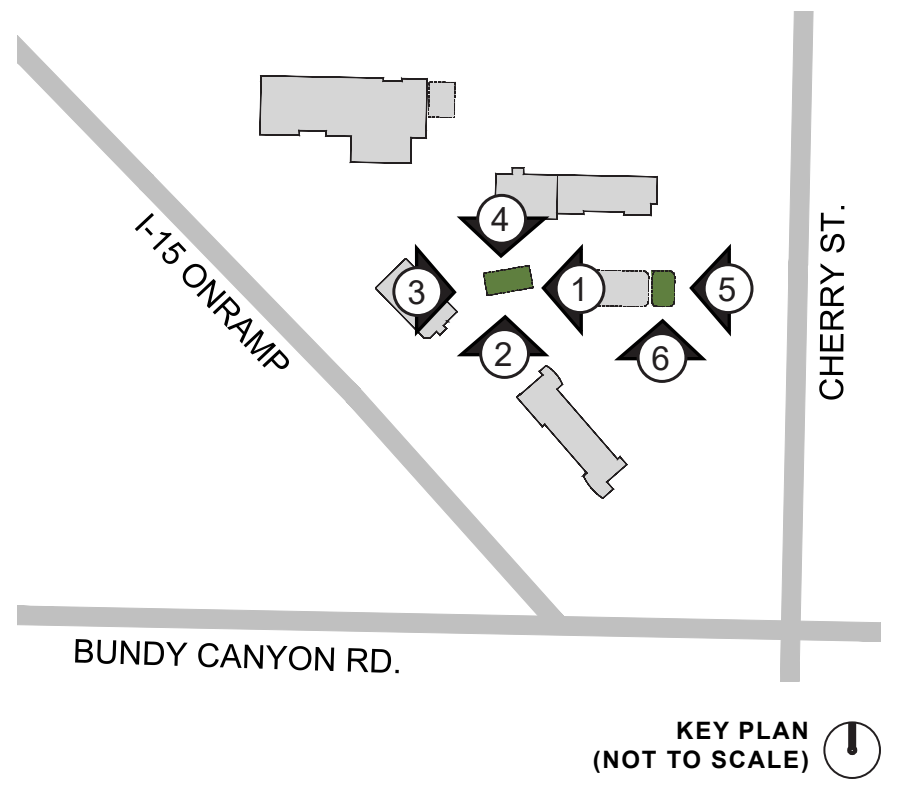
③ ELEVATION FACING INTERSTATE 15



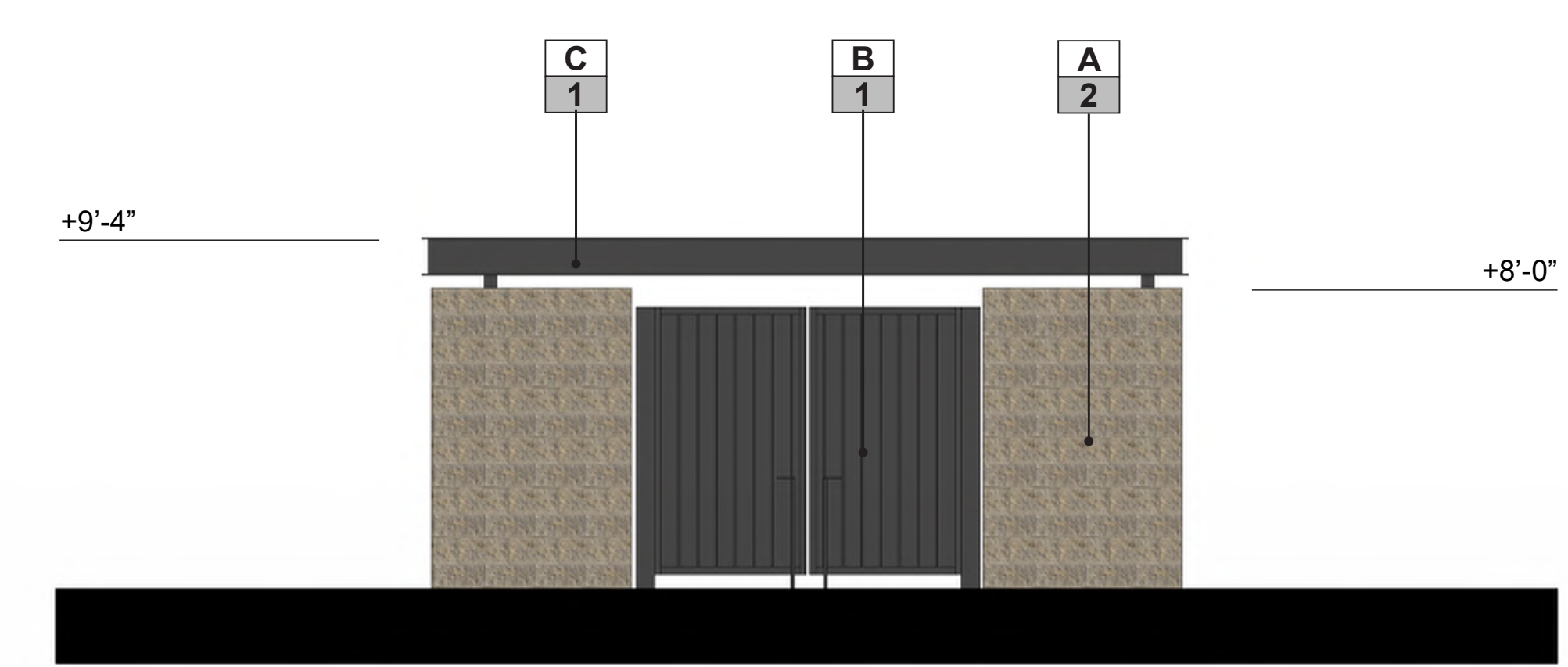
② ELEVATION FACING BUNDY CANYON RD.



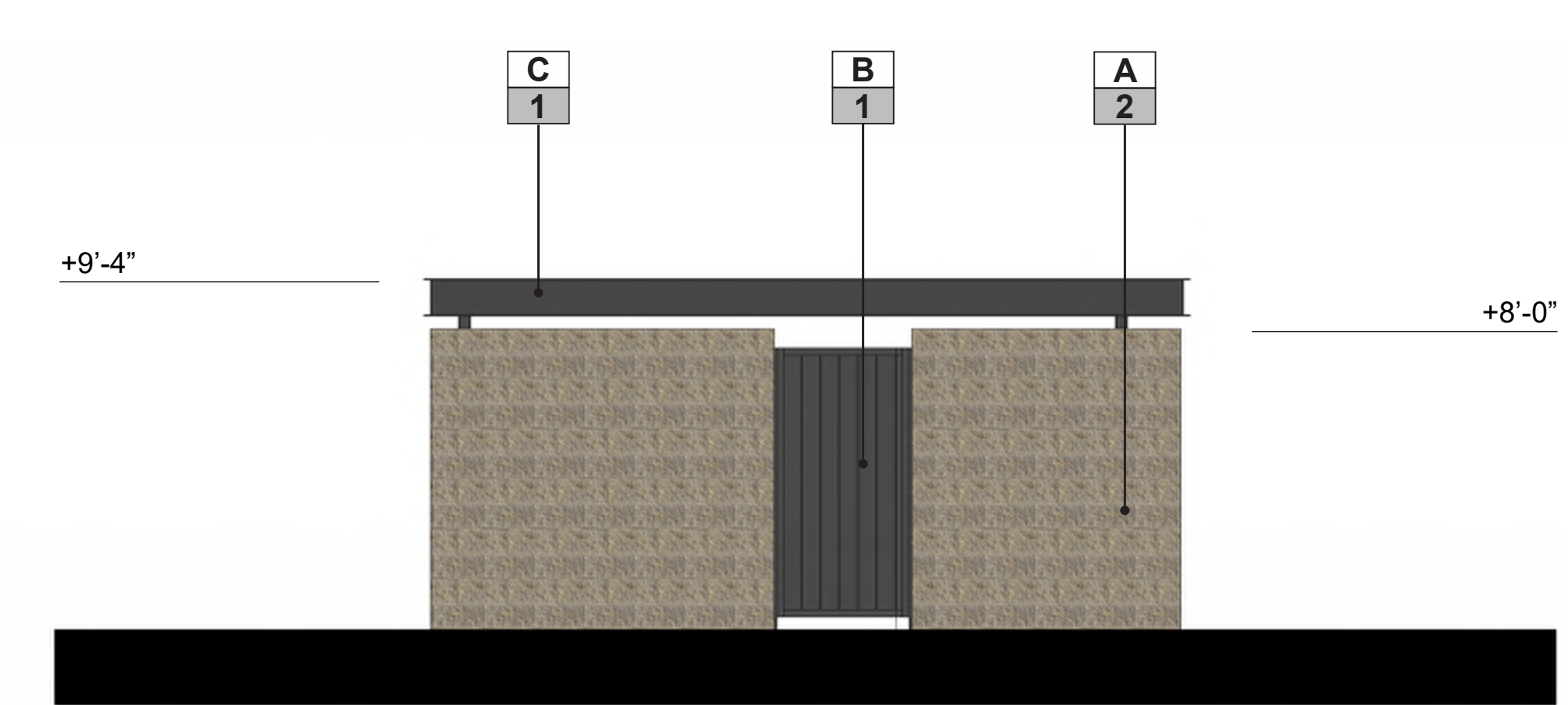
④ ELEVATION FACING C-STORE



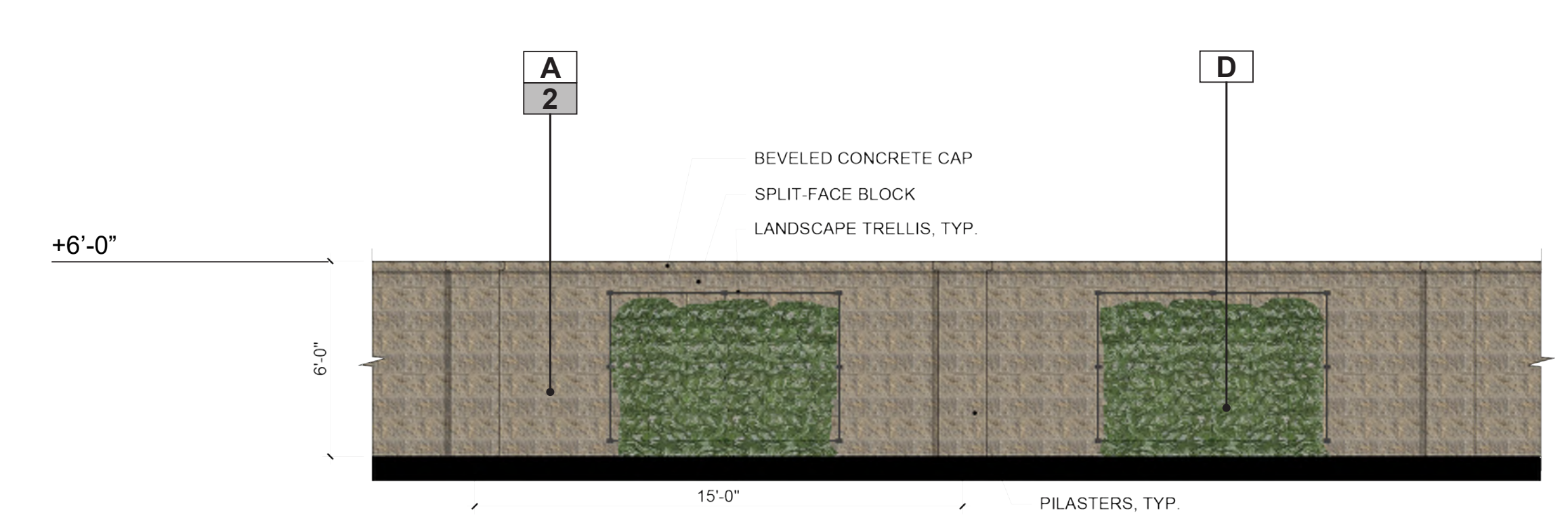
NOTE:
1. SIGNAGE IS CONCEPTUAL AND WILL BE UNDER A SEPARATE PERMIT.



① FRONT ELEVATION

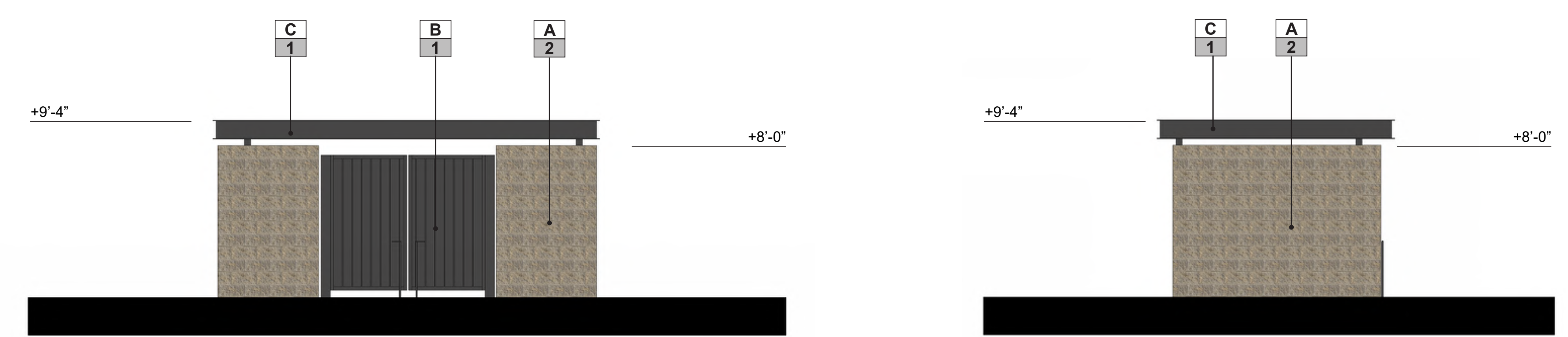


③ REAR ELEVATION

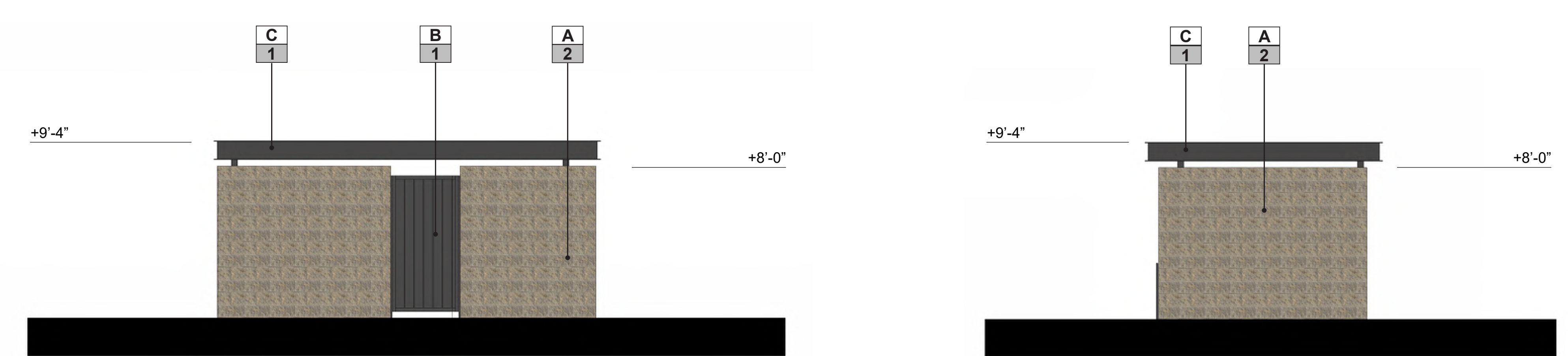


⑤ SOUND WALL ELEVATION

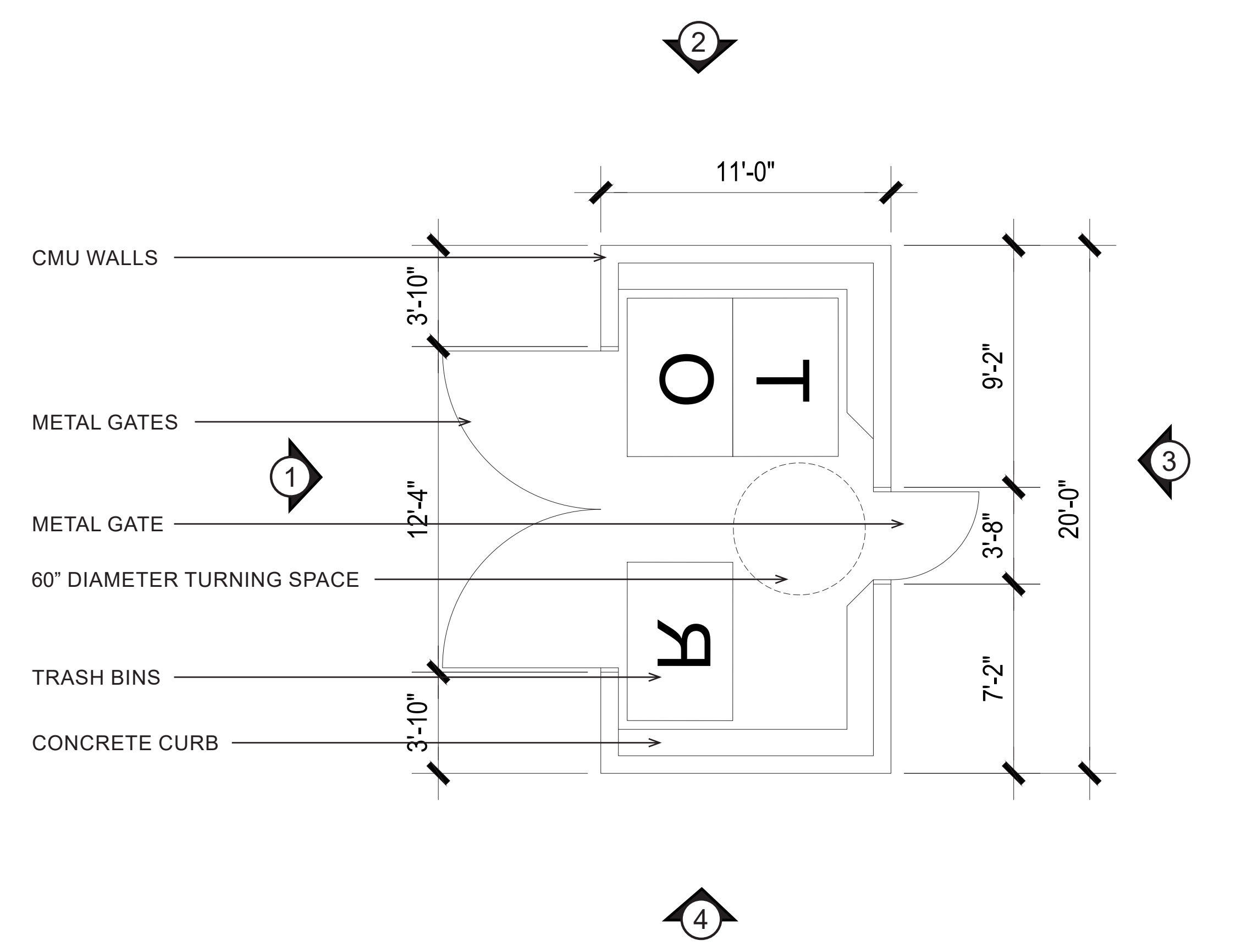
MATERIALS			COLORS & FINISHES	
A	CMU BLOCK	C	METAL ROOF	1 PAINT: DUNN EDWARDS - DE6385 - BLACK BEAN
B	METAL GATE	D	TRELLIS	2 CMU BLOCK: SPLITFACE BLOCK, ORCO "NATURAL GRAY"



② SIDE ELEVATION



④ SIDE ELEVATION





PLANT PALETTE					
SUNSET ZONE 18					
Symbol	Botanical Name	Common Name	WUCOLS REGION 4	SIZE	
TREES					
	Arbutus unedo Per City of Wildomar Approved Tree List	Strawberry Tree	Mod	36" BOX	
	Cercidium 'Desert Museum' Per City of Wildomar Approved Tree List	Desert Museum Palo Verde	Mod	36" BOX	
	Cercis occidentalis Per City of Wildomar Approved Tree List	Western Redbud	Mod	36" BOX 15 Gal	
	Koeleruteria paniculata Per City of Wildomar Approved Tree List	Golden Rain Tree	Mod	24" BOX	
	Lagerstroemia l. 'Muskogee' Per City of Wildomar Approved Tree List	Muskogee Crape Myrtle	Mod	36" BOX	
	Larax nobilis 'Saratoga' Per City of Wildomar Approved Tree List	Sweet Bay	Mod	24" BOX	
	Platanus a. 'Columbia' Per City of Wildomar Approved Tree List	Columbia Plane Tree	Mod	24" BOX 15 Gal	
	Quercus ilex Per City of Wildomar Approved Tree List	Holly Live Oak	Mod	24" BOX	
Symbol	Botanical Name	Common Name	WUCOLS	SIZE	SPACING
SHRUBS/ GROUNDCOVERS - 53,833 S.F.					
	Agave 'Blue Glow'	Blue Glow Agave	Low	5 GAL	24" O.C.
	Alyogyne huegelli	Blue Hibiscus	Low	1 GAL	24" O.C.
	Bouteloua g. 'Blonde Ambition'	Blue Grama	Low	5 GAL	36" O.C.
	Callistemon v. 'Little John'	Dwarf Bottlebrush	Low	5 GAL	36" O.C.
	Cistus purpureus	Purple-Flowered Rockrose	Low	5 GAL	48" O.C.
	Dalea greggii	Trailing Indigo Bush	Low	5 GAL	48" O.C.
	Dasylium wheeleri	Desert Spoon	Low	5 GAL	48" O.C.
	Dianella r. 'Little Rev'	Little Rev Flax Lily	Low	5 GAL	24" O.C.
	Furcraea f. 'Medioclita'	Variegated Giant False Agave	Low	5 GAL	54" O.C.
	Lantana montevidensis	Trailing Lantana	Low	1 GAL	24" O.C.
	Leucophyllum f. 'Compacta'	Compact Texas Ranger	Low	5 GAL	36" O.C.
	Myoporum parvifolium	Myoporum	Low	1 GAL	24" O.C.
	Penstemon h. 'Margarita BOP'	Foothill Beardtongue	Low	5 GAL	24" O.C.
	Rosmarinus o. 'Huntington Carpet'	Creeping Rosemary	Low	5 GAL	36" O.C.
	Santolina chamaecyparissus	Lavender Cotton	Low	5 GAL	36" O.C.
	Verbina ligita	Slender Vervain	Low	1 GAL	24" O.C.
	Westringia f. 'Morning Light'	Morning Light Westringia	Low	5 GAL	36" O.C.
BIO-SWALE PLANTINGS - 18,972 S.F.					
	Carex divulsa	European Grey Sedge	Low	5 GAL	24" O.C.
	Leymus c. 'Canyon Prince'	Canyon Prince Wild Rye	Low	5 GAL	36" O.C.
	Juncus p. 'Elk Blue'	Elk Blue California Gray Rush	Low	5 GAL	24" O.C.
ACCENT PLANTINGS - 1,915 S.F.					
	Achillea m. 'Paprika'	Paprika Yarrow	Low	5 GAL	24" O.C.
	Aeonium 'Zwartkop'	Black Rose Aeonium	Low	5 GAL	36" O.C.
	Aloe polyphylla	Spiral Aloe	Low	5 GAL	36" O.C.
	Aloe striata	Coral Aloe	Low	5 GAL	48" O.C.
	Senecio mandraliscae	Blue Chalksticks	Low	5 GAL	36" O.C.
SCREEN SHRUBS					
	Myrtus c. 'Compacta'	Dwarf Myrtle	Mod	15 GAL	36" O.C.
	Pittosporum t. 'Wheeler's Dwarf'	Wheeler's Dwarf	Mod	15 GAL	54" O.C.
	Prunus c. 'Compacta'	Japanese Pittosporum	Mod	15 GAL	48" O.C.
	Westringia f. 'Morning Light'	Morning Light Westringia	Low	15 GAL	36" O.C.
SCREEN VINES - 22 QTY					
	Clytostoma callistegioides	Lavender Trumpet Vine	Mod	5 GAL	PER PLAN
	Macfadyena unguis-cati	Cat's Claw	Mod	5 GAL	PER PLAN
	Parthenocissus tricuspidata	Boston Ivy	Mod	5 GAL	PER PLAN
FUTURE MEDIAN RENOVATION PLANTING - 770 S.F.					
	Carex divulsa	European Grey Sedge	Low	5 GAL	24" O.C.
	Lantana montevidensis	Purple Trailing Lantana	Low	1 GAL	48" O.C.

MWEO Appendix B - Water Efficient Landscape Worksheet									
Project Name:		CHERRY OUTPOST							
Project Location:		WILDOMAR, CALIFORNIA							
Reference Evapotranspiration (Eto) City-specific:		City	55	ETAF		Non-Residential	0.45		
Hydrozone		Planting Description	Plants' Water Use	Plant Factor (PF)	Shade/Sun	Irrigation Method Nozzle Type	Irrigation Efficiency (IE)	ETAF (PF/IE)	Estimated Total Water Use (ETWU)
Regular Landscape Area									
H2-1	Tree	Medium	0.5	Sun	Tree Bubble	0.81	0.62	3300	1,953.6
H2-2	Shrub/Gr/Vine	Low	0.2	Sun	Micro Spray-RAINBIRD SQ 4"	0.75	0.27	55,383	14,735.5
H2-3	Bio-Filtration	Low	0.2	Sun	Rotor-RAINBIRD 5000	0.75	0.27	15,800	5,380.0
H2-4	Non-recreational Turf	High	0.7	Sun	Rotor-RAINBIRD 5000	0.75	0.58	1,996	1,806.9
Totals								(A)	(B)
								80,059	23,755
									808,715
Special Landscape Areas									
SLA-1	No SLA								
Totals								(C)	(D)
								0	0
								ETWU Total	808,715
								Maximum Allowed Water Allowance (MAWA)	1,227,882
ETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area									
0.62 is a conversion factor that converts to acre-inches per acre per year to gallons per square foot per year. Eto is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is 0.55 for residential area and 0.45 for non-residential areas.									
MAWA (Annual Gallons Allowed) = Eto x 0.62 x (ETAF x LA) + (SLA x ETAF) x SLA									
ETAF Calculations									
Regular Landscape Areas		Average ETAF for Regular Landscape Area must be 0.55 or below for residential area, and 0.45 or below for non-residential areas.		All Landscape Areas					
Total ETAF x Area (B)		23,755		Total ETAF x Area (B-C)		23,755			
Total Area (A)		80,059		Total Area (A-C)		80,059			
Average ETAF (B/A)		0.30		Slope ETAF (B/C)		0.30			

- ADDITIONAL NOTES:
- PLANT MATERIAL NOT LISTED MAY BE USED, SUBJECT TO APPROVAL BY THE CITY.
 - ALL LANDSCAPE AREAS SHALL RECEIVE AUTOMATIC IRRIGATION SYSTEM.
 - ALL LANDSCAPE INSTALLATION SHALL BE PERMANENTLY MAINTAINED BY PROPERTY OWNER.
 - WATER PURVAYOR: ELSINORE VALLEY MUNICIPAL WATER DISTRICT
 - WATER TYPE: POTABLE

UTILITY LOCATION COORDINATION NOTES:

ALL WET AND DRY UTILITY LOCATIONS TO BE COORDINATED WITH OWNERSHIP ARCHITECTURE AND ENGINEERING TEAM TO AVOID REQUIRED TREE AND UTILITY SCREENING CONFLICTS.

HIGH FIRE ZONE NOTE:

DUE TO PROJECT FALLING WITHIN THE FUTURE VERY HIGH FIRE HAZARD SEVERITY ZONE, LANDSCAPE PLAN FOLLOWS ALL FIRE CODE STANDARDS. NO FUEL MOD PLAN IS REQUIRED AT THE MOMENT.

BUILDING FRONTAGE LINEAR FOOTAGE & TABULATION:

- CAR WASH L.F.: 194'-8"
- PAD 1 L.F.: 99'-0"
- HOTEL L.F.: 114'-7"

TOTAL L.F.: 408'-3"

(1) 15 GALLON TREE PER 30 L.F. OF BUILDING FRONTAGE ON-SITE: 14 TREES REQUIRED

CITY OF WILDOMAR LANDSCAPE NOTES & TABULATIONS:

PARKING LOT TO HAVE MIN. 50% SHADING - SEE PARKING LOT SHADE PLAN L-2

MINIMUM PLANTER SIZE 5' WIDE

MINIMUM TREE SIZE TO BE 24" BOX

MINIMUM SHRUB SIZE TO BE 5 GALLON

MAXIMUM SPACING FOR ALL GROUNDCOVER SHRUBS 12"-24" O.C.

TOTAL PROJECT SITE: 264,350 S.F.

TOTAL RECREATION / LEISURE AREA (MIN. 5% TOTAL SITE): 13,262 S.F. (5%)

(1) PARKING LOT SHADE TREE SHALL BE PER EVERY (3) PARKING STALLS

TOTAL NEW LANDSCAPE SQUARE FOOTAGE: 54,414 S.F.

TOTAL BIO-FILTRATION AREA: 19,925 S.F.

TOTAL SLOPE AREA AT BIO-FILTRATION AREA: 11,498 S.F.

(1) 15 GALLON TREE PER 700 S.F. OF SLOPE AREA AT BIO-FILTRATION AREA: 16 TREES REQUIRED

TOTAL PARKING STALLS: 175

1 TREE FOR EVERY 3 PARKING STALLS: 58 REQUIRED TREES

TOTAL PARKING LOT TREES: 49

TOTAL TREES ON SITE: 88

ALL SITE TREES AND SHRUBS SHALL BE SELECTED FROM THE CITY OF WILDOMAR CLIMATE APPROVED PLANT LIST



CONCEPTUAL LANDSCAPE PLAN

CHERRY OUTPOST

WILDOMAR, CALIFORNIA

J & T INVESTMENTS

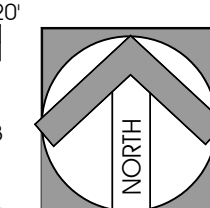
CORONA, CALIFORNIA

0' 20' 40' 80' 120'

SCALE: 1"=40'

CDPC PROJECT NO. 22113

September 13, 2024

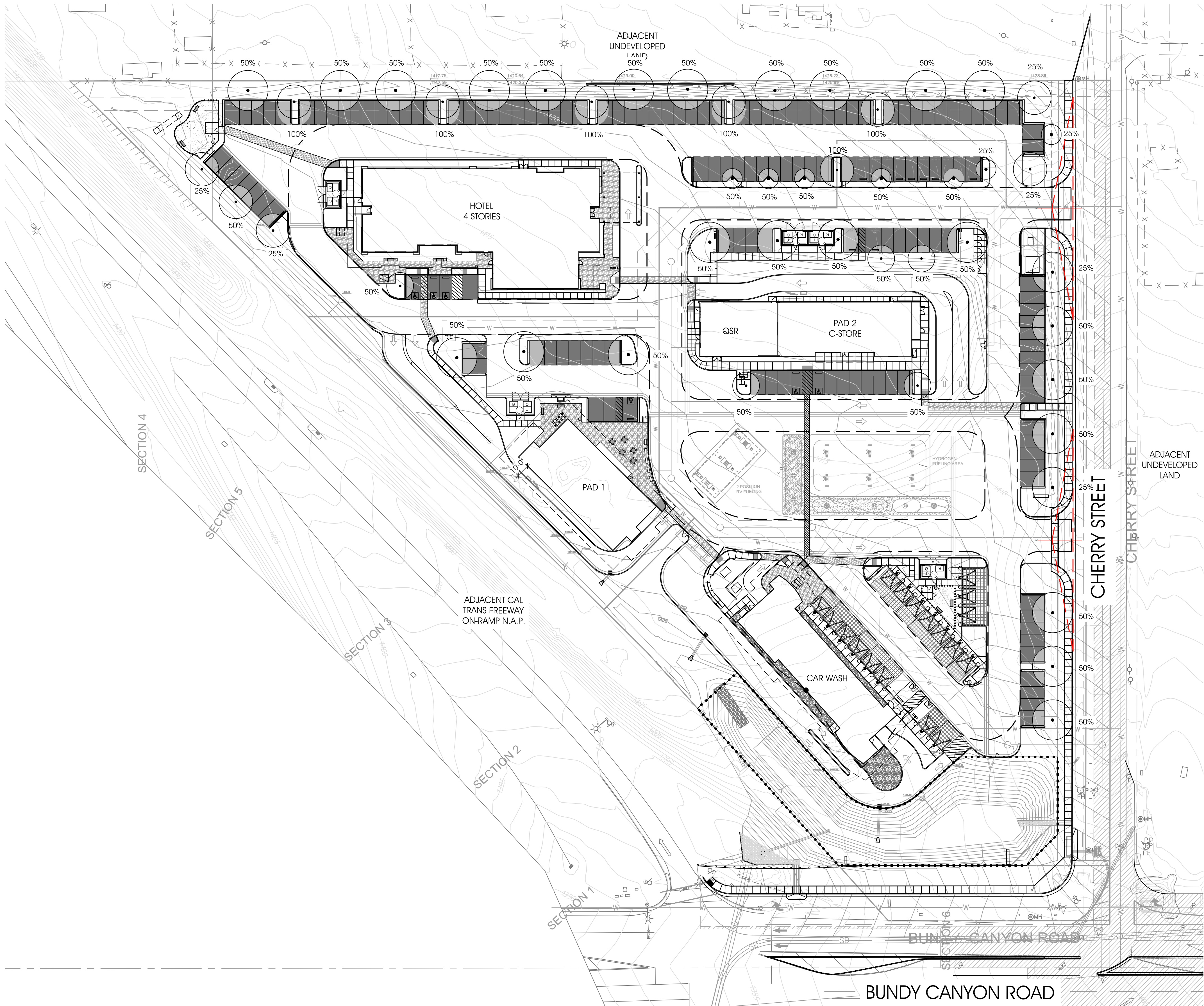


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PARKING LOT SHADE LEGEND

- Symbol
- PARKING LOT MANEUVERABLE VEHICULAR AREA
- PARKING LOT TREE CANOPY SHADE COVERAGE
- OVERHEAD SHADE STRUCTURES AT CAR WASH

PARKING AREA SHADE CALCULATION

Project Name:		Cherry Outpost													
Botanical Name		Quantity @ Full shade (Sq. Ft.)			Quantity @ 3/4 shade (Sq. Ft.)			Quantity @ 1/2 shade (Sq. Ft.)			Quantity @ 1/4 shade (Sq. Ft.)			Total (Sq. Ft.)	
Canopy diameter at maturity															
Arbutus u. 'Marina'		6 @ 491			0 @ 368			1 @ 246			4 @ 123			3,684	
25'															
Cercis occidentallis		0 @ 176			0 @ 236			5 @ 88			2 @ 44			528	
15'															
Koelrueteria paniculata		0 @ 706			0 @ 236			6 @ 354			2 @ 177			2,478	
30'															
Lagerstroemia i. 'Muskogee'		0 @ 314			0 @ 236			5 @ 157			0 @ 79			785	
20'															
Quercus ilex		0 @ 706			0 @ 236			18 @ 354			0 @ 177			6,372	
30'															
Tree Sub Total		6			0			35			8				
TOTAL TREE SHADE AREA														13,847.0	
Surfaced Area															
		Parking Area						24,948				Total		29,531	
		Covered Stalls (garages, carports, etc.)						4,583				Surfaced			
		Shade Area Required (50% of parking areas)												14,766	
		If applicable, TOTAL AUXILIARY SHADE* =												4,583	
TOTAL SHADE PROVIDED =														18,430	
PERCENT SHADE =														62.4%	

*NOTE: Auxiliary shade is the total parking area under covered stalls (carports, garages, vaccum stalls etc.) not the total covered area.

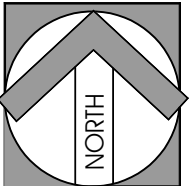
SHADE AREAS (Sq Ft)				
Diameter	100%	75%	50%	25%
35'	962	722	481	240
30'	706	530	354	177
25'	491	368	246	123
20'	314	236	157	79
15'	176	132	88	44



CONCEPTUAL PARKING LOT SHADE PLAN
CHERRY OUTPOST
WILDOMAR, CALIFORNIA

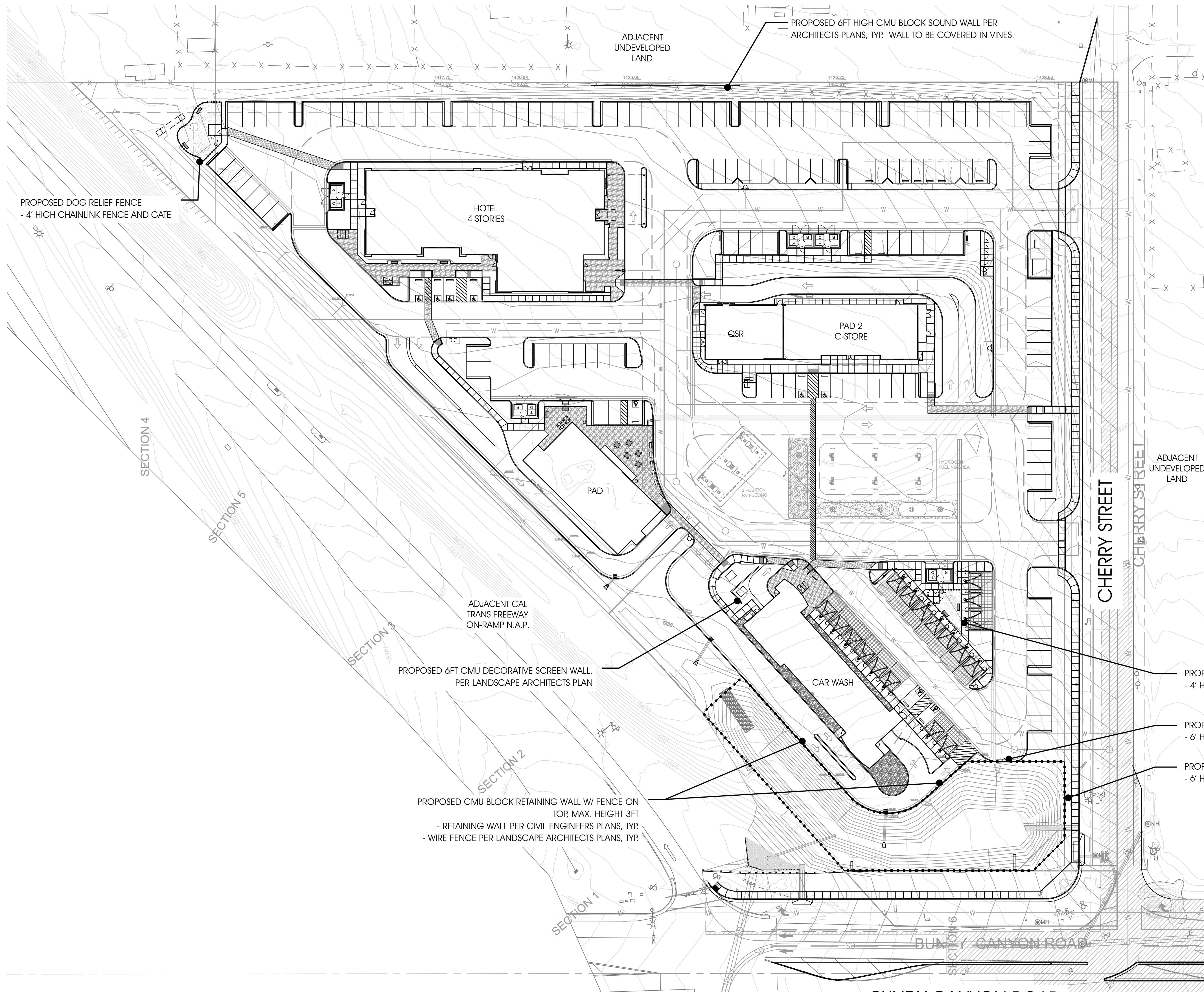
J & T INVESTMENTS
CORONA, CALIFORNIA

0' 20' 40' 80' 120'
SCALE: 1"=40'
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WALL AND FENCE LEGEND

- 4FT CHAINLINK FENCE AT DOG RELIEF AREAS
- VINYL-COATED
 - COLOR: BLACK

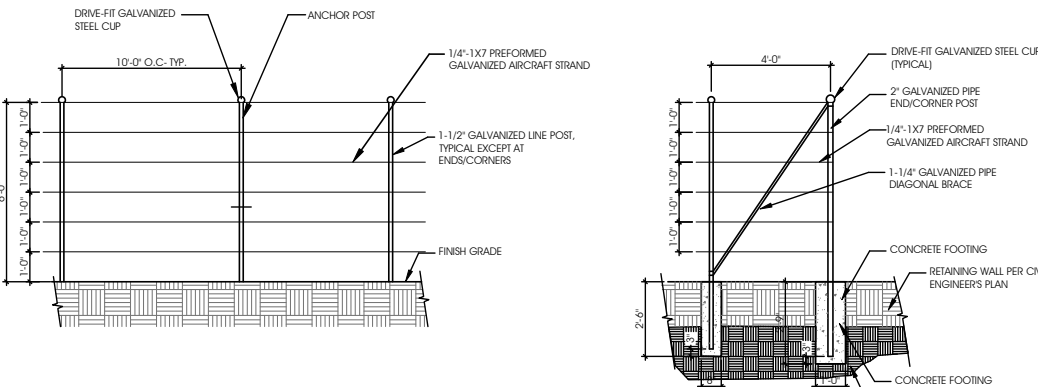
- 6FT WIRE FENCE AND POST AT BIO BASIN
- GALVANIZED CABLE WIRE
 - 3" POST COLOR: BLACK

- 3FT RETAINING WALL WITH 3FT WIRE FENCE AND POST AT BIO BASIN
- RETAINING WALL CMU SPLIT FACE BLOCK FINISH
 - COLOR: NATURAL GREY
 - GALVANIZED CABLE WIRE
 - 3" POST COLOR: BLACK

- 6FT DECORATIVE SCREEN WALL
- CMU BURNISHED BLOCK FINISH
 - COLOR: WHEAT

- 6FT SOUND WALL PER ARCHITECT'S PLAN
- CMU SPLIT FACE BLOCK FINISH
 - COLOR: NATURAL GREY

1. All metal parts of fences shall be galvanized new materials, and all posts shall be fitted with drive fit caps.
2. Lightweight metal inserts shall be steel metal tubes with 1/3" 3/4" greater than post O.D. Gal posts with rear post of one post corner to two posts with 4" 8" spaced by the Engineer, with submittal.
3. Cables shall be stretched and fastened with 2 cable clamps on each anchor post at 1/5 feet on center. Nuts shall be welded to clamps or covered with epoxy putty (U.S. Weld or equal) to prevent removal.
4. Anchor posts shall be gaged with 3/8" steel rods as shown.
5. Pipe for fence shall conform to ASTM A 120. Galvanizing shall comply with ASTM A 123.



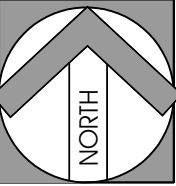
PROPOSED 6FT FENCE AT BIO RETENTION BASIN AREA



WALL AND FENCE PLAN
CHERRY OUTPOST
WILDOMAR, CALIFORNIA

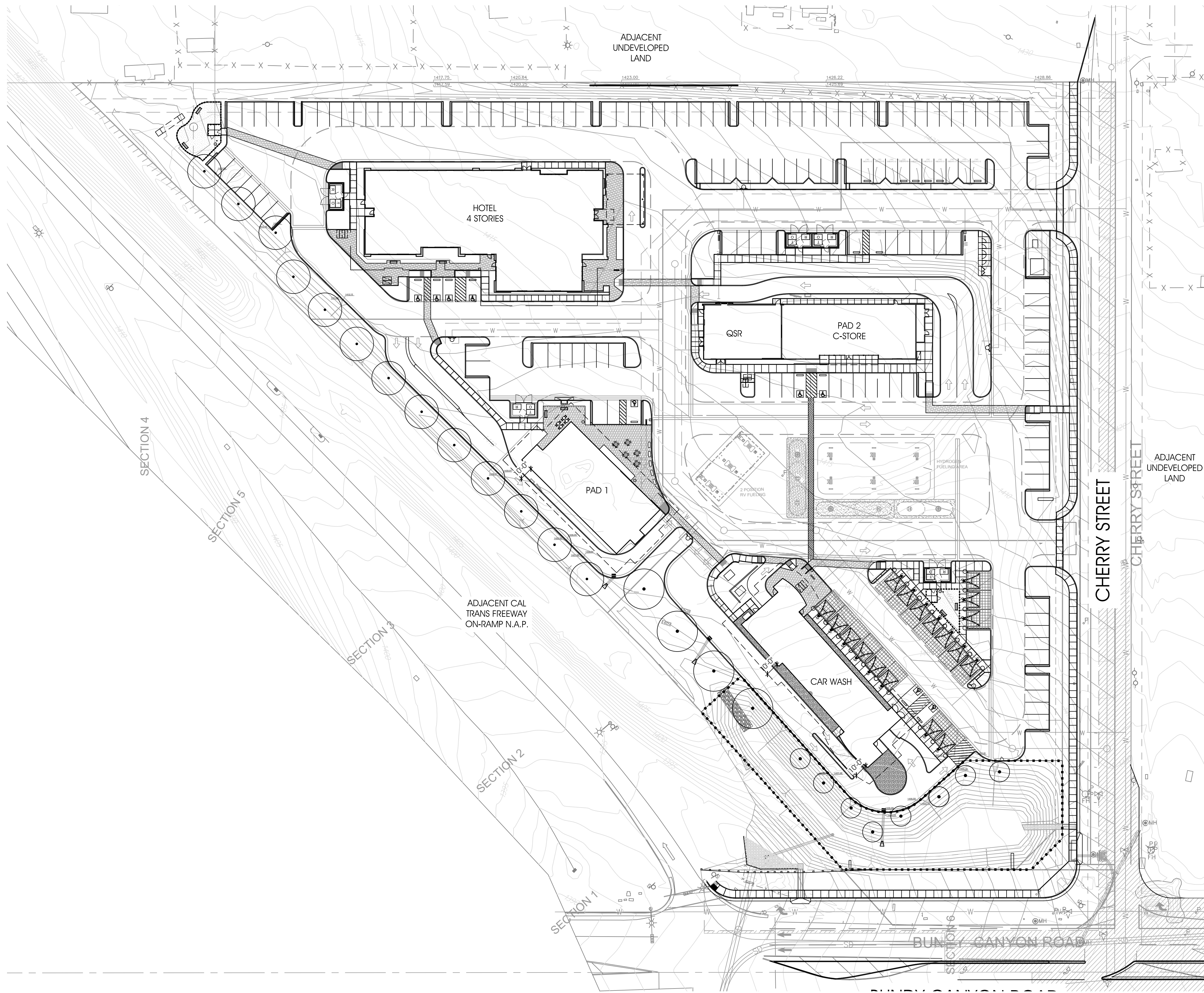
J & T INVESTMENTS
CORONA, CALIFORNIA

0' 20' 40' 80' 120'
SCALE: 1"=40'
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September 13, 2024



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BUILDING FRONTAGE LINEAR FOOTAGE & TABULATION:

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- PAD 1 L.F.: 99'-0"
- HOTEL L.F.: 114'-7"

TOTAL L.F.: 408'-3"

(1) 15 GALLON TREE PER 30 L.F. OF BUILDING FRONTAGE ON-SITE: 14 TREES REQUIRED



SCREENING TREE PLAN

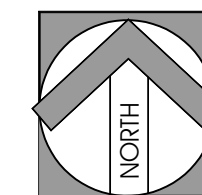
CHERRY OUTPOST
WILDOMAR, CALIFORNIA

J & T INVESTMENTS
CORONA, CALIFORNIA



SCALE: 1"=40'
CDPC PROJECT NO. 22113

September 13, 2024



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L-4

4 OF 5

TREES



Arbutus u. 'Marina'
Marina Strawberry Tree



Cercidium 'Desert Museum'
Desert Museum Palo Verde



Cercis occidentalis
Western Redbud



Koelreuteria paniculata
Golden Rain Tree



Lagerstroemia i. 'Muskogee'
Muskogee Crape Myrtle



Laurus nobilis 'Saratoga'
Sweet Bay



Platanus a. 'Columbia'
Columbia Plane Tree



Quercus ilex
Holly Live Oak

SHRUBS & GROUNDCOVERS



Agave 'Blue Glow'
Blue Glow Agave



Alyogyne huegellii
Blue Hibiscus



Bouteloua g. 'Blonde Ambition'
Blue Gama Grass



Callistemon v. 'Little John'
Little John Bottlebrush



Cistus purpureus
Purple-Flowered Rockrose



Dalea greggii
Trailing Indigo Bush



Dayslirion wheeleri
Desert Spoon



Dianella r. 'Little Rev'
Little Rev Flax Lily



Furcraea f. 'Mediopicta'
Variegated Giant False Agave



Lantana montevidensis
Trailing Lantana



Leucophyllum f. 'Compacta'
Compact Texas Ranger



Myoporum parvifolium
Myoporum



Penstemon h. 'Margarita BOP'
Foothill Beardtougne



Rosmarinus o. 'Huntington Carpet'
Creeping Rosemary



Santolina chamaecyparissus
Lavender Cotton



Verbina rigita
Slender Vervain



Westringia f. 'Morning Light'
Morning Light Westringia

BIO-SWALE PLANTS



Carex divulsa
Berkeley Sedge



Juncus p. 'Elk Blue'
Elk Blue California Gray Rush



Leymus c. 'Canyon Prince'
Canyon Prince Wild Rye

ACCENT PLANTS



Achillea m. 'Paprika'
Paprika Yarrow



Aeonium 'Zwartkop'
Black Rose Aeonium



Aloe polyphylla
Spiral Aloe



Aloe striata
Coral Aloe



Senecio mandraliscae
Blue Chalksticks

SCREEN SHRUBS



Myrtus c. 'Compacta'
Dwarf Myrtle



Pittosporum f. 'Silver Sheen'
Silver Sheen Kohuhu



Prunus c. 'Compacta'
Compact Cherry Laurel



Westringia f. 'Morning Light'
Morning Light Westringia

SCREEN VINES



Clytostoma callistegioides
Lavender Trumpet Vine



Macfadyena unguis-cati
Cat's Claw



Parthenocissus tricuspidata
Boston Ivy



CONCEPTUAL PLANTING PALETTE IMAGERY

CHERRY OUTPOST
WILDOMAR, CALIFORNIA

J & T INVESTMENTS
CORONA, CALIFORNIA

CDPC PROJECT NO. 22113
August 20, 2024

conceptual design + planning company
1675 Scenic Drive, Suite 200
Costa Mesa, CA 92626
T: 949.399.0870
www.cdpcinc.com
COSTA MESA • CENTRAL COAST • LAS VEGAS



SHEET INDEX

- 1 CONCEPTUAL GRADING PLAN
- 2 CONCEPTUAL UTILITY PLAN
- 3 EASEMENT PLAN
- 4 CHERRY STREET CENTERLINE PROFILE
- 5 STRIPING PLAN

LEGEND

(E)	EXISTING
FG	FINISH GRADE
FF	FINISH FLOOR
FS	FINISH SURFACE
NAP	NOT A PART
SF	SQUARE FOOTAGE
TF	TOP OF FOOTING
TW	TOP OF WALL
0000.00XX	PROPOSED ELEVATION
0000.00XX	PROPERTY LINES
---	INTERIOR LOT LINES
---	EXISTING CONTOUR LINE AND ELEVATION
---	PROPOSED CONTOUR LINE AND ELEVATION
---	PROPOSED RETAINING WALL

NOTES:

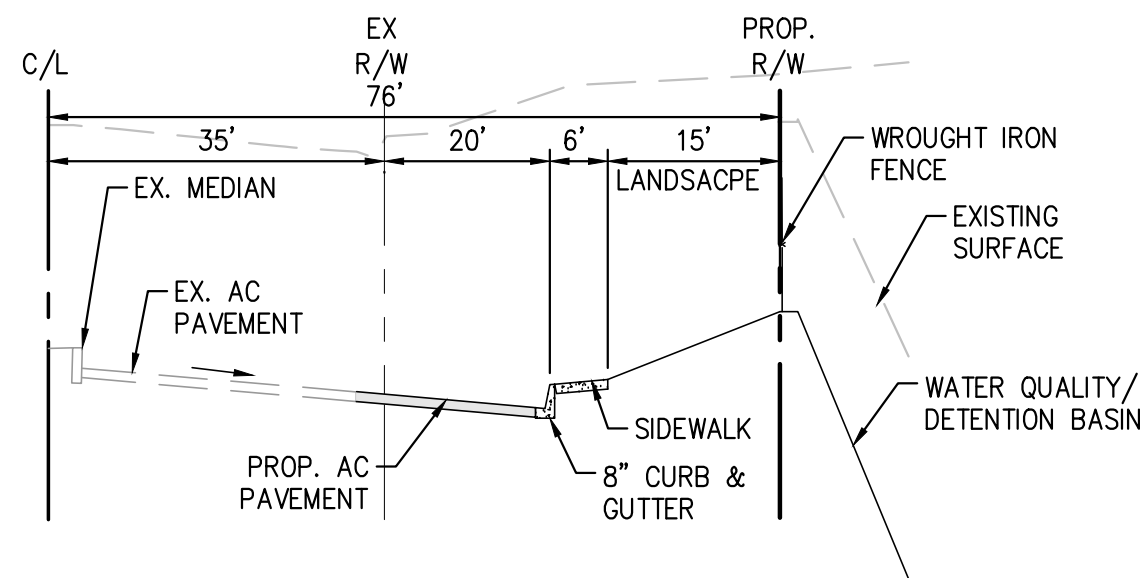
1. ALL FENCING AND WALLS SHALL BE BUILT PER THE LANDSCAPE PLANS
2. DRIVEWAYS SHALL BE COMMERCIAL DRIVEWAYS
3. ONSITE LIGHTING SHALL BE PRIVATE AND PER SEPARATE PLANS

EARTHWORK QUANTITIES:

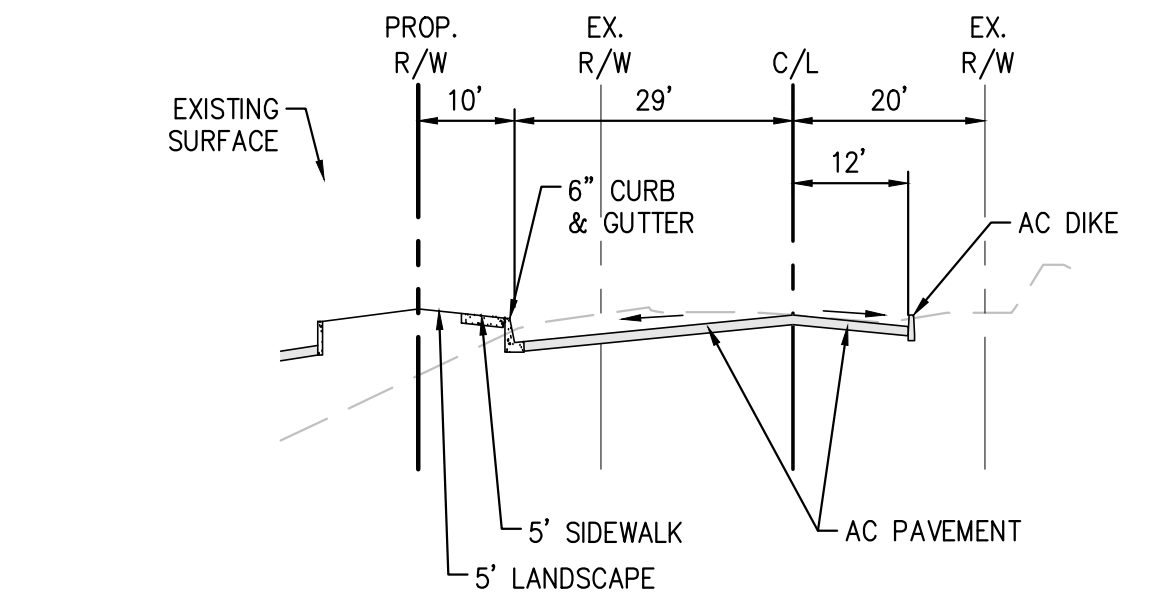
CUT = 14,060 CY
FILL = 9,900 CY
NET EXPORT = 4,160 CY

GRADING NOTE:

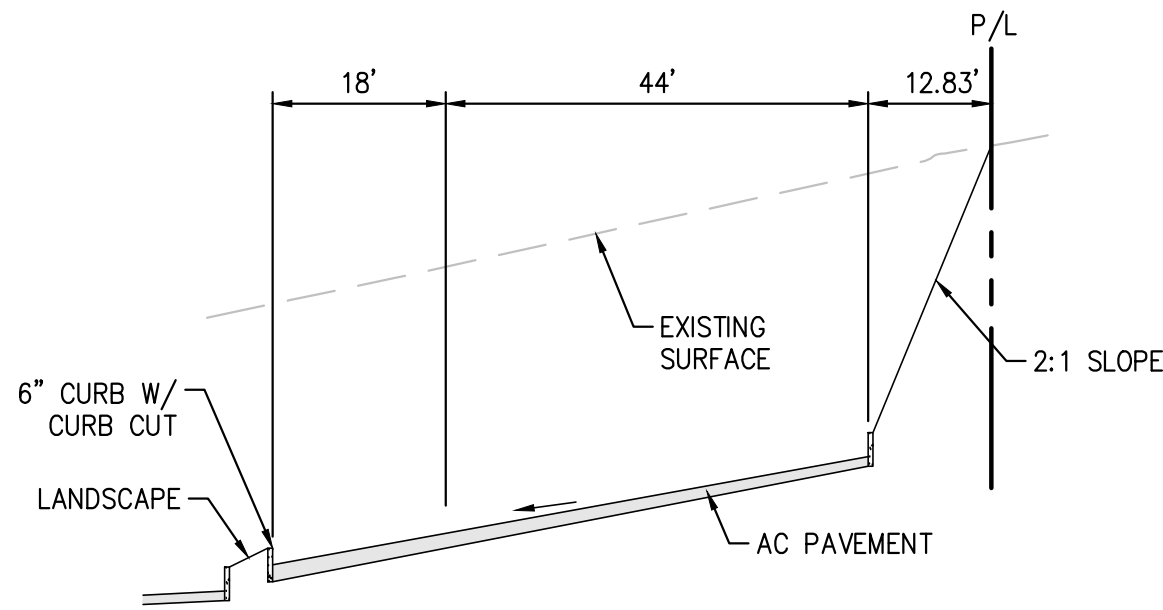
PRECISE GRADING OF EACH PARCEL WILL BE PER THEIR SPECIFIC SITE REQUIREMENTS.



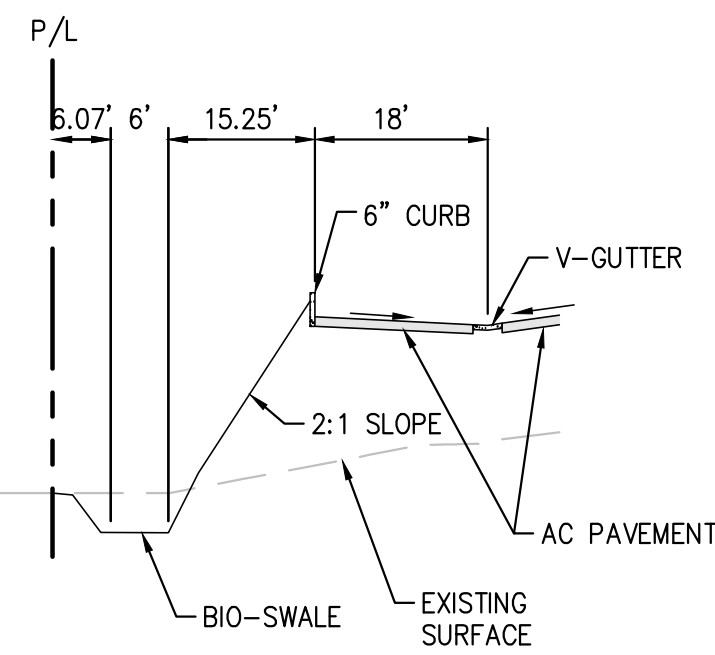
SECTION E-E



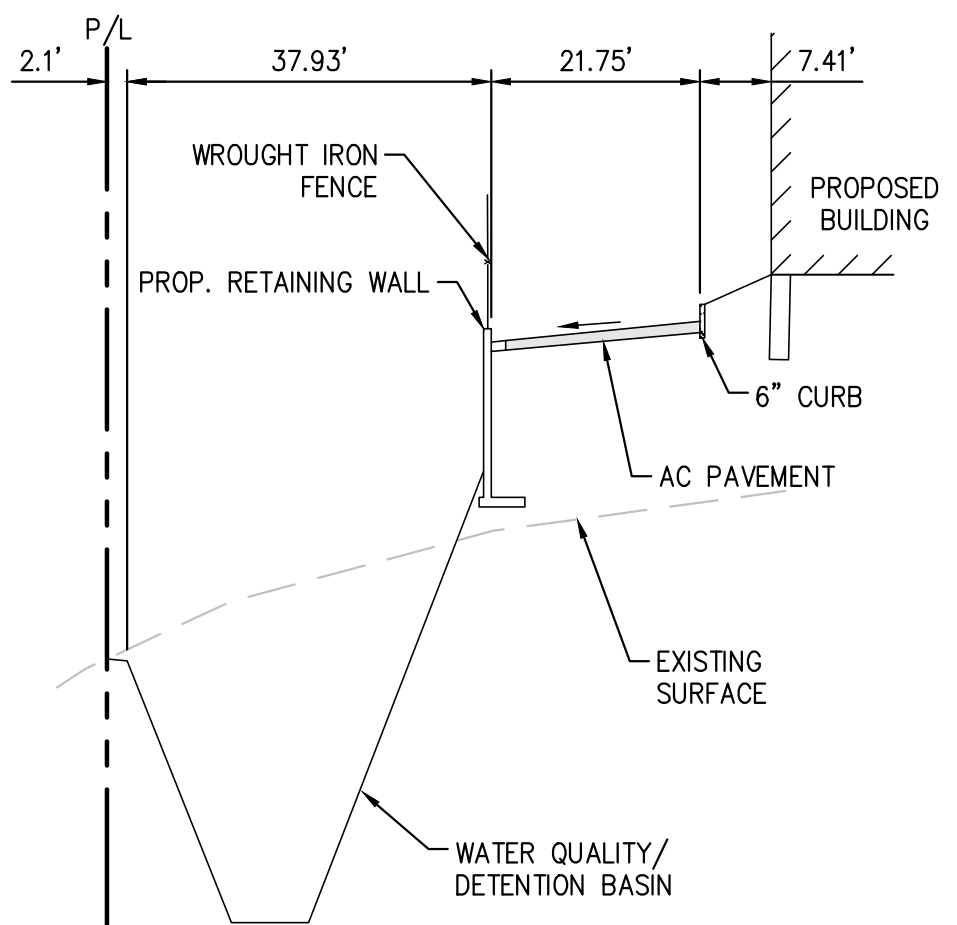
SECTION A-A



SECTION B-B

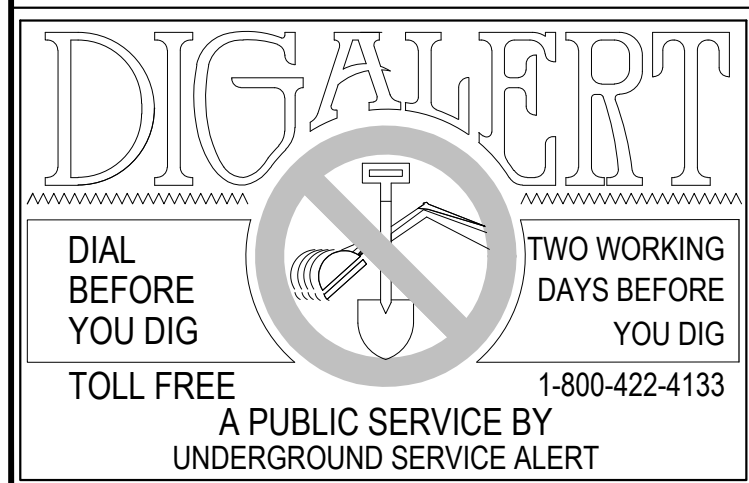


SECTION C-C



SECTION D-D

0 40' 80'
SCALE: 1" = 40'



NOTE:

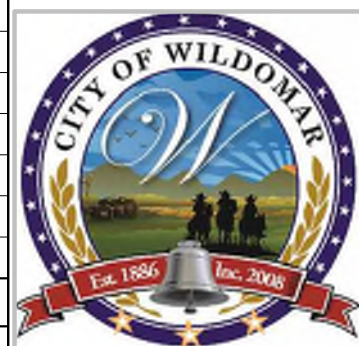
WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

The private engineer signing these plans is responsible for assuring the accuracy and acceptability of the design hereon. In the event of discrepancies arising after city acceptance or during construction, the private engineer shall be responsible for determining an acceptable solution and revising the plans for acceptance by the city.

MARK	BY	DATE
	ENGINEER	

REVISIONS

APPR	DATE
	CITY



CITY OF WILDOMAR
ACCEPTED BY:

Date:
JASON B. FARAG, Director of Public Works/
City Engineer, PE 86560

ACCEPTANCE AS TO CONFORMANCE
WITH APPLICABLE CITY STANDARDS AND
PRACTICES



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Santa Ana, CA 92705

p: 714.560.8200
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Orange County Sacramento Denver Dallas
San Luis Obispo Riverside Boise Atlanta

BENCHMARK: SEE ABOVE
Elevation =
Datum = NGVD29
BENCHMARK #

SCALE:
H: As Noted V: As Noted

PP xx-xxxx

TM xxxxx

PR. No. xx-xxxx

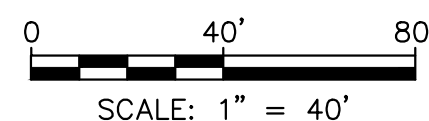
SHEET No.

CITY OF WILDOMAR
CHERRY OUTPOST
CONCEPTUAL GRADING PLAN

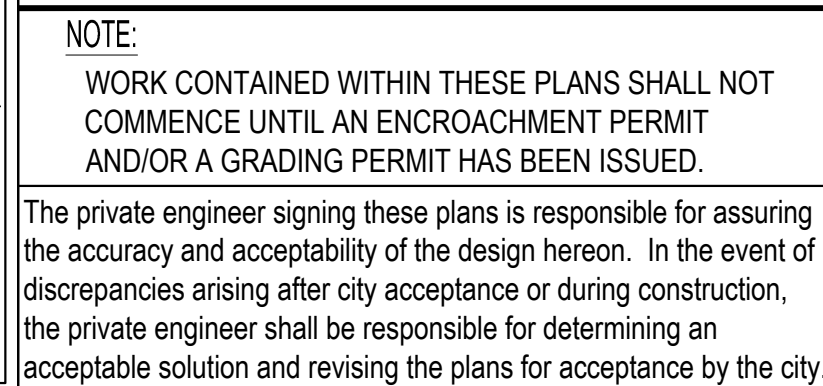
1

OF 5 SHTS

PAR22-0145



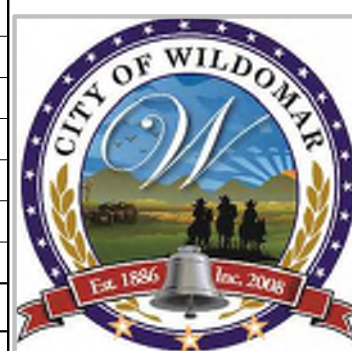
OF 5 SHT



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REVISIONS

APPR.	DATE
CITY	



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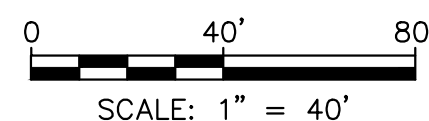


ENGINEERING	ENVIRONMENTAL	BUILDING	LAND
Orange County	Sacramento	Denver	
San Luis Obispo	Riverside	Boise	

BENCHMARK: SEE ABOVE
Elevation =
Datum = NGVD29
BENCHMARK #

SCALE:
H: As Noted V: As Noted

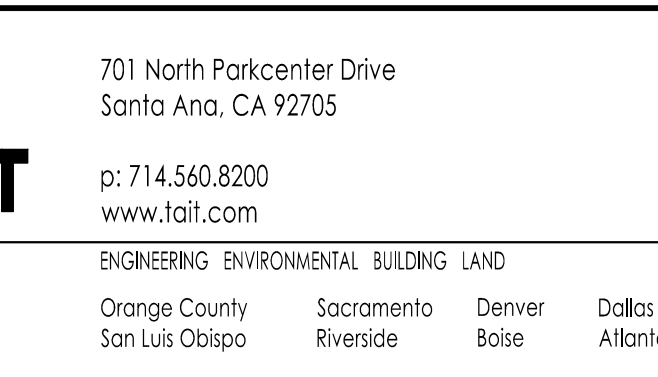
CITY OF WILDOMAR
CHERRY OUTPOST
CONCEPTUAL UTILITY PLAN



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NOTE:
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MARK	BY	DATE					APPR.	DATE
ENGINEER			REVISIONS				CITY	



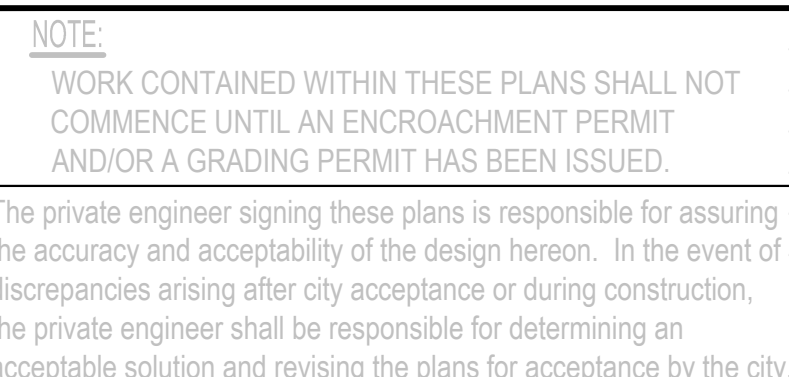
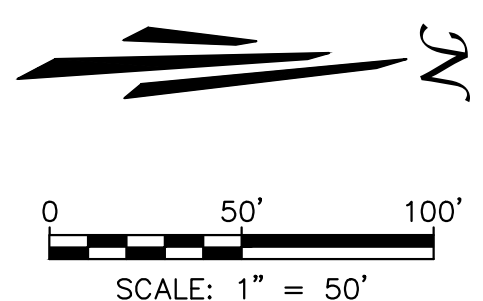
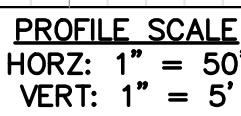
	BENCHMARK: SEE ABOVE Elevation = Datum = NGVD29 BENCHMARK #
SCALE:	H. As Noted V. As Noted

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CITY OF WILDOMAR

CHERRY OUTPOST

EASEMENT PLAN



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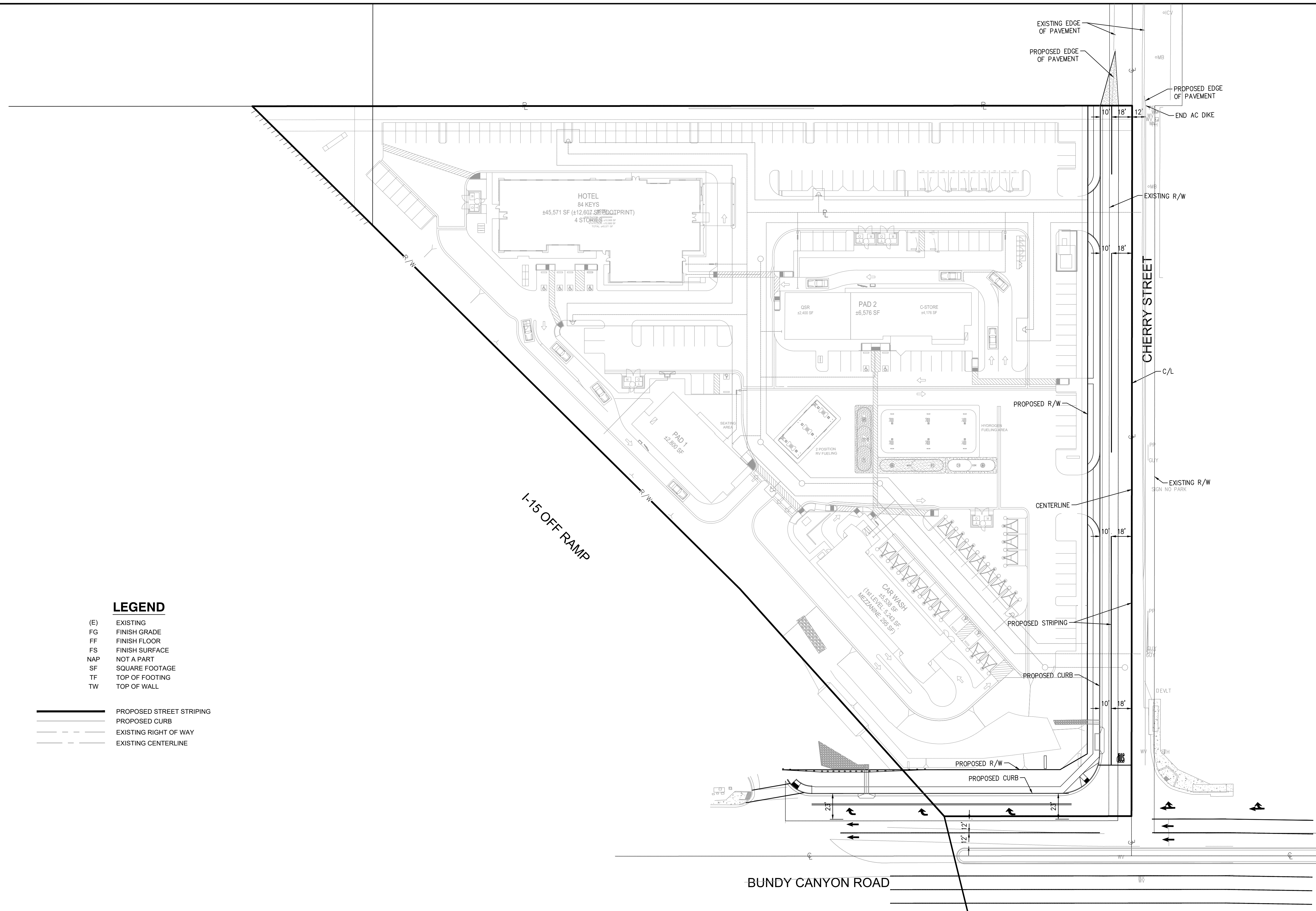
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CITY OF WILDOMAR
CHERRY OUTPOST
CHERRY STREET CENTERLINE PROFILE

SHEET No.

4

OF 5 SHEETS



PAR22-0145

[illegible]

CITY OF WILDOMAR

ACCEPTED BY: _____

Date: _____

JASON B. FARAG, Director of Public Works/
City Engineer, PE 86560

ACCEPTANCE AS TO CONFORMANCE
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