

APPENDIX 1.0 – Site Plan & Conceptual Architectural Plans

CORDOVA BUSINESS CENTER

22411 Cordova Road
Apple Valley, CA 92307

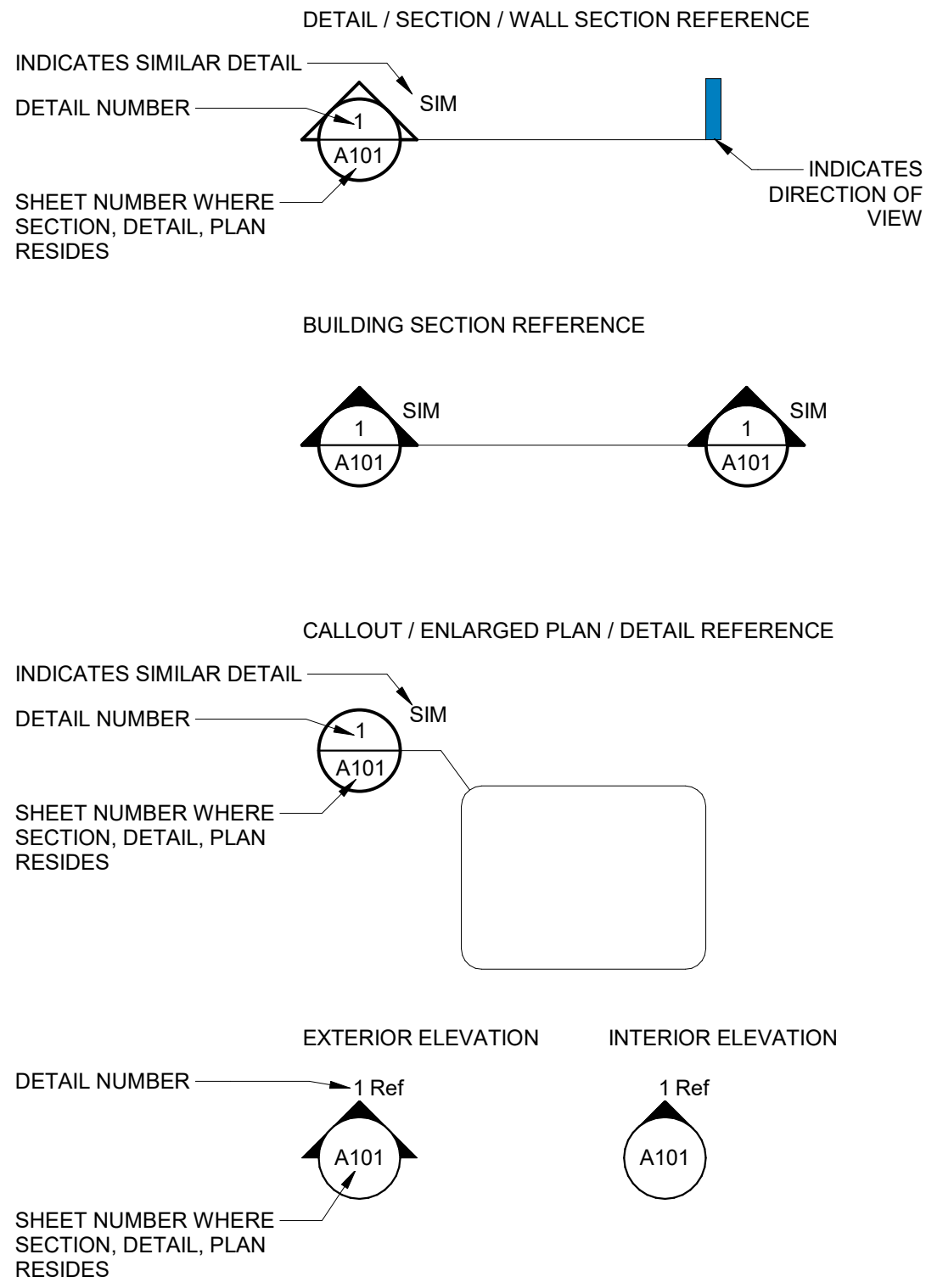
SITE PLAN REVIEW PACKAGE
OCTOBER 14, 2024



ABBREVIATIONS

ADJ	ADJACENT, ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATE
BLDG	BUILDING
CIP	CAST-IN-PLACE
CJ	CONSTRUCTION JOINT, CONTROL JOINT
CL	CENTERLINE
CLG	CLEARANCE
CLR	CLEAR, CLEARANCE
CMU	CONCRETE MASONRY UNIT(S)
COL	COLUMN
CONC	CONCRETE
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DWG	DRAWING
EA	EACH
EF	EXHAUST FAN
EJ	EXPANSION JOINT
EL	ELEVATION (GRADE)
EW	ELECTRIC WATER COOLER
EXIST	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FFE	FURNITURE, FIXTURES & EQUIPMENT
FIN	FINISH, FINISHED
FR	FIRE RATED, FIRE RETARDANT
FRTW	FIRE RETARDANT TREATED WOOD
GA	GAUGE
GALV	GALVANIZED
GYP BD	GYPSPUM BOARD
HM	HOLLOW METAL
HORIZ	HORIZONTAL
INT	INTERIOR
MAX	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
MO	MASONRY OPENING
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED OWNER INSTALLED
OH	OPPOSITE HAND
OPP	OPPOSITE
PL	PROPERTY LINE
PPT	PRESERVATIVE PRESSURE TREATED
PR	PAIR
PSF	PER SQUARE FOOT
RD	ROOF DRAIN
SF	SQUARE FOOT
SM	SIMILAR
SPEC	SPECIFICATIONS
TYP	TYPICAL
UL	UNDERWRITER'S LABORATORIES
UON	UNLESS OTHERWISE NOTED
VERT	VERTICAL
VIF	VERIFY IN FIELD
W/	WITH
W/O	WITHOUT

REFERENCE SYMBOLS



PROJECT INFORMATION

SITE AREAS:		
GROSS SITE AREA	1,297,738 SF	(29.79 AC)
SITE AREA (NET)	1,193,078 SF	(27.39 AC)
LANDSCAPE	181,836 SF	
BUILDING FOOTPRINT	494,000 SF	
LOT COVERAGE PROVIDED	38.07 %	
MAX. COVERAGE ALLOWED	45 %	
F.A.R. (GROSS)	.40	
ASSESSOR'S PARCEL NUMBER 0463-491-09-0000		
MAX BUILDING HEIGHT ALLOWED (PER NAVISP PLANNING REGULATIONS) 100 FT		
EMPLOYEE EATING AREA PROVIDED		
EMPLOYEE EATING AREA #1	2,332 SF	
EMPLOYEE EATING AREA #2	1,670 SF	
EMPLOYEE EATING AREA #3	1,305 SF	
TOTAL EMPLOYEE EATING AREA PROVIDED	5,307 SF	
LOT SIZE	WIDTH (MIN.)	DEPTH (MIN.)
REQUIRED:	200 FT	200 FT
LOT TOTAL:	1424'-3"	1431'-11"
NORTH SECTION:	1424'-3"	623'-4"
WEST SECTION:	155'-8"	665'-10"
SOUTH SECTION:	1424'-3"	142'-9"
BUILDING SETBACKS:	REQUIRED (MIN.)	PROVIDED
FRONT OR STREET SIDE:		
ON CENTRAL ROAD	N/A	65'-0"
ON ANY OTHER ROAD	25 FT	98'-0"
INTERIOR SIDE YARD:	0 FT	60'-8"
REAR:	15 FT	950'-1 1/2"
LANDSCAPING SETBACKS:	REQUIRED (MIN.)	PROVIDED
FRONT OR STREET SIDE:		
ON CENTRAL ROAD	N/A	25'-0"
ON ANY OTHER ROAD	15 FT	15'-0"
INTERIOR:	NONE	0' - 5' *
* PROVIDED SETBACK VARIES - SEE PLAN FOR EACH LOCATION.		
BUILDING AREAS:		
PROPOSED BUILDING AREA		
FIRST FLOOR		494,000 SF
MEZZANINE FLOOR(S)		10,508 SF
TOTAL BUILDING AREA		504,508 SF
PARKING SUMMARY:		
GROSS FLOOR AREA		504,508 SF
WAREHOUSE	@ 95.4%	481,492 SF
POTENTIAL OFFICE (ACCESSORY USE)	@ 4.6%	23,016 SF
PARKING REQUIRED		
TOTAL VEHICLE PARKING REQUIRED		515 STALLS
1/500 FOR FIRST 10,000 GSF		20 STALLS
1/1000 BEYOND FIRST 10,000 GSF		495 STALLS
ACCESSIBLE PARKING STALLS	@ 2%	11 STALLS
ELECTRIC VEHICLE PARKING STALLS	@ 20%	103 STALLS
INSTALLED EV PARKING STALLS	@ 25% OF 20%	26 STALLS
FUTURE EV PARKING STALLS	@ 75% OF 20%	77 STALLS
CLEAN AIR / VANPOOL / CARPOOL STALLS	@ 8%	41 STALLS
TOTAL BICYCLE PARKING REQUIRED		52 STALLS
SHORT-TERM BICYCLE PARKING	@ 5%	26 SPOTS
LONG-TERM BICYCLE PARKING	@ 5%	26 SPOTS
PARKING PROVIDED		
TOTAL VEHICLE PARKING PROVIDED		528 STALLS
STANDARD PARKING STALLS		151 STALLS
COMPACT PARKING STALLS		25 STALLS
ACCESSIBLE PARKING STALLS		11 STALLS
STANDARD		9 STALLS
VAN		2 STALLS
INSTALLED EV PARKING STALLS	@ 25% OF 20%	27 STALLS
CLEAN AIR / VANPOOL / CARPOOL STALLS	@ 8%	42 STALLS
TANDEM PARKING STALLS		136 STALLS
TOTAL BICYCLE PARKING PROVIDED		54 STALLS
SHORT-TERM BICYCLE PARKING	@ 5%	27 SPOTS
LONG-TERM BICYCLE PARKING	@ 5%	27 SPOTS
TOTAL TRAILER PARKING PROVIDED		136 STALLS
FUTURE EV PARKING STALLS	@ 75% OF 20%	79 STALLS
(TO BE A PART OF STANDARD PARKING STALLS ABOVE UNTIL CONVERTED)		

PROJECT TEAM

<u>OWNER/APPLICANT/DEVELOPER:</u>		<u>CIVIL ENGINEER:</u>	
CORDOVA BUSINESS CENTER LLC 1019 AVENUE P, STE 501 BROOKLYN, NY 11223	ADIR COHEN (718) 749-4920 acohen@renrealty.com	RED BRICK CONSULTING ENGINEERS & ARCHITECTS LLC 2892 S. KOLLMAN LANE, SARATOGA SPRINGS, UT 84045	DAVID LARSON (801) 331-8900 david@rbcea.com
<u>LAND ENTITLEMENTS:</u>		<u>LANDSCAPE ARCHITECT:</u>	
ENTITLEMENT STRATEGIES GROUP, INC. 24005 VENTURA BLVD. CALABASAS, CA 91302	TOBY WAXMAN (818) 425-5099 tw@entitlementstrategiesgroup.com	HARLEY ELLIS DEVEREAUX 350 CAMINO DE LA REINA, STE 510 SAN DIEGO, CA 92108	JOEL ADAMS (619) 398-3813 jadams@hed.design
MAILING ADDRESS: 829 WEST PALMDALE BLVD, SUITE 38 PALMDALE, CA 93551		<u>STRUCTURAL ENGINEER:</u>	
<u>ARCHITECT:</u>		COFFMAN ENGINEERS 1401 DOVE ST., STE 240 NEWPORT BEACH, CA 92660	
HARLEY ELLIS DEVEREAUX 350 CAMINO DE LA REINA, STE 510 SAN DIEGO, CA 92108		CHRISTOPHER HAIGHT (949) 517-0651 christopher.haight@coffman.com	
PIC: KEVIN PERRY (858) 519-3988 kperry@hed.design		<u>MECHANICAL ENGINEER:</u>	
PM: DANIEL SCHNIZLER (619) 398-3852 dschnizler@hed.design		HARLEY ELLIS DEVEREAUX 350 CAMINO DE LA REINA, STE 510 SAN DIEGO, CA 92108	
		<u>ELECTRICAL ENGINEER:</u>	
		HARLEY ELLIS DEVEREAUX 350 CAMINO DE LA REINA, STE 510 SAN DIEGO, CA 92108	
		<u>PLUMBING ENGINEER:</u>	
		HARLEY ELLIS DEVEREAUX 350 CAMINO DE LA REINA, STE 510 SAN DIEGO, CA 92108	
		NATE SUDNICK (619) 398-3834 nsudnick@hed.design	
		NICKI SPARKS (619) 398-3801 nsparks@hed.design	

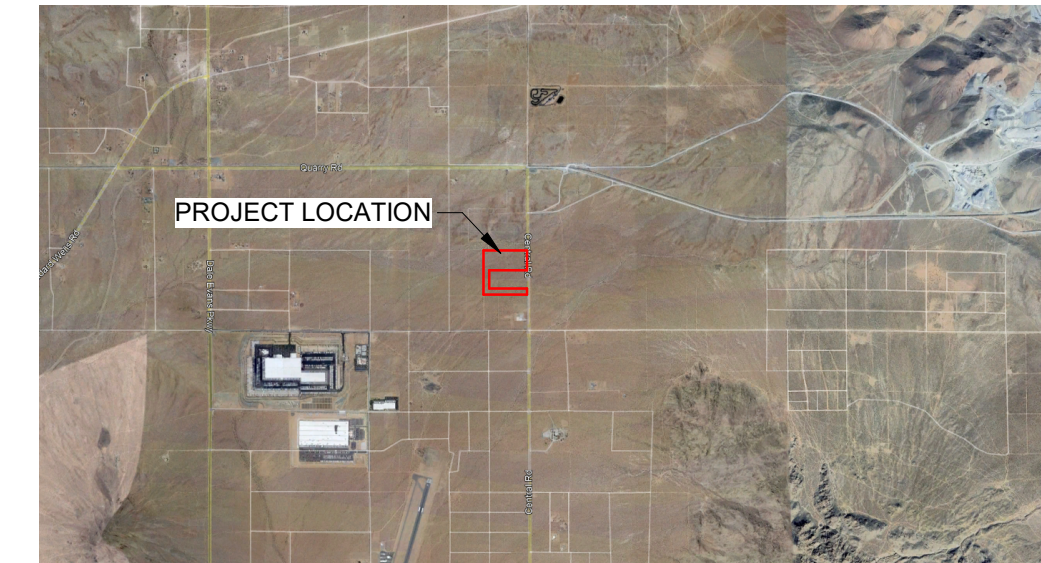
BUILDING CODE ANALYSIS

(ALL CODE ANALYSIS BELOW IS AS REGULATED BY THE CALIFORNIA BUILDING CODE)			
JURISDICTION:		TOWN OF APPLE VALLEY	
APPLICABLE CODES:			
BUILDING:	2022 CALIFORNIA BUILDING CODE		
STRUCTURAL:	2022 CALIFORNIA BUILDING CODE		
MECHANICAL:	2022 CALIFORNIA MECHANICAL CODE		
ELECTRICAL:	2022 CALIFORNIA ELECTRICAL CODE		
PLUMBING:	2022 CALIFORNIA PLUMBING CODE		
FIRE / LIFE SAFETY:	2022 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS)		
ENERGY:	2022 CALIFORNIA ENERGY CODE		
ACCESSIBILITY:	2022 CALIFORNIA BUILDING CODE, CHAPTER 11B ACCESSIBILITY STANDARDS		
CHAPTER 3: OCCUPANCY CLASSIFICATION AND USE			
OCCUPANCY GROUP(S)			
NON-SEPARATED OCCUPANCIES:			
B	BUSINESS	SEC. 304	
S-1	MODERATE HAZARD STORAGE	SEC. 311	
NO REQUIRED RATING SEPARATION		TABLE 508.4	
CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS			
ALLOWABLE BUILDING HEIGHT (PER CALIFORNIA BUILDING CODE)			
MAIN OCCUPANCY	S-1		
SPRINKLERED	YES		
HEIGHT IN FEET	MAXIMUM	PROVIDED	
	75'-0"	55'-9"	TABLE 504.3
HEIGHT IN STORIES	4	1	TABLE 504.4
ALLOWABLE FLOOR AREA			
WITH AUTOMATIC SPRINKLERS AND OPEN YARDS GREATER THAN 60 FEET ON ALL SIDES, ALLOWABLE AREA IS UNLIMITED .			
CHAPTER 6: TYPES OF CONSTRUCTION			
CONSTRUCTION TYPE	III-B		SEC. 602
FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS			
STRUCTURAL FRAME: 0 HR.			TABLE 601
BEARING WALLS			
EXTERIOR:	2 HR.		
INTERIOR:	0 HR.		
NON-BEARING WALLS			
EXTERIOR:	0 HR.		
INTERIOR:	0 HR.		
FLOOR:	0 HR.		
ROOF:	0 HR.		
SHAFT:	1 HR.		SEC. 713.4
CHAPTER 7: FIRE AND SMOKE PREVENTION FEATURES			
EXTERIOR WALL OPENINGS	UNPROTECTED, SPRINKLERED		TABLE 705.8
NORTH:	>20 FEET		
EAST:	>20 FEET		
SOUTH:	>20 FEET		
WEST:	>20 FEET		
UNLIMITED UNPROTECTED OPENINGS ARE PERMITTED			
CHAPTER 9: FIRE PROTECTION AND LIFE SAFETY SYSTEMS			
SPRINKLER SYSTEM	ESFR		SEC. 903.2.9
AUTOMATIC SPRINKLER SYSTEM PROVIDED SHALL BE INSTALLED THROUGHOUT IN ACCORDANCE WITH NFPA 13.			SEC. 903.3.1.1
AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED WITH MONITORING AND ALARMS.			SEC. 903.4
SMOKE AND HEAT VENTS ARE NOT REQUIRED WHERE ESFR SPRINKLER SYSTEM IS PROVIDED.			SEC. 910.2

PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS A NEW PROPOSED 1 STORY GROUND-UP COLD DARK SHELL BUILDING TOTALING 504,508 SF. THIS PROJECT INCLUDES WAREHOUSE WITH ROLL UP DOORS, ASSOCIATED SITE WORK WITH TRASH ENCLOSURES, PARKING AND STRIPING, SITE LIGHTING, LANDSCAPING, AND NEW MECHANICAL, ELECTRICAL, PLUMBING. SIGNAGE IS NOT A PART OF THIS PERMIT.

VICINITY MAP



Client:
CORDOVA
BUSINESS
CENTER LLC

1019 Avenue P
Suite 501
Brooklyn, NY 11223

Project:
CORDOVA
BUSINESS
CENTER

PROJECT #: SPR 2023-006

22411 Cordova Road
Apple Valley, CA 92307

Date Issued For
09.21.2023 SPR Package
03.07.2024 SPR Resubmittal Package
05.03.2024 SPR Resubmittal #2 Package
08.23.2024 SPR Resubmittal #3 Package

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Suite 510
San Diego, California
92108 USA
(858) 398-3800
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PROJECT DATA
& SHEET INDEX

G001



NORTHWEST CORNER LOOKING SOUTHEAST @ FRONT



NORTH CENTRAL LOOKING SOUTHEAST @ FRONT



SOUTHEAST CORNER LOOKING NORTHWEST @ REAR



NORTHEAST CORNER LOOKING SOUTHWEST @ FRONT

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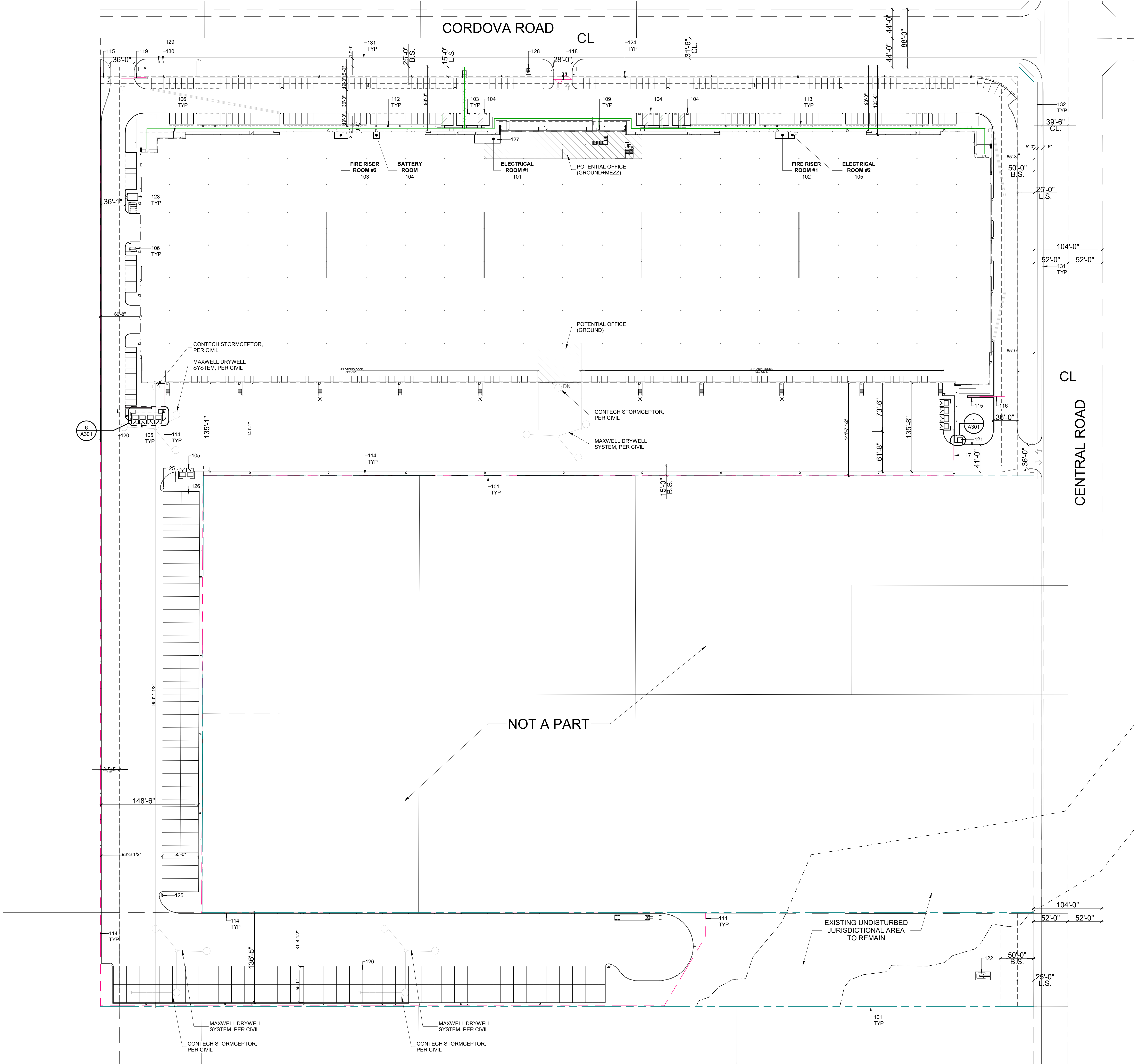
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PERSPECTIVE
VIEWS

G002



KEYNOTES

- 101 LINE DENOTES PROPERTY LINE. SEE CIVIL DRAWINGS.
- 103 STANDARD ACCESSIBLE PARKING STALL WITH SIGNAGE, MAXIMUM SLOPE OF PARKING SURFACE AT ACCESSIBLE SPACE AND ADJACENT ACCESS AISLE, IN ANY DIRECTION, TO BE LESS THAN OR EQUAL TO 1:48.
- 104 VAN ACCESSIBLE PARKING STALL WITH SIGNAGE, MAXIMUM SLOPE OF PARKING SURFACE AT ACCESSIBLE SPACE AND ADJACENT ACCESS AISLE, IN ANY DIRECTION, TO BE LESS THAN OR EQUAL TO 1:48.
- 105 TRASH AND RECYCLE BIN ENCLOSURE.
- 106 BIKE RACK.
- 109 FULLY ACCESSIBLE BUILDING ENTRANCE.
- 112 DUAL-PORT PEDESTAL MOUNT ELECTRIC VEHICLE CHARGING STATION WITH SIGNAGE AT EACH STALL.
- 113 CONDUIT FOR FUTURE ELECTRIC VEHICLE CHARGING STATION.
- 114 7'-6" WROUGHT IRON FENCING FOR SECURITY.
- 115 4'-0" WROUGHT IRON FENCING.
- 116 4'-0" VEHICLE ONLY ENTRANCE GATE WITH KEY FOB (NO EXIT).
- 117 7'-6" TRUCK ONLY ENTRANCE GATE (NO EXIT).
- 118 4'-0" VEHICLE ONLY ENTRANCE AND EXIT GATE WITH KEY FOB.
- 119 4'-0" VEHICLE AND TRUCK EXIT GATE (NO ENTRY, EXIT ONLY).
- 120 7'-6" TRUCK ONLY EXIT GATE (NO ENTRY).
- 121 GUARD SHACK.
- 122 BUSINESS PARK MONUMENT SIGNAGE STRUCTURE.
- 123 FIRE PUMP HOUSE.
- 124 POLE LIGHT WITH SINGLE HEAD AT 22' A.F.F.
- 125 POLE LIGHT WITH DUAL HEAD AT 22' A.F.F.
- 126 TANDEM STALLS.
- 127 ELECTRICAL METERS TO BE LOCATED WITHIN ELECTRICAL ROOM.
- 128 TRANSFORMER.
- 129 WATER METER LOCATION.
- 130 IRRIGATION METER LOCATION.
- 131 FACE OF CURB.
- 132 SIDEWALK, SEE CIVIL DRAWINGS.

PROJECT INFORMATION

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F.A.R. (GROSS)	.40

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FRONT OR STREET SIDE:		
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ON ANY OTHER ROAD	25 FT	98'-0"
INTERIOR SIDE YARD:	0 FT	80'-8"
REAR:	15 FT	80'-1 1/2"

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PARKING REQUIRED	
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1/500 FOR FIRST 10,000 GSF	20 STALLS
1/1000 BEYOND FIRST 10,000 GSF	495 STALLS
ACCESSIBLE PARKING STALLS	@ 2% 11 STALLS
ELECTRIC VEHICLE PARKING STALLS	@ 20% 103 STALLS
INSTALLED EV PARKING STALLS	@ 25% OF 20% 26 STALLS
FUTURE EV PARKING STALLS	@ 75% OF 20% 77 STALLS
CLEAN AIR / VANPOOL / CARPOOL STALLS	@ 8% 41 STALLS

TOTAL BICYCLE PARKING REQUIRED	
SHORT-TERM BICYCLE PARKING	@ 5% 26 SPOTS
LONG-TERM BICYCLE PARKING	@ 5% 26 SPOTS

PARKING PROVIDED	
TOTAL VEHICLE PARKING PROVIDED	528 STALLS
STANDARD PARKING STALLS	151 STALLS
COMPACT PARKING STALLS	25 STALLS
ACCESSIBLE PARKING STALLS	11 STALLS
STANDARD	9 STALLS
VAN	2 STALLS
INSTALLED EV PARKING STALLS	@ 25% OF 20% 27 STALLS
CLEAN AIR / VANPOOL / CARPOOL STALLS	@ 8% 42 STALLS
TANDEM PARKING STALLS	136 STALLS

TOTAL BICYCLE PARKING PROVIDED	
SHORT-TERM BICYCLE PARKING	@ 5% 27 SPOTS
LONG-TERM BICYCLE PARKING	@ 5% 27 SPOTS

TOTAL TRAILER PARKING PROVIDED	
FUTURE EV PARKING STALLS	@ 75% OF 20% 79 STALLS
(TO BE A PART OF STANDARD PARKING STALLS ABOVE UNTIL CONVERTED)	

SITE LEGEND

- PROPERTY LINE
- PATH OF TRAVEL / ACCESSIBLE ROUTE
- WROUGHT IRON FENCE / GATE

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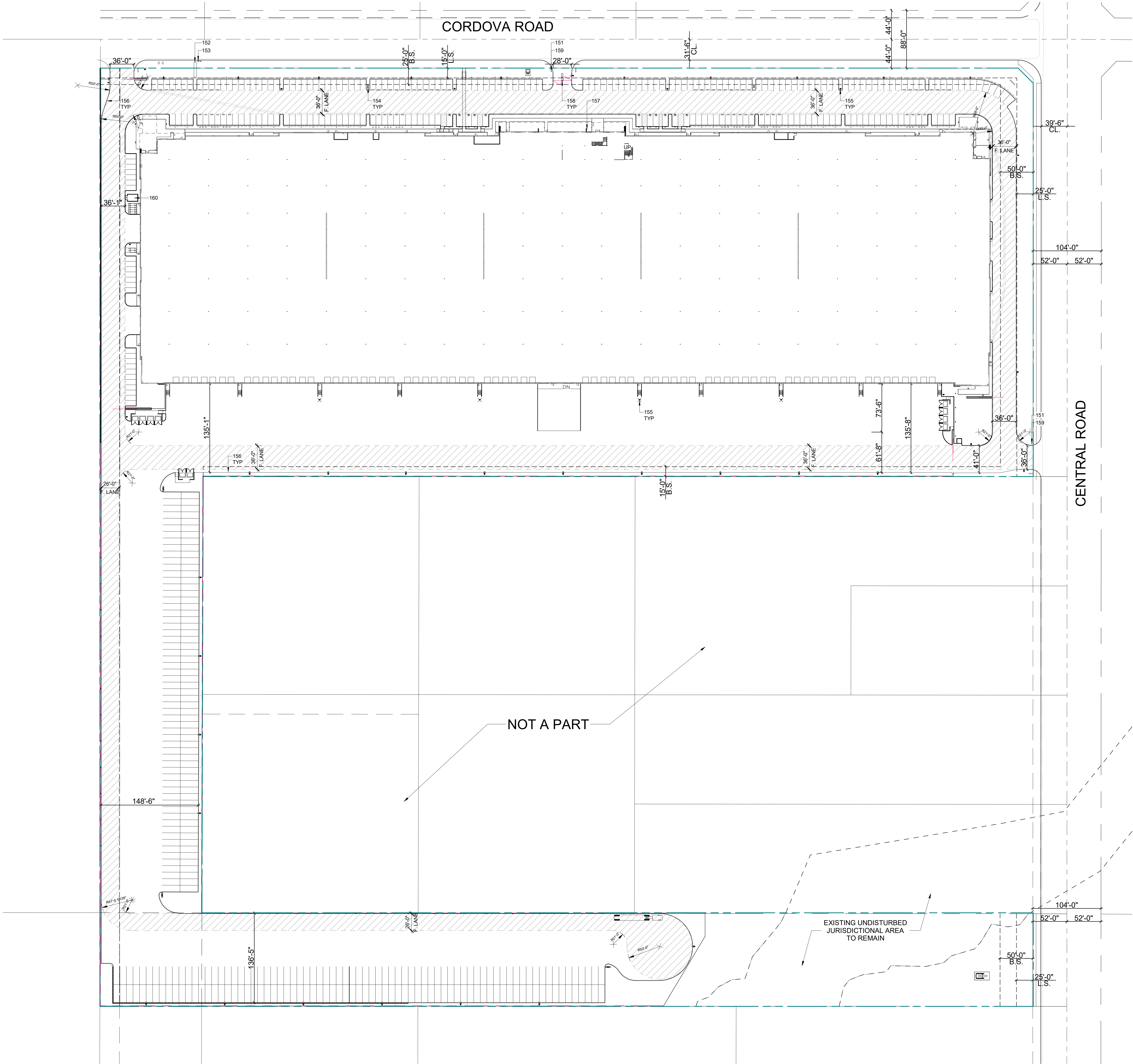
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SITE PLAN

A100-S



KEYNOTES

- 151 FIRE LANE ENTRY SIGNAGE. (FINAL LOCATION PER FIRE AUTHORITY)
- 152 BACKFLOW PREVENTOR.
- 153 FIRE DEPARTMENT CONNECTION (F.D.C.) LOCATION. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
- 154 POST INDICATOR VALVE (P.I.V.) LOCATION. SEE CIVIL PLANS FOR ADDITIONAL INFORMATION.
- 155 FIRE HYDRANT LOCATION. BOLLARD PROTECTION AT ALL SIDES IN TRUCK COURT.
- 156 FIRE LANE CURB PAINTED RED, WITH WHITE PAINTED WORDS "FIRE LANE". FINAL LOCATION PER FIRE AUTHORITY)
- 157 BUILDING ENTRY KNOX BOX LOCATION.
- 158 SECURITY GATE KNOX BOX LOCATION. ONE KNOX BOX TO BE LOCATED AT EACH SECURITY GATE.
- 159 UNAUTHORIZED VEHICLE SIGNAGE WITH THE WORDS "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE".
- 160 FIRE PUMP HOUSE.

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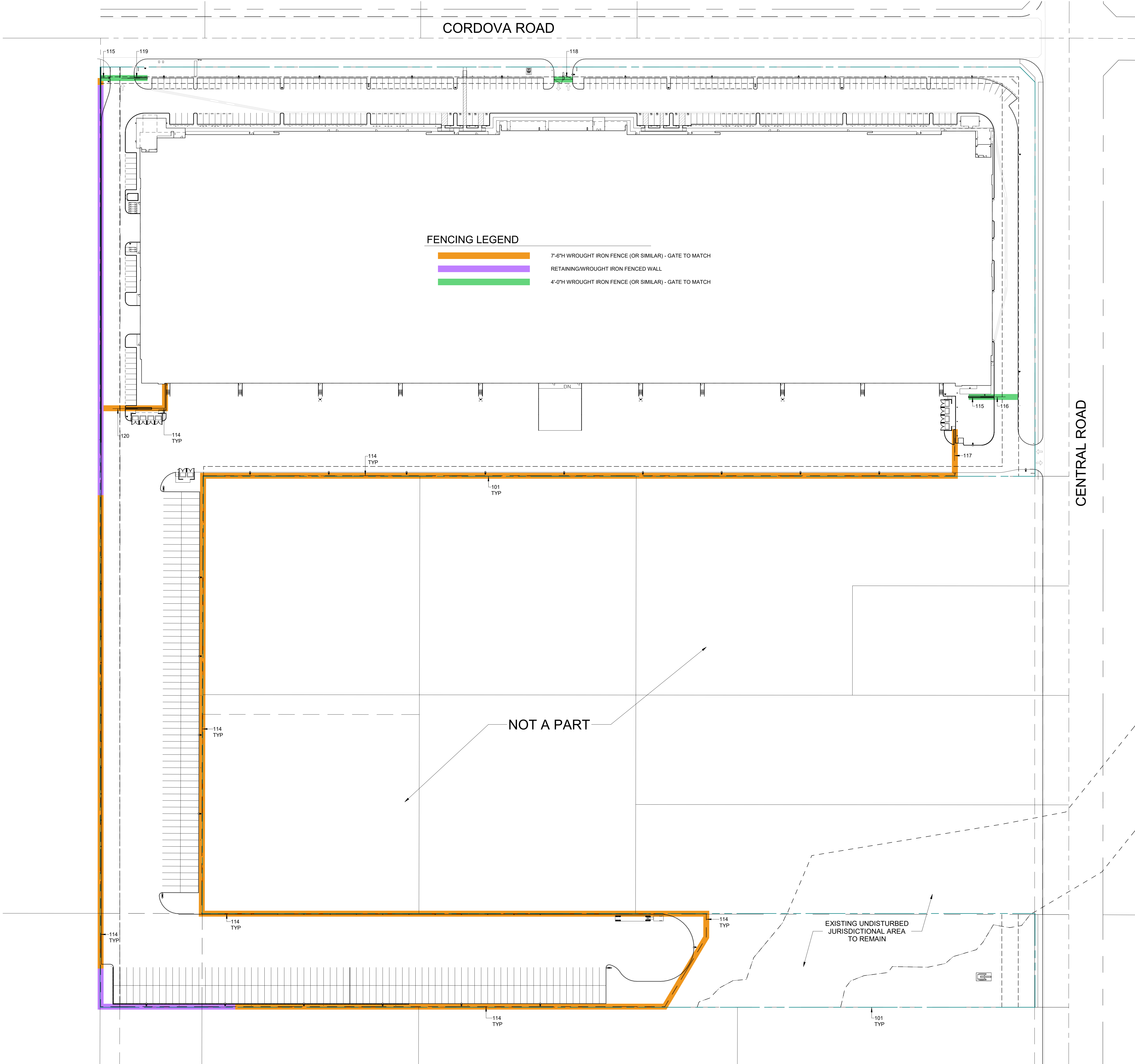
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FIRE SITE PLAN

A100-F



FENCING LEGEND

- 7'-6"H WROUGHT IRON FENCE (OR SIMILAR) - GATE TO MATCH
- RETAINING/WROUGHT IRON FENCED WALL
- 4'-0"H WROUGHT IRON FENCE (OR SIMILAR) - GATE TO MATCH

KEYNOTES

- 101 LINE DENOTES PROPERTY LINE. SEE CIVIL DRAWINGS.
- 114 7'-6"H WROUGHT IRON FENCING FOR SECURITY.
- 115 4'-0"H WROUGHT IRON FENCING.
- 116 4'-0"H VEHICLE ONLY ENTRANCE GATE WITH KEY FOB (NO EXIT).
- 117 7'-6"H TRUCK ONLY ENTRANCE GATE (NO EXIT).
- 118 4'-0"H VEHICLE ONLY ENTRANCE AND EXIT GATE WITH KEY FOB.
- 119 4'-0"H VEHICLE AND TRUCK EXIT GATE (NO ENTRY, EXIT ONLY).
- 120 7'-6"H TRUCK ONLY EXIT GATE (NO ENTRY).

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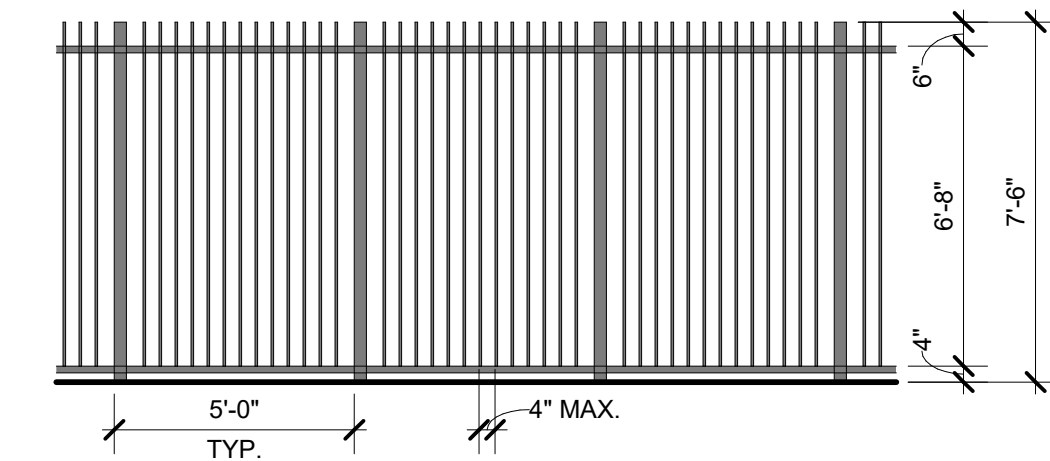
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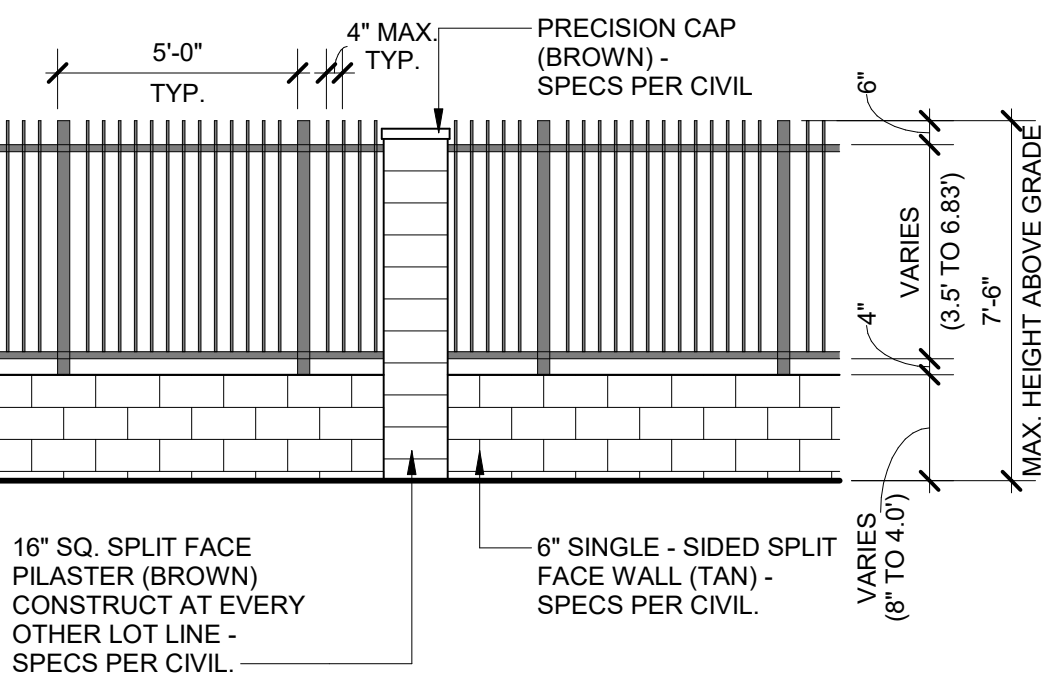
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Date Issued For
08.23.2024 SPR Resubmittal #3 Package

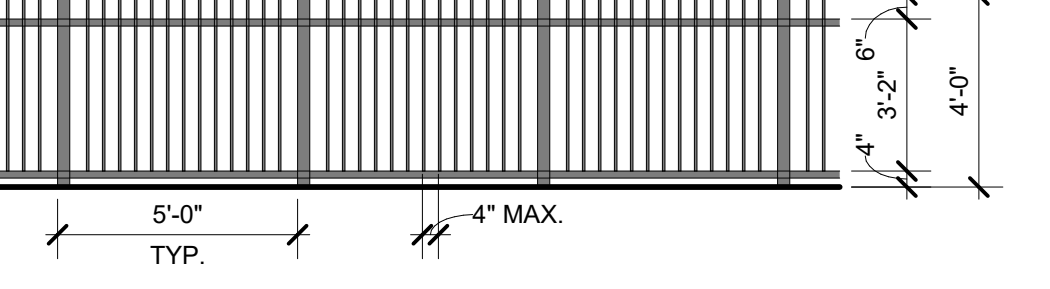
7'-6"H WROUGHT IRON FENCE (OR
SIMILAR) - GATE TO MATCH



RETAINING/WROUGHT IRON FENCED
WALL



4'-0"H WROUGHT IRON FENCE (OR
SIMILAR) - GATE TO MATCH



SITE LEGEND

- PROPERTY LINE

N
FENCING SITE PLAN
1" = 60'-0"

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FENCING SITE
PLAN

A100-G

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1. SEE DRAWING E-001 FOR GENERAL NOTES.
2. SEE DRAWING E-002 FOR ELECTRICAL SYMBOL LEGEND AND TYPICAL MOUNTING HEIGHT INFORMATION.
3. SEE DRAWING E-611 FOR LIGHTING FIXTURE SCHEDULE AND MOUNTING HEIGHT INFORMATION.
4. COORDINATE SITE LIGHT POLE LOCATIONS WITH ARCHITECTURAL AND CIVIL/LANDSCAPE DRAWINGS.
5. COORDINATE WITH CONDUIT ROUTING AND POLE INSTALLATIONS WITH EXISTING CONDITIONS AND OTHER UNDERGROUND UTILITIES PRIOR TO START OF WORK OR DIGGING.

SHEET KEYED NOTES	
NUMBER	DESCRIPTION
H1	FURNISH AND INSTALL 2#8 AWG CU, 1#10GRD IN 1-1/2" CONDUITS FROM LIGHTING POLE TO LIGHTING POLE. CONDUIT CIRCUIT SHOWN. CONDUIT TO BE DIRECT BURIED, COORDINATE ROUTING WITH OTHER UTILITIES AND DUCTBANKS IN ROADWAY.
H2	FURNISH AND INSTALL 2#10 AWG CU, 1#12GRD IN 1" CONDUITS FROM WALL PACK LIGHT FIXTURE TO WALL PACK LIGHT FIXTURE. CONNECT ON CIRCUIT SHOWN.

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LIGHTING SITE PLAN

A100-L

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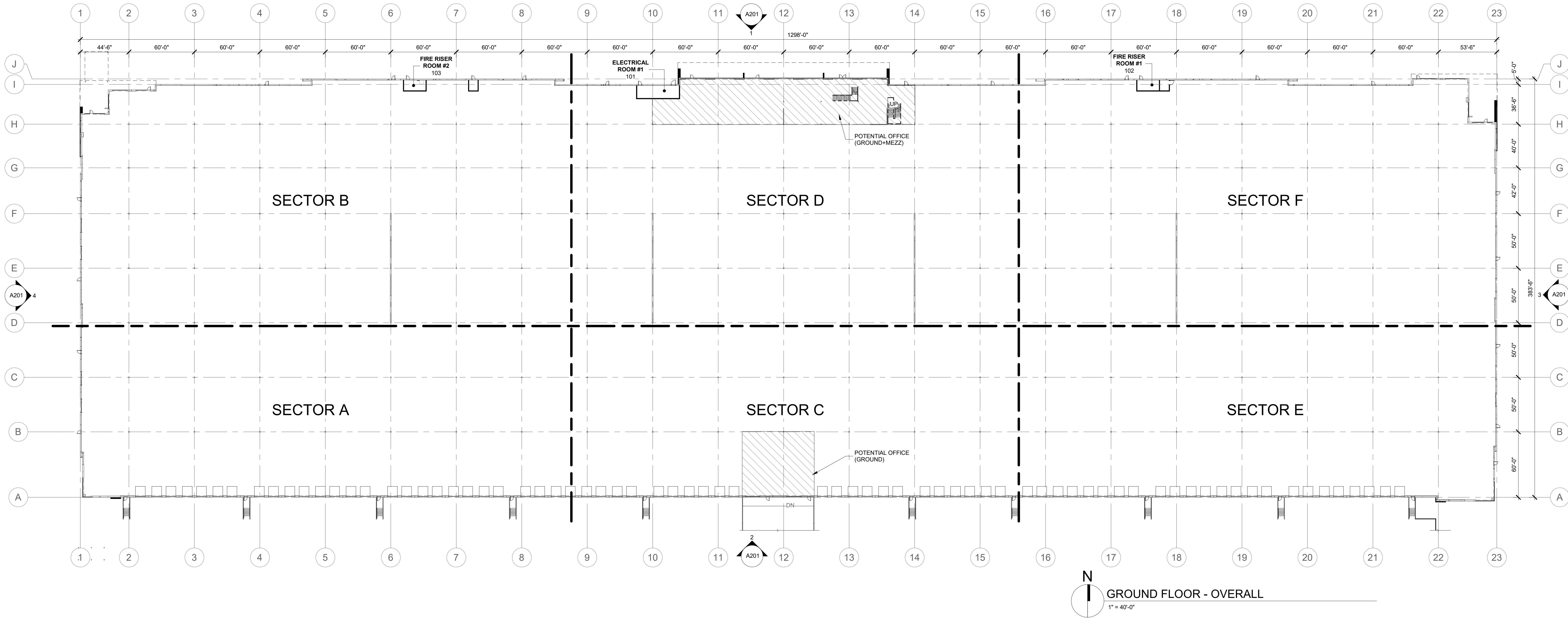
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PROJECT #: SPR 2023-006

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05.03.2024	SPR Resubmittal #2 Package
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WALL LEGEND

	1 HOUR BARRIER (45 MIN / 60 MIN)
	2 HOUR BARRIER (90 MIN)
	METAL STUD PARTITION
	CONCRETE TILT-UP PANEL

WALL RATINGS SHOWN FOLLOWED BY OPENING PROTECTION REQUIREMENTS IN PARENTHESES

*90-MINUTE OPENING PROTECTIVES REQUIRED FOR DOORS SERVING 1-HOUR EXIT ENCLOSURES AND 1-HOUR SHAFTS

**45-MINUTE OPENING PROTECTIVES REQUIRED FOR DOORS ENCLOSING FIRE SERVICE ACCESS ELEVATOR LOBBIES

KEY PLAN

B	D	F
A	C	E

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GROUND
FLOOR PLAN -
OVERALL

A101

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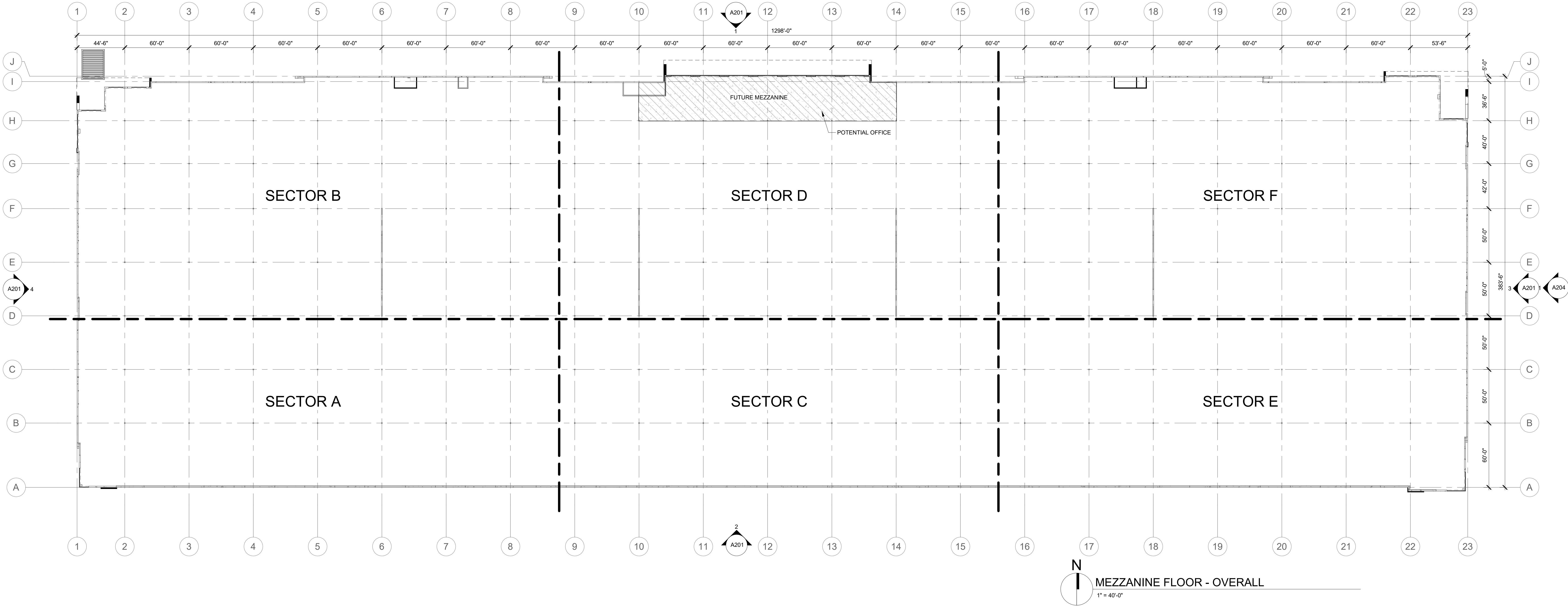
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WALL LEGEND

- CONCRETE TILT-UP PANEL
- METAL STUD W/ ACM PANEL
- 1 HOUR BARRIER (45 MIN / 60 MIN*)
- 2 HOUR BARRIER (90 MIN)
- METAL STUD PARTITION

WALL RATINGS SHOWN FOLLOWED BY OPENING PROTECTION REQUIREMENTS IN PARENTHESIS
*60-MINUTE OPENING PROTECTIVES REQUIRED FOR DOORS SERVING 1-HOUR EXIT ENCLOSURES AND 1-HOUR SHAFTS
**45 MINUTE OPENING PROTECTIVES REQUIRED FOR DOORS ENCLOSING FIRE SERVICE ACCESS ELEVATOR LOBBIES

KEY PLAN

B	D	F
A	C	E

NOT FOR CONSTRUCTION

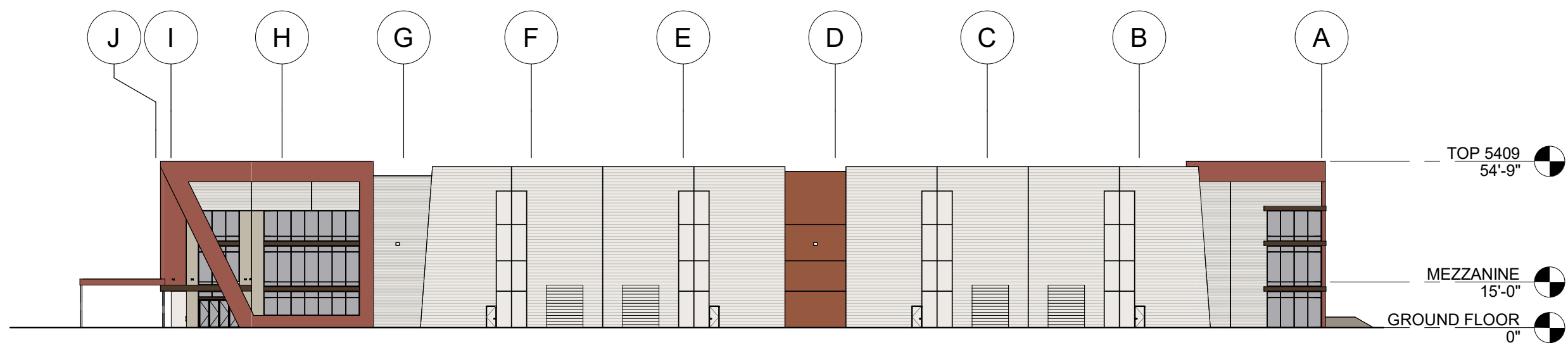
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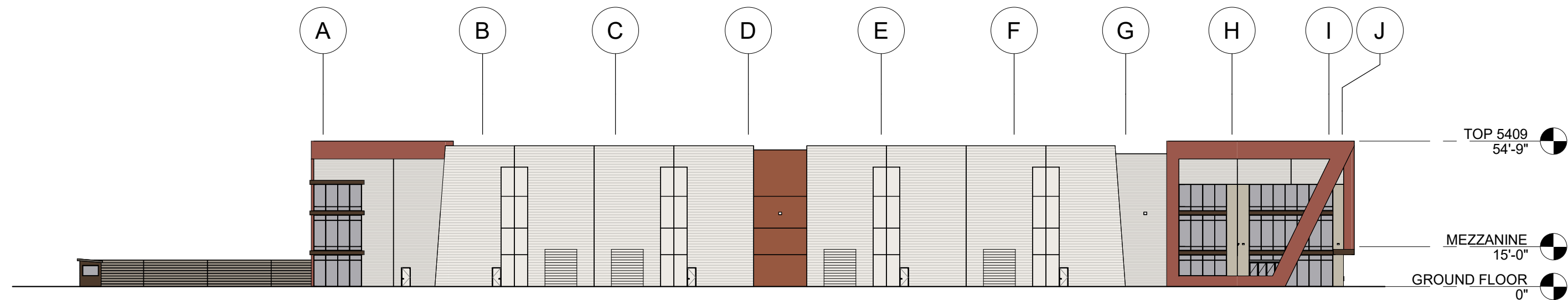
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MEZZANINE
FLOOR PLAN -
OVERALL

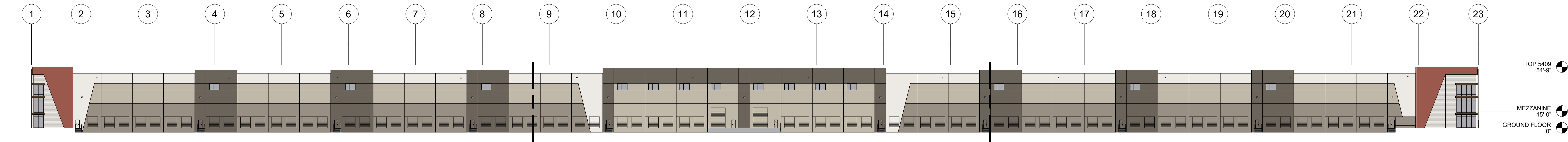
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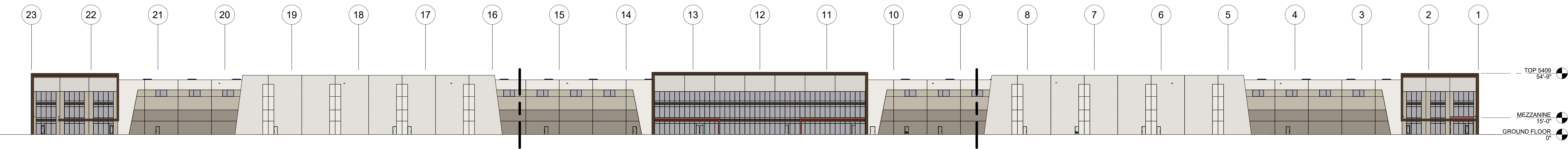
4 WEST ELEVATION - OVERALL
1" = 40'-0"



3 EAST ELEVATION - OVERALL
1" = 40'-0"



2 SOUTH ELEVATION - OVERALL
1" = 40'-0"



1 NORTH ELEVATION - OVERALL
1" = 40'-0"

COLOR LEGEND

PT-1 - SW 7004 "SNOWBOUND"



PT-2 - SW 7638 "JOGGING PATH"



PT-3 - SW 9168 "ELEPHANT EAR"



PT-4 - SW 7047 "PORPOISE"



PT-5 - CUSTOM PAINT TO MATCH
MATTE TRM RED

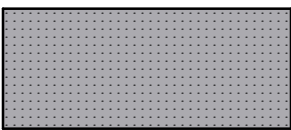


MATERIAL LEGEND

GLAZING - VISION



GLAZING - TEMPERED



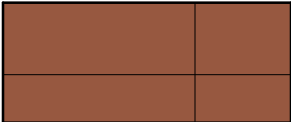
GLAZING SPECIFICATION:
COOL LIGHT-BRONZE (OR EQUAL)

MULLION - ALUMINUM



MULLION SPECIFICATION:
FINISH COLOR: ANODIZED ALUM. - MEDIUM BRONZE (OR EQUAL)

ALUMINUM COMPOSITE METAL



ACM SPECIFICATION:
MATTE - TERRA COTTA (TRM RED)

ALUMINUM COMPOSITE METAL



ACM SPECIFICATION:
MATTE - BRONZE (OR EQUAL)

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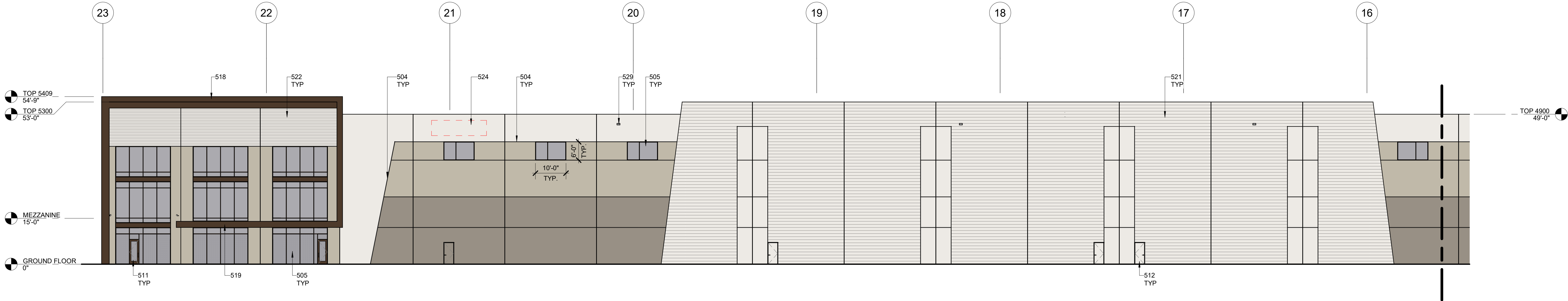
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EXTERIOR
ELEVATIONS -
OVERALL

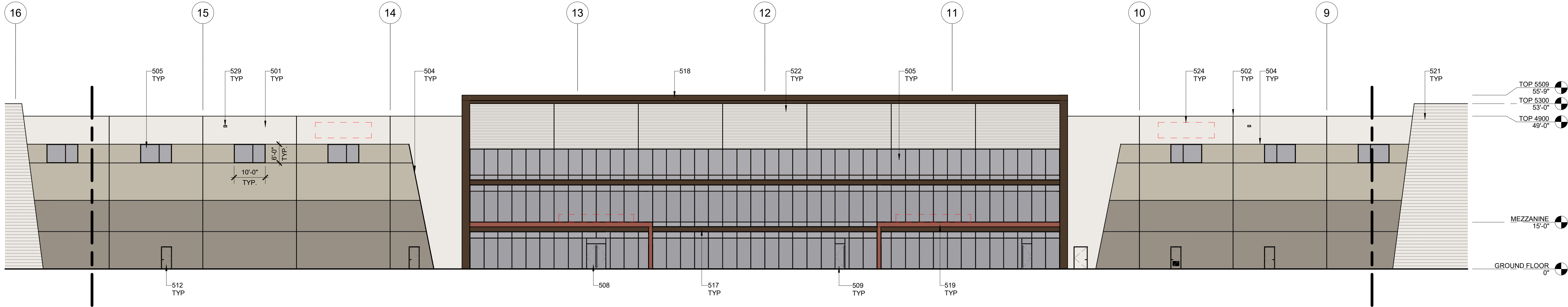
A201

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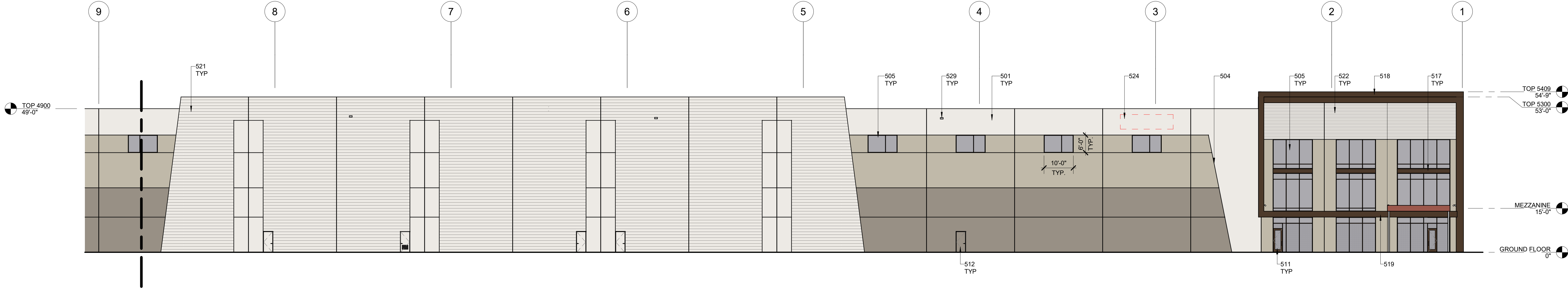
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3 NORTH ELEVATION - SECTOR F
1/16" = 1'-0"



2 NORTH ELEVATION - SECTOR D
1/16" = 1'-0"



1 NORTH ELEVATION - SECTOR B
1/16" = 1'-0"

KEYNOTES

501	CONCRETE TILT-UP PANEL, PAINTED.
502	CONCRETE TILT-UP PANEL JOINT.
504	3/4" V-REVEAL.
505	ALUMINUM STOREFRONT SYSTEM WITH 1" THICK INSULATED GLASS.
508	6'X8" HERCULITE DOOR.
509	3'X8" HERCULITE DOOR.
511	3'X8" ALUMINUM STOREFRONT DOOR.
512	3'X7" HOLLOW METAL DOOR, PAINTED.
517	WRAPPED BREAK METAL, PAINTED. PAINT TO MATCH ADJACENT MULLIONS.
518	ALUMINUM COMPOSITE METAL BUILD-OUT WITH INTEGRATED WALL ASSEMBLY, CANOPY, AND SHADE SYSTEM. SEE PERSPECTIVE VIEWS ON SHEET G002 FOR ADDITIONAL INFORMATION.
519	ALUMINUM COMPOSITE METAL CANOPY.
521	FORMLINER WITH ±1'-0" SPACING. SPECIFICATION T.B.D.
522	FORMLINER WITH ±0'-6" SPACING. SPECIFICATION T.B.D.
524	POTENTIAL FUTURE TENANT SIGNAGE LOCATION. SIGNAGE NOT A PART OF THIS PERMIT.
529	OVERFLOW SCUPPER.

COLOR LEGEND

PT-1 - SW 7004 "SNOWBOUND"	
PT-2 - SW 7638 "JOGGING PATH"	
PT-3 - SW 9168 "ELEPHANT EAR"	
PT-4 - SW 7047 "PORPOISE"	
PT-5 - CUSTOM PAINT TO MATCH MATTE TRM RED	

MATERIAL LEGEND

GLAZING - VISION	
GLAZING - TEMPERED	
<u>GLAZING SPECIFICATION:</u> COOL LIGHT-BRONZE (OR EQUAL)	
MULLION - ALUMINUM	
<u>MULLION SPECIFICATION:</u> FINISH COLOR: ANODIZED ALUM. - MEDIUM BRONZE (OR EQUAL)	
ALUMINUM COMPOSITE METAL	
<u>ACM SPECIFICATION:</u> MATTE - TERRA COTTA (TRM RED)	
ALUMINUM COMPOSITE METAL	
<u>ACM SPECIFICATION:</u> MATTE - BRONZE (OR EQUAL)	

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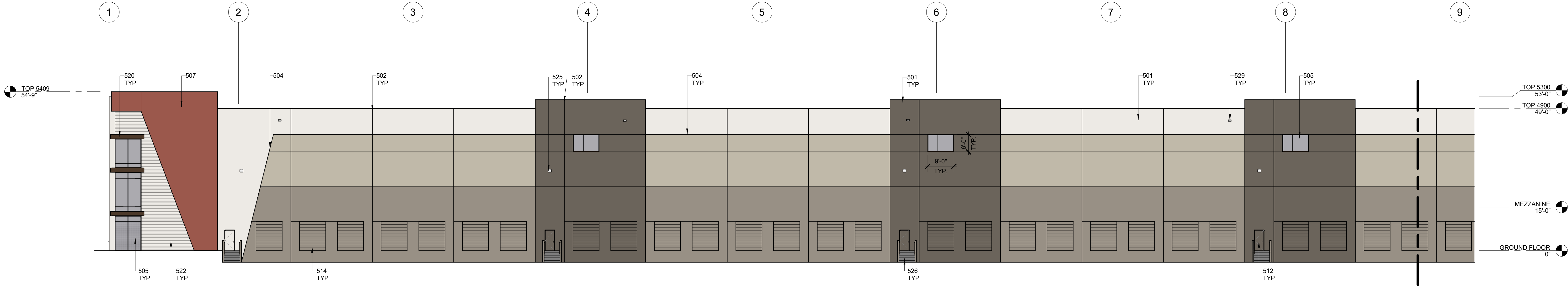
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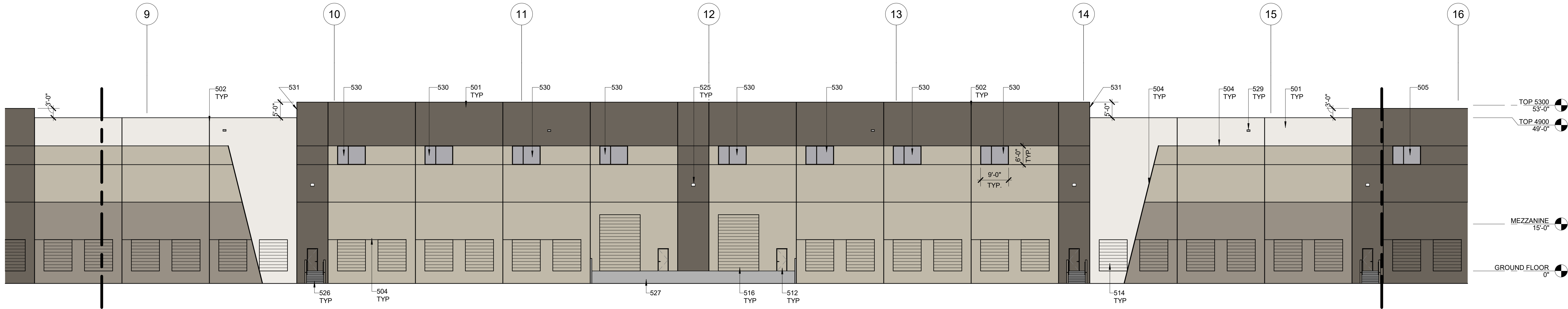
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EXTERIOR
ELEVATIONS -
NORTH

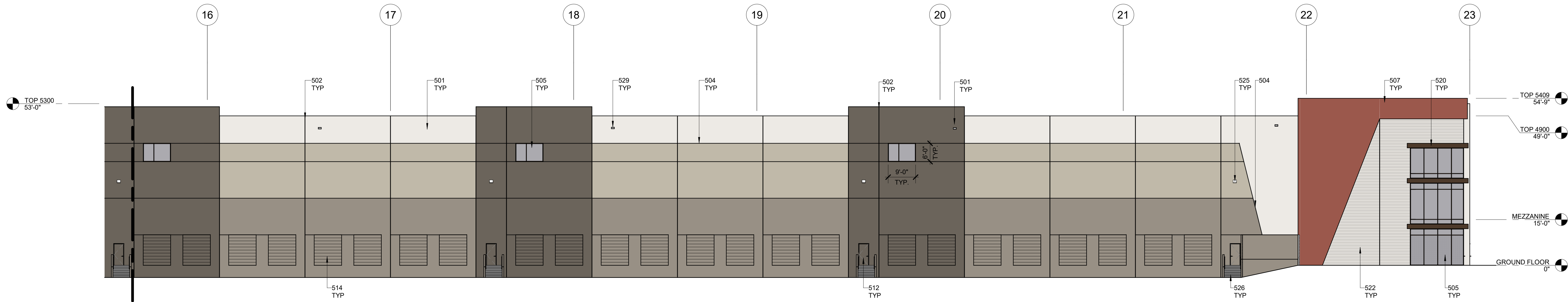
A202



3 SOUTH ELEVATION - SECTOR A
1/16" = 1'-0"



2 SOUTH ELEVATION - SECTOR C
1/16" = 1'-0"



1 SOUTH ELEVATION - SECTOR E
1/16" = 1'-0"

KEYNOTES

- 501 CONCRETE TILT-UP PANEL, PAINTED.
- 502 CONCRETE TILT-UP PANEL JOINT.
- 504 3/4" V-REVEAL.
- 505 ALUMINUM STOREFRONT SYSTEM WITH 1" THICK INSULATED GLASS.
- 507 ALUMINUM COMPOSITE METAL WALL ASSEMBLY.
- 512 3x7" HOLLOW METAL DOOR, PAINTED.
- 514 9x10' DOCK HIGH DOOR WITH FACTORY PAINTED FINISH.
- 516 13'X16' STEEL SECTIONAL DOOR, PAINTED.
- 520 ALUMINUM COMPOSITE METAL EYEBROW.
- 522 FORMLINER WITH 40'-6" SPACING. SPECIFICATION T.B.D.
- 525 WALL PACKS. HEIGHT TO BE AT 28'-0" A.F.F.
- 526 CONCRETE STAIRS WITH CONCRETE TILT-UP LOW WALLS AND PAINTED PIPE HANDRAIL.
- 527 CONCRETE GRADE LOADING RAMP WITH TILT-UP LOW WALLS.
- 529 OVERFLOW SCUPPER.
- 530 CLEARSTORY ALUMINUM STOREFRONT SYSTEM WITH 1" THICK INSULATED GLASS. +/-1'-0" RECESS FROM FACE OF PANEL.
- 531 3'-0" DEEP THICKENED PROFILE EDGE.

COLOR LEGEND

- PT-1 - SW 7004 "SNOWBOUND"
- PT-2 - SW 7638 "JOGGING PATH"
- PT-3 - SW 9168 "ELEPHANT EAR"
- PT-4 - SW 7047 "PORPOISE"
- PT-5 - CUSTOM PAINT TO MATCH MATTE TRM RED

MATERIAL LEGEND

- GLAZING - VISION
- GLAZING - TEMPERED
- GLAZING SPECIFICATION:
COOL LIGHT-BRONZE (OR EQUAL)
- MULLION - ALUMINUM
- MULLION SPECIFICATION:
FINISH COLOR: ANODIZED ALUM. - MEDIUM BRONZE (OR EQUAL)
- ALUMINUM COMPOSITE METAL
- ACM SPECIFICATION:
MATTE - TERRA COTTA (TRM RED)
- ALUMINUM COMPOSITE METAL
- ACM SPECIFICATION:
MATTE - BRONZE (OR EQUAL)

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EXTERIOR
ELEVATIONS -
SOUTH

A203

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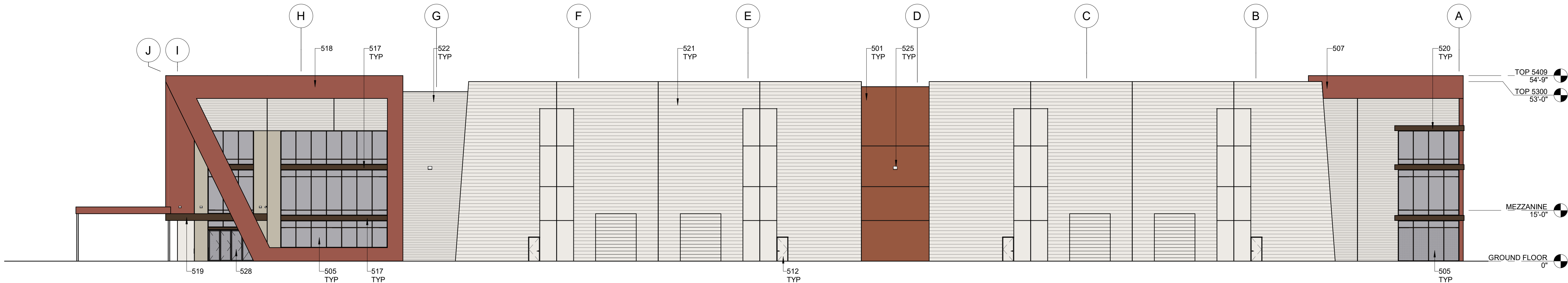
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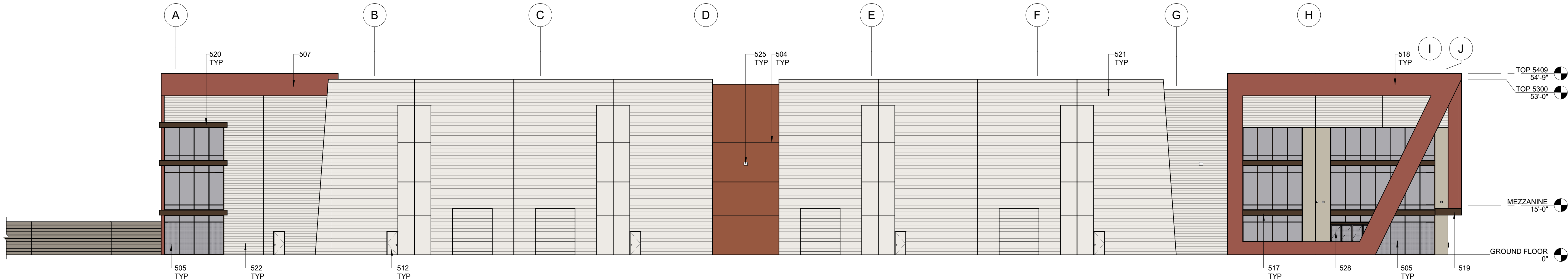
PROJECT #: SPR 2023-006

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2 WEST ELEVATION
1/16" = 1'-0"



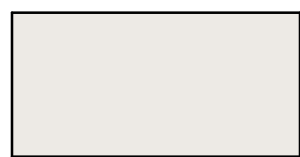
1 EAST ELEVATION
1/16" = 1'-0"

KEYNOTES

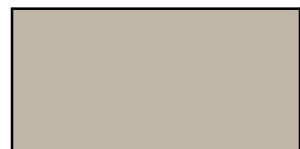
501	CONCRETE TILT-UP PANEL, PAINTED.
504	3/4" V-REVEAL.
505	ALUMINUM STOREFRONT SYSTEM WITH 1" THICK INSULATED GLASS.
507	ALUMINUM COMPOSITE METAL WALL ASSEMBLY.
512	3X7" HOLLOW METAL DOOR, PAINTED.
517	WRAPPED BREAK METAL, PAINTED. PAINT TO MATCH ADJACENT MULLIONS.
518	ALUMINUM COMPOSITE METAL BUILD-OUT WITH INTEGRATED WALL ASSEMBLY, CANOPY, AND SHADE SYSTEM. SEE PERSPECTIVE VIEWS ON SHEET G002 FOR ADDITIONAL INFORMATION.
519	ALUMINUM COMPOSITE METAL CANOPY.
520	ALUMINUM COMPOSITE METAL EYEBROW.
521	FORMLINER WITH ±1'-0" SPACING. SPECIFICATION T.B.D.
522	FORMLINER WITH ±0'-6" SPACING. SPECIFICATION T.B.D.
525	WALL PACKS. HEIGHT TO BE AT 28'-0" A.F.F.
528	FOLDING GLASS DOOR. GLAZING TO MATCH ADJACENT GLAZING. FRAMES AND MULLIONS TO MATCH ADJACENT MULLION SYSTEM.

COLOR LEGEND

PT-1 - SW 7004 "SNOWBOUND"



PT-2 - SW 7638 "JOGGING PATH"



PT-3 - SW 9168 "ELEPHANT EAR"



PT-4 - SW 7047 "PORPOISE"



PT-5 - CUSTOM PAINT TO MATCH MATTE TRM RED



MATERIAL LEGEND

GLAZING - VISION



GLAZING - TEMPERED



GLAZING SPECIFICATION:

COOL LIGHT-BRONZE (OR EQUAL)

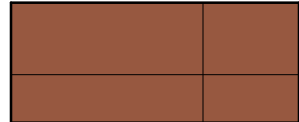
MULLION - ALUMINUM



MULLION SPECIFICATION:

FINISH COLOR: ANODIZED ALUM. - MEDIUM BRONZE (OR EQUAL)

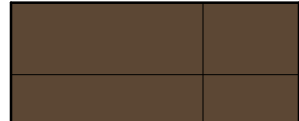
ALUMINUM COMPOSITE METAL



ACM SPECIFICATION:

MATTE - TERRA COTTA (TRM RED)

ALUMINUM COMPOSITE METAL



ACM SPECIFICATION:

MATTE - BRONZE (OR EQUAL)

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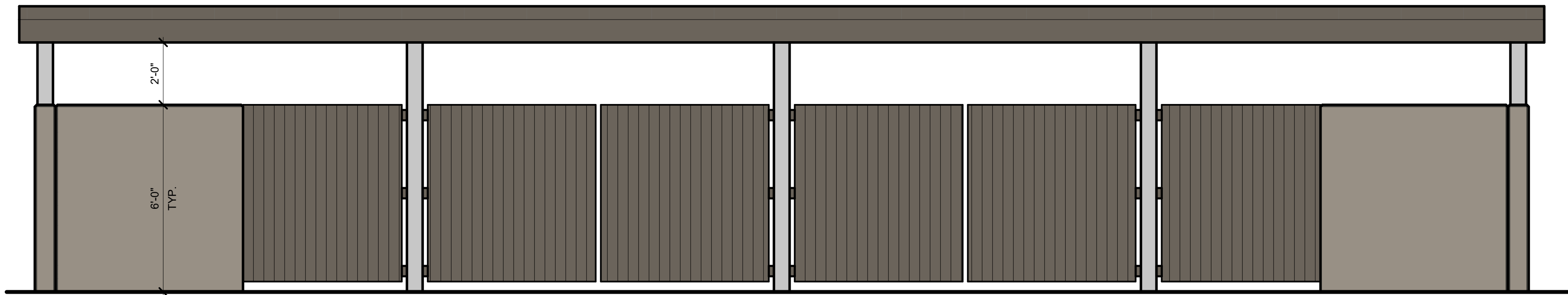
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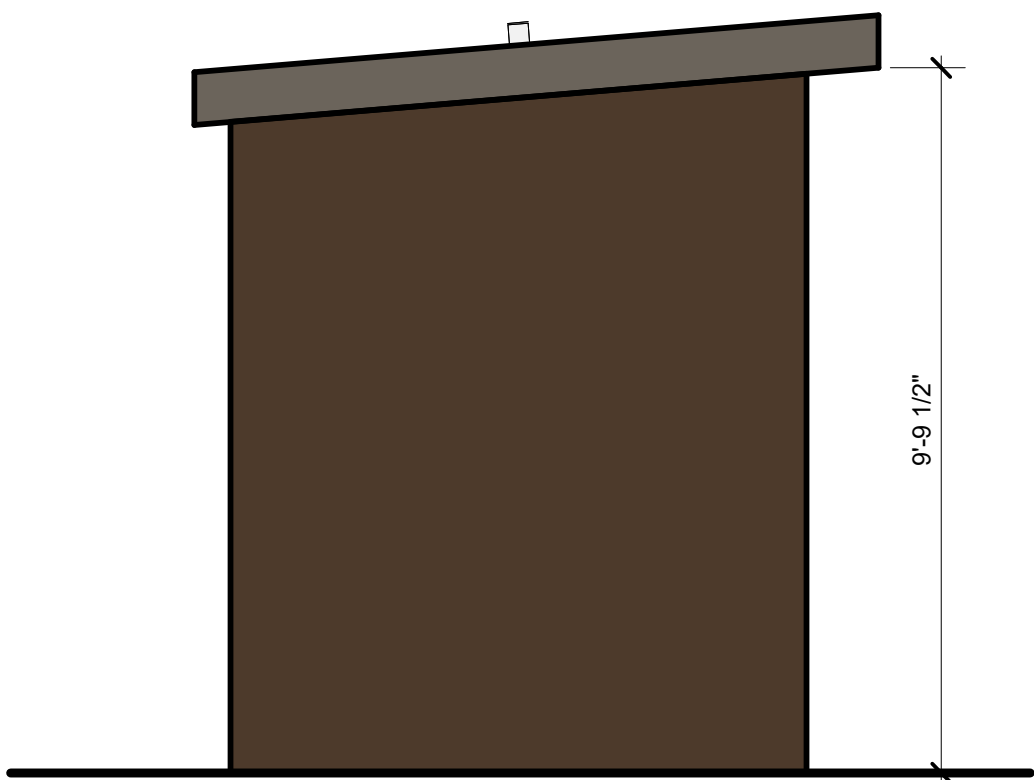
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EXTERIOR
ELEVATIONS -
EAST & WEST

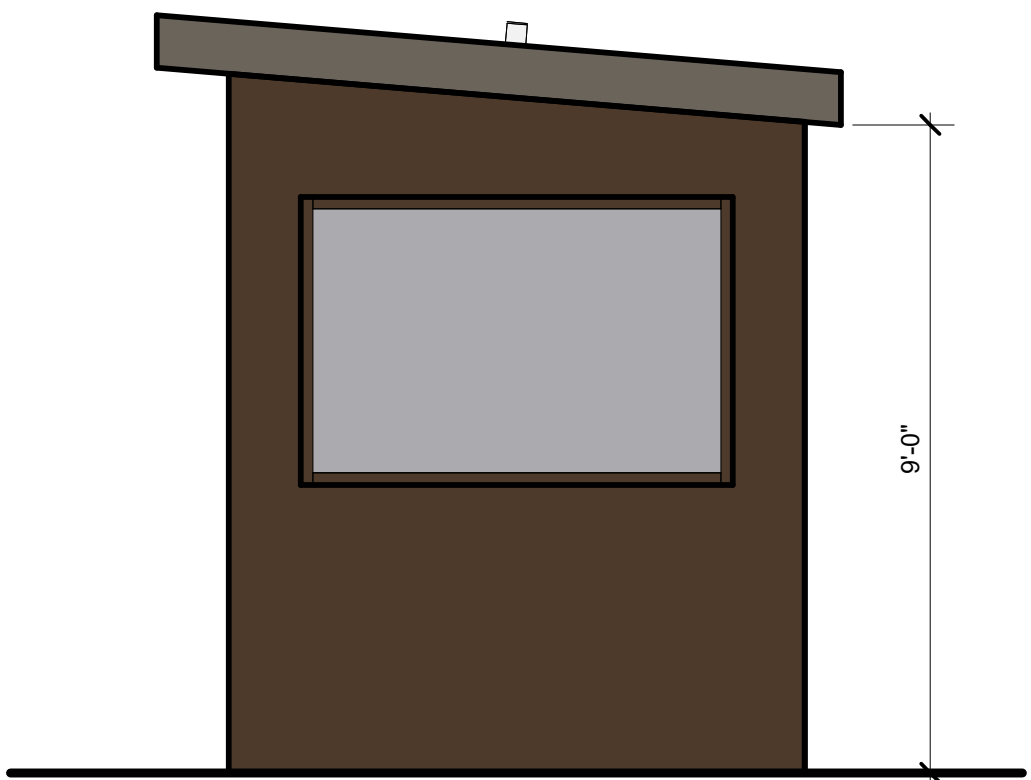
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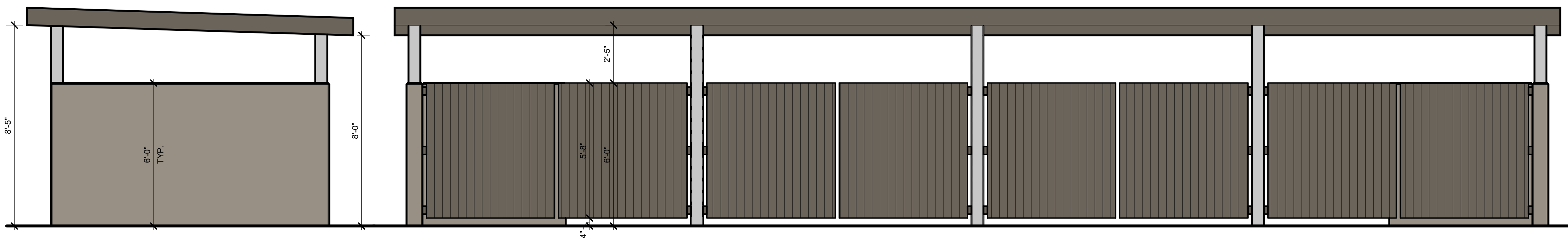
8 TRASH ENCLOSURE - NORTH
3/8" = 1'-0"



5 GUARD SHACK - WEST
3/8" = 1'-0"

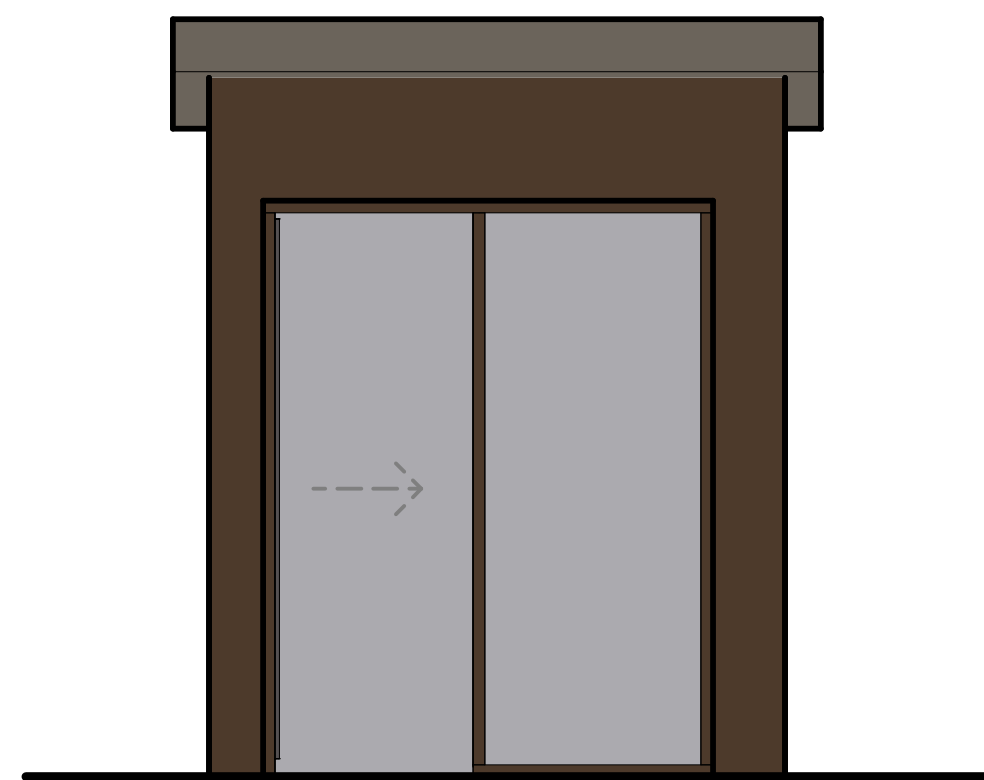


3 GUARD SHACK - EAST
3/8" = 1'-0"

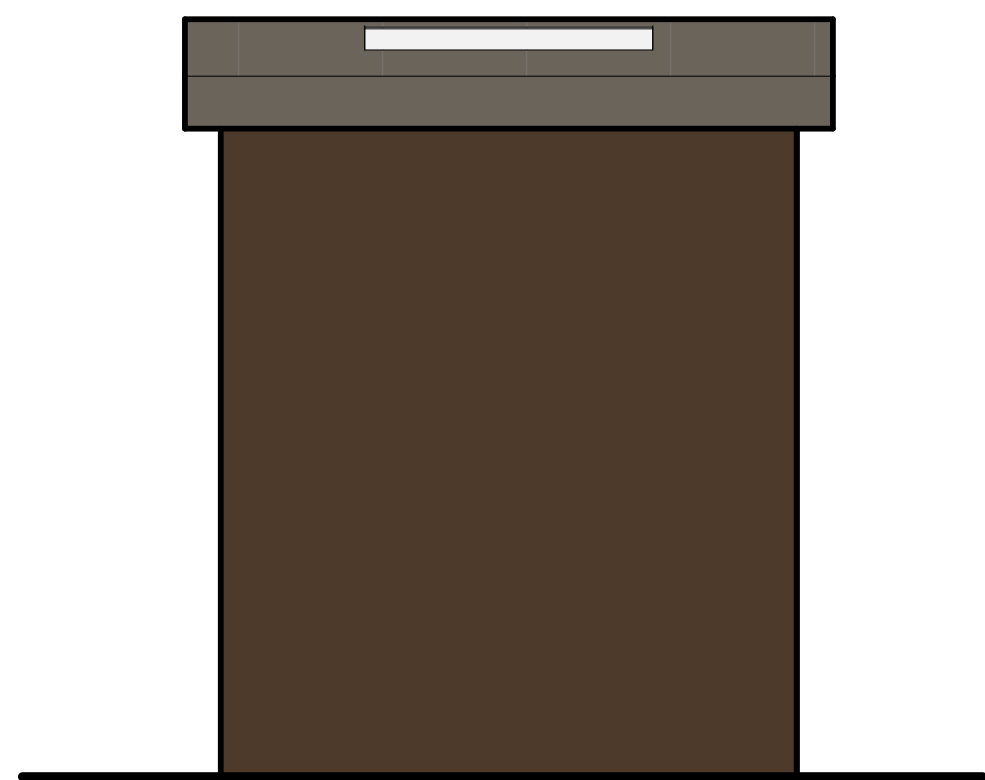


9 TRASH ENCLOSURE - EAST
3/8" = 1'-0"

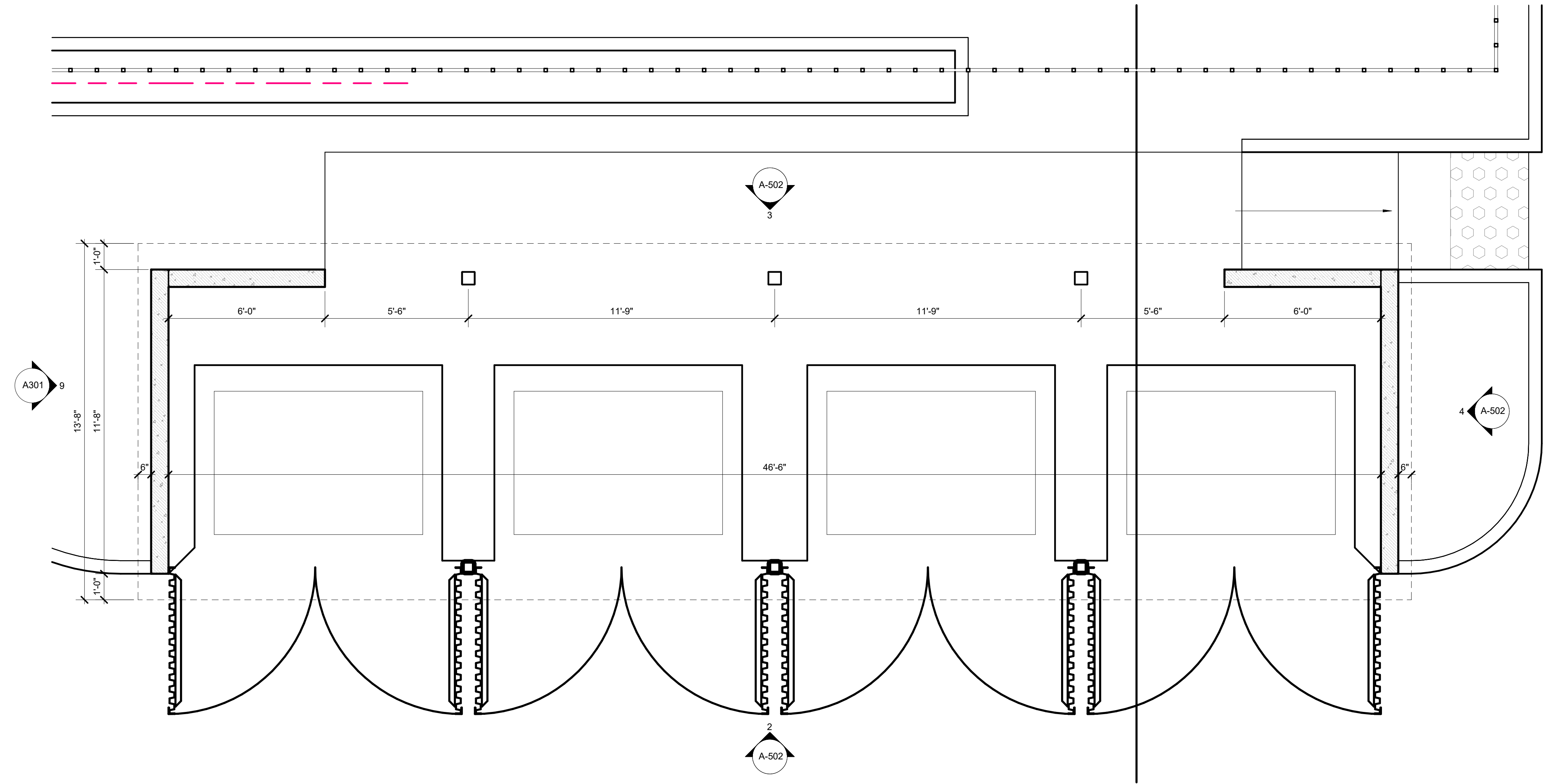
7 TRASH ENCLOSURE - SOUTH
3/8" = 1'-0"



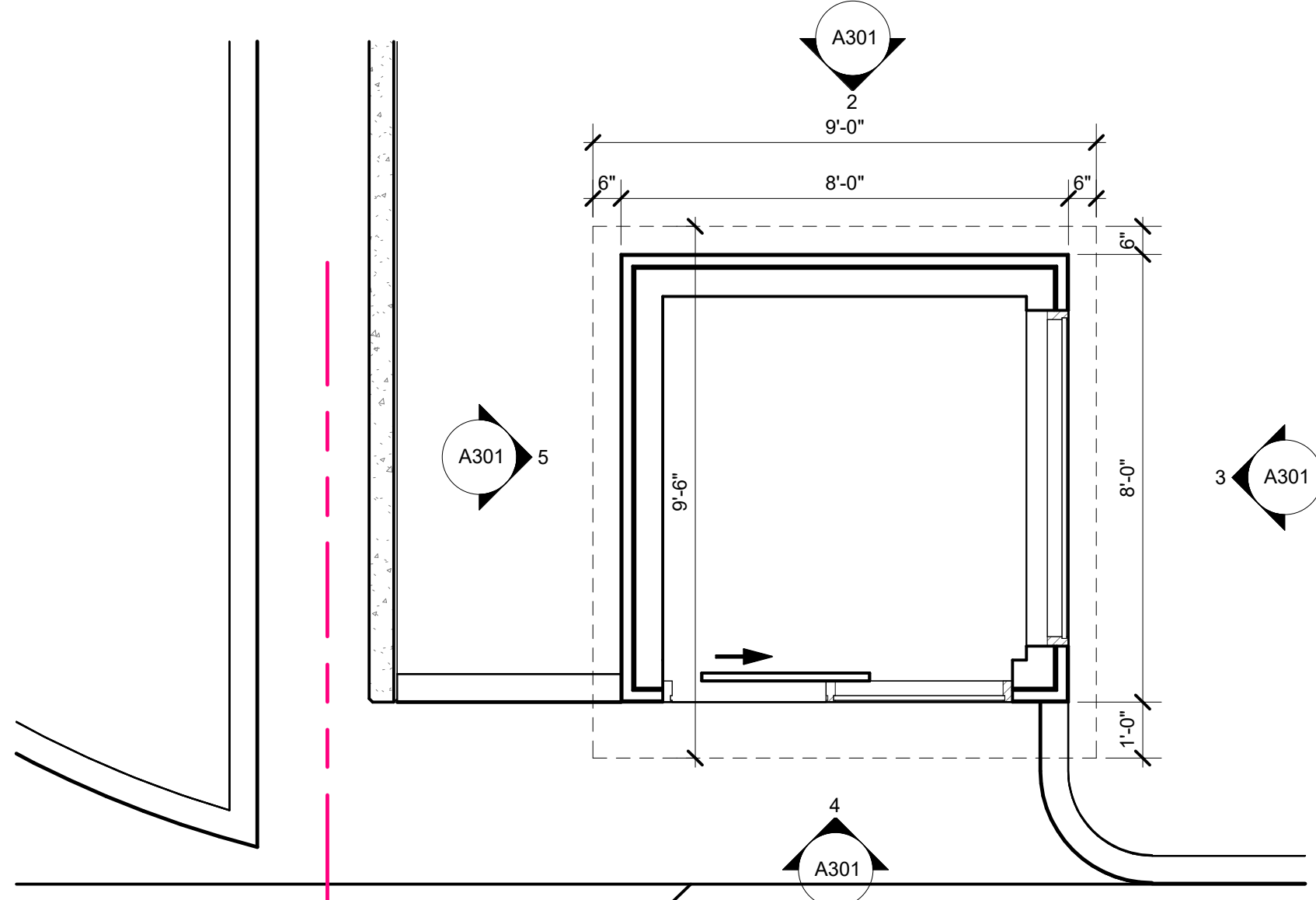
4 GUARD SHACK - SOUTH
3/8" = 1'-0"



2 GUARD SHACK - NORTH
3/8" = 1'-0"



6 ENLARGED TRASH ENCLOSURE PLAN
3/8" = 1'-0"



1 ENLARGED GUARD SHACK PLAN
3/8" = 1'-0"

COLOR LEGEND

PT-1 - SW 7004 "SNOWBOUND"	
PT-2 - SW 7638 "JOGGING PATH"	
PT-3 - SW 9168 "ELEPHANT EAR"	
PT-4 - SW 7047 "PORPOISE"	
PT-5 - CUSTOM PAINT TO MATCH MATTE TRM RED	

MATERIAL LEGEND

GLAZING - VISION	
GLAZING - TEMPERED	
GLAZING SPECIFICATION: COOL LIGHT-BRONZE (OR EQUAL)	
MULLION - ALUMINUM	
MULLION SPECIFICATION: FINISH COLOR: ANODIZED ALUM. - MEDIUM BRONZE (OR EQUAL)	
ALUMINUM COMPOSITE METAL	
ACM SPECIFICATION: MATTE - TERRA COTTA (TRM RED)	
ALUMINUM COMPOSITE METAL	
ACM SPECIFICATION: MATTE - BRONZE (OR EQUAL)	

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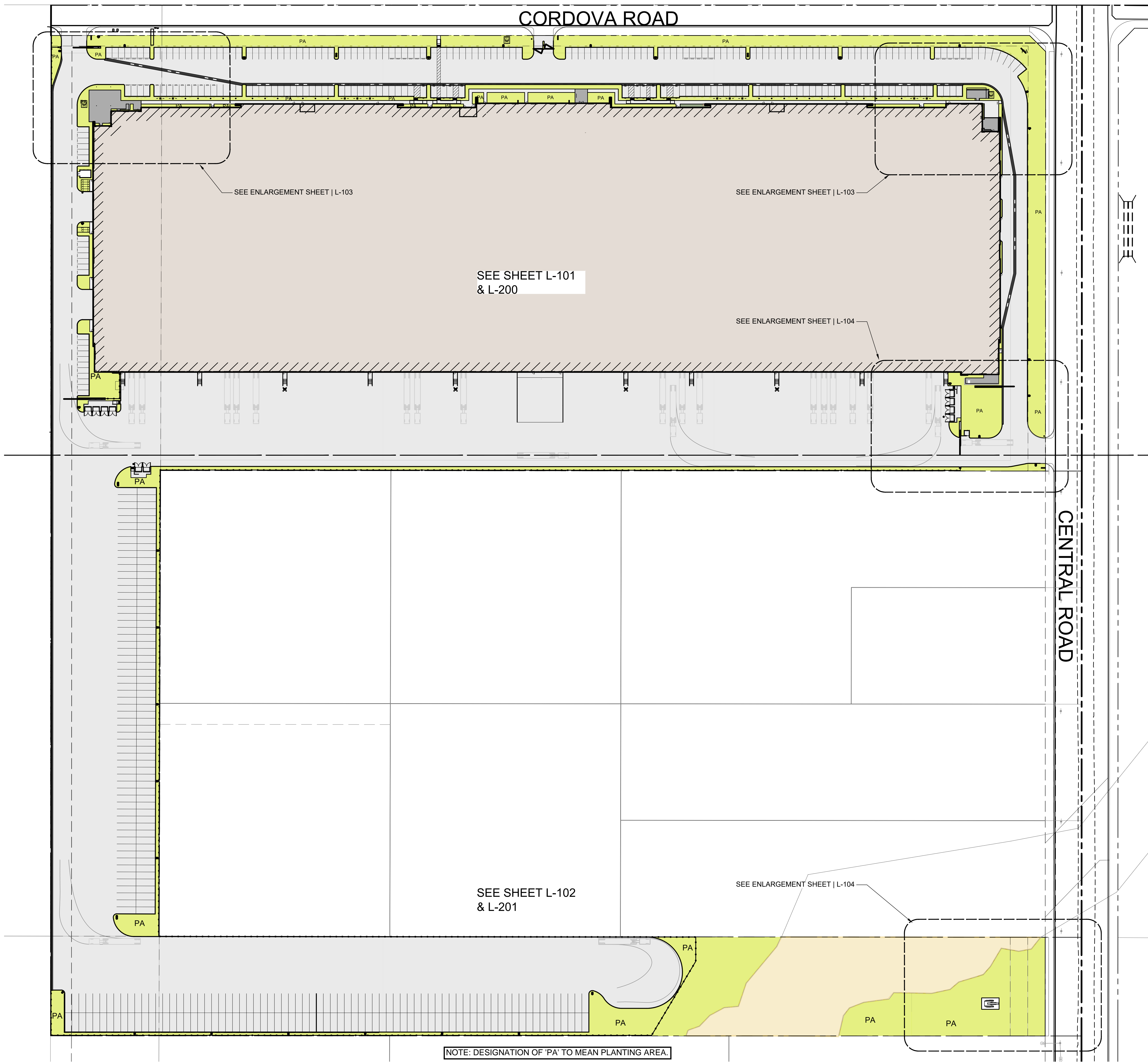
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ENLARGED SITE
STRUCTURES

A301

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2/14/2024 4:15:27 PM
5/16/2023 4:43:51 PM
BIM 360//2022-RR019-003_Apple Valley Logistics Site 2/2022-RR019-003_Arch_HED.rvt



GENERAL NOTES

A. VISIT SITE PRIOR TO SUBMITTING BIDS.

B. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLANS.

C. DO NOT SCALE DRAWINGS.

D. ALL WORK CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE LATEST BUILDING CODE AND WITH OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE LOCATION OF THE WORK. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.

E. REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.

F. DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED PRIOR TO THE CONTINUATION OF THIS WORK. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY CORRECTIONS DUE TO FAILURE TO REPORT KNOWN DISCREPANCIES.

G. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WORK SHOWN ON THESE DRAWINGS AND SPECIFICATIONS UNLESS SPECIFICALLY NOTED OTHERWISE.

H. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE UNLESS OTHERWISE SHOWN; THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE LANDSCAPE ARCHITECT SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE LANDSCAPE ARCHITECT DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE LANDSCAPE ARCHITECT, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED BEFORE, DURING OR AFTER COMPLETION OF CONSTRUCTION ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, BUT THEY DO NOT GUARANTEE GENERAL CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.

I. A PROTECTION FENCE SHALL BE CONSTRUCTED AND MAINTAINED DURING CONSTRUCTION CONFORMING TO THE REQUIREMENTS OF THE BUILDING CODE.

J. MAINTAIN SANITARY TOILET FACILITIES DURING CONSTRUCTION AS REQUIRED BY APPLICABLE REGULATIONS.

K. THE GENERAL CONTRACTOR WARRANTS TO THE OWNER AND THE LANDSCAPE ARCHITECT THAT ALL MATERIALS AND EQUIPMENT FURNISHED WILL BE NEW UNLESS OTHERWISE SPECIFIED AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS.

L. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK AND/OR EQUIPMENT SUPPLIED BY THE OWNER.

M. PROVIDE FACILITIES FOR THE PHYSICALLY HANDICAPPED IN ACCORDANCE WITH C.A.C. TITLE 24 AND AS REQUIRED BY THE LATEST VERSION OF THE CALIFORNIA BUILDING CODE.

N. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE GENERAL CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH THE EXECUTION OF THIS WORK.

O. PAVING, MASONRY AND CONCRETE SUBCONTRACTORS ARE TO COORDINATE WITH THE ELECTRICIAN, DRAINLINE SUBCONTRACTOR AND IRRIGATION SUBCONTRACTOR FOR SLEEVING, PIPING AND/OR CONDUIT INSTALLATION UNDER OR THROUGH HARDSCAPE ELEMENTS.

P. VERIFY ALL PROPERTY LINES OR OTHER LIMIT OF WORK LINES PRIOR TO COMMENCING WORK.

Q. IN THE CASE OF DISCREPANCIES IN THE DRAWINGS, SPECIFICATIONS TAKE PRECEDENCE OVER DETAILS, AND DETAILS TAKE PRECEDENCE OVER PLANS.

R. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE OWNER.

S. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL TRADES ARE PROVIDED WITH CURRENT DRAWINGS AND SPECIFICATIONS APPROVED FOR CONSTRUCTION. DO NOT ALLOW DOCUMENTS NOT APPROVED FOR CONSTRUCTION TO BE USED IF SEEN ON SITE.

T. REPAIR OR REPLACE ANY DAMAGE TO ADJACENT PROPERTIES, CURBS, WALKS, PLANTING, WALLS, ETC. AT NO ADDITIONAL COST TO THE OWNER.

U. LOCATIONS OF N.I.C. CONSTRUCTION ELEMENTS SUCH AS LIGHTS, SIGNS, VENTS, HYDRANTS, TRANSFORMERS, ETC. ARE APPROXIMATE. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD THE LOCATION OF THESE ITEMS INTERFERE WITH THE PROPER EXECUTION OF WORK.

V. PROVIDE THE OWNER WITH ALL WARRANTIES, GUARANTEES, AND INSTRUCTION MANUALS FOR EQUIPMENT, APPLIANCES, FIXTURES, ETC. AS DESCRIBED IN THE SPECIFICATIONS.

W. NOTIFY THE CITY'S AUTHORIZED REPRESENTATIVE 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.

X. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.

Y. CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.

Z. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS, APPLE VALLEY MUNICIPAL CODE 13.36, AND THE NORTH APPLE VALLEY INDUSTRIAL SPECIFIC PLAN LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

Client:
CORDOVA BUSINESS CENTER LLC

1019 Avenue P
Suite 501
Brooklyn, NY 11223

Project:
CORDOVA BUSINESS CENTER

PROJECT #: SPR 2023-006

Cordova Road
Apple Valley, CA 92307

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San Diego, California
92108 USA
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LANDSCAPE SITE PLAN

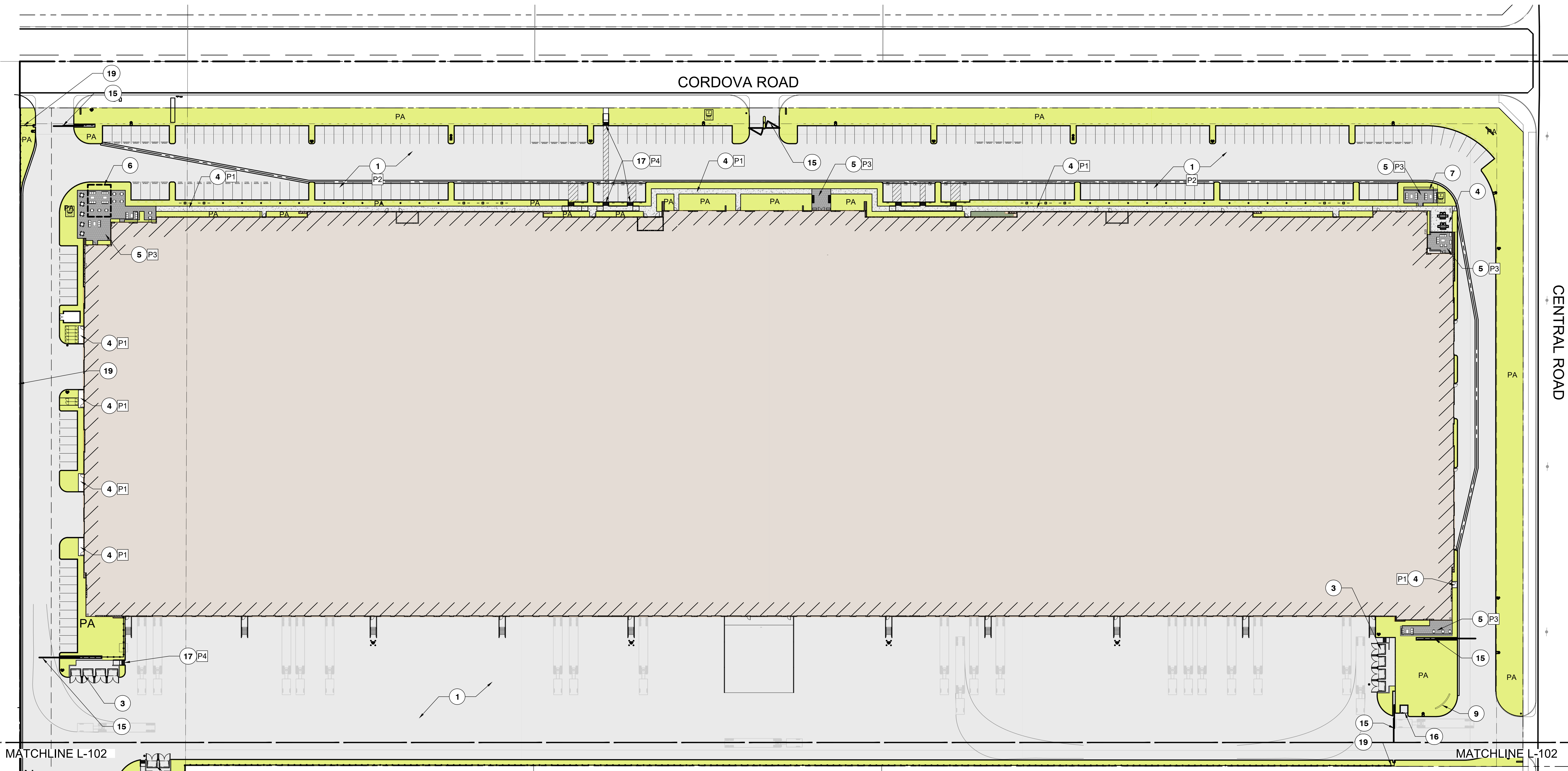
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NOT FOR CONSTRUCTION

ROOT BARRIER NOTE:
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60 30 0 60 120 180
SCALE: 1"=60'-0"



HARDSCAPE PLAN
1" = 40'-0"

LANDSCAPE NOTES:

- A. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE TOWN OF APPLE VALLEY LANDSCAPE STANDARDS MANUAL AND ALL OTHER APPLICABLE STANDARDS AS OF THE APPROVED DATE OF THESE PLANS.
- B. MULCH SHALL BE APPLIED TO ALL AREAS OF BARE SOIL EXCEPT WHERE MULCH IS CONTRAINDICATED
- C. IF ANY EXISTING HARDSCAPE OR LANDSCAPE INDICATED ON THE APPROVED PLANS ARE DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED PLANS BY THE OWNER/PERMITTEE.
- D. ALL LANDSCAPE MATERIALS SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION AT ALL TIMES, INCLUDING TRIMMING AS APPROPRIATE TO MAINTAIN APPROVED LANDSCAPE MATERIALS. ANY REQUIRED PLANT MATERIAL THAT DIES POST-CONSTRUCTION SHALL BE REPLACED AT SIZES AND QUANTITIES SPECIFIED IN THESE DRAWINGS.
- E. TREES SHALL BE LOCATED AND MAINTAINED TO PRESERVE A CLEAR ZONE OF AT LEAST TEN FEET FROM FIRE HYDRANTS, OVERHEAD UTILITY WIRES, STREET LIGHT LUMINARIES AND ABOVE GROUND UTILITY STRUCTURES SUCH AS TRANSFORMER ENCLOSURES.
- F. PROVIDE ROOT BARRIERS FOR TEN FEET TO BOTH SIDES OF ALL STREET TREES WITH IN FIVE FEET OF ANY HARDSCAPE PAVING.
- G. IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED, OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

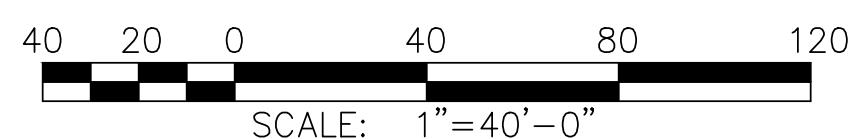
REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	HARDSCAPE - SEE CIVIL PLAN
2	(E) BLUE LINE STREAM TO REMAIN
3	TRASH ENCLOSURES
4	NATURAL GREY SIDEWALK
5	ENHANCED PAVING
6	SHADE STRUCTURE
7	RETAINING SEAT WALL
8	SCULPTURAL MONUMENT
9	MONUMENT SIGNAGE
10	SITE FURNISHINGS
11	PLANTERS
12	SITE WALL TO MATCH ARCH.
13	DECORATIVE GRAVEL 'B' W/ METAL EDGING
14	DECORATIVE GRAVEL 'A' W/ METAL EDGING
15	GATE
16	GUARD SHACK
17	FURNISH AND INSTALL PRECAST CONCRETE TRUNCATED DOMES
18	DECOMPOSED GRANITE
19	FENCE

COLOR AND FINISH SCHEDULE

SYMBOL	KEY	DESCRIPTION	MANUFACTURER	MODEL	COLOR	FINISH	COMMENTS
PAVING							
	P1	PEDESTRIAN CONCRETE PAVING TYPE 1	--	--	NATURAL	BROOM FINISH	JOINTS: SAWCUT AND DOWELED CONSTRUCTION
	P2	VEHICULAR PAVING TYPE 2	--	--	ASPHALT	--	SEE CIVIL PLANS
	P3	CONCRETE PAVERS	ACKER-STONE 951-674-0047	18" X 18 SQUARE	CITY BLEND	RUNNING BOND	SEAL PAVERS AND GROUT WITH MANUFACTURER RECOMMENDED SEALER
	P4	PRE-CAST TRUNCATED DOMES - FM PTD-807	ACKER-STONE 951-674-0047	PALAZZO12"x12" TRUNCATED DOMES - FM PTD-807	FEDERAL YELLOW	STACKED BOND PATTERN	SEAL PAVERS AND GROUT WITH MANUFACTURER RECOMMENDED SEALER
	P5	GRAVEL A	SOUTHWEST BOULDER AND STONE	6"-12"	BAJA CRESTA RUBBLE		
	P6	GRAVEL B	SOUTHWEST BOULDER AND STONE	6"	CRESTA RUBBLE		
	P7	DG	SOUTHWEST BOULDER AND STONE	DECOMPOSED GRANITE	DESERT GOLD		

NOTE: DESIGNATION OF 'PA' TO MEAN PLANTING AREA.



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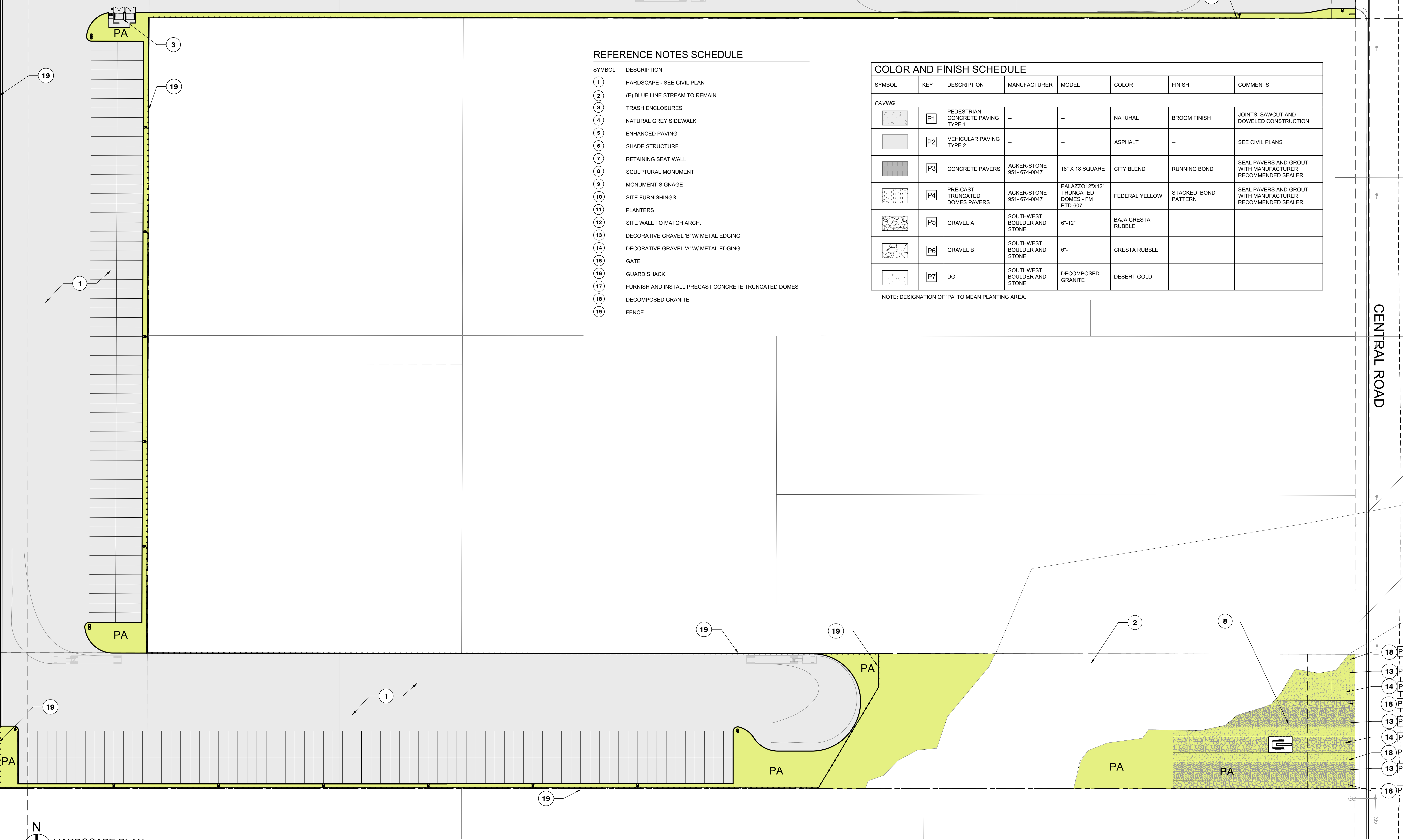
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HARDSCAPE
PLAN

L-101

MATCHLINE L-101

MATCHLINE L-101



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	HARDSCAPE - SEE CIVIL PLAN
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SYMBOL	KEY	DESCRIPTION	MANUFACTURER	MODEL	COLOR	FINISH	COMMENTS
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	P7	DG	SOUTHWEST BOULDER AND STONE	DECOMPOSED GRANITE	DESERT GOLD		

NOTE: DESIGNATION OF 'PA' TO MEAN PLANTING AREA.

HARDSCAPE NOTES:

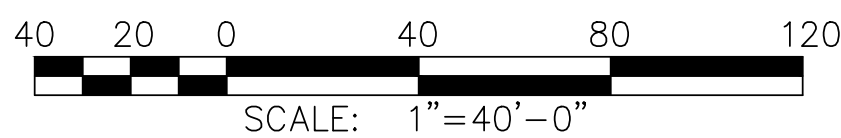
- DRAWING IS DIAGRAMMATIC. VERIFY ALL CONDITIONS AND LOCATIONS ON SITE PRIOR TO THE START OF CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF ANY ERRORS OR DISCREPANCIES ARE FOUND, BEFORE PROCEEDING WITH ANY WORK DO NOT SCALE DRAWINGS. USE DIMENSIONS AS INDICATED ON PLAN.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN APPARENT DURING DESIGN. OBTAIN DIRECTION BEFORE PROCEEDING WITH CONSTRUCTION IN SUCH CASES.
- THE LOCATION OF ALL SERVICE RUNS, SUCH AS WATER SUPPLY, ELECTRICAL (OVERHEAD AND UNDERGROUND), TELEPHONE, SANITARY SEWER, ETC. SHOULD BE ASCERTAINED BEFORE WORK IS STARTED. WHERE THEY WILL BE AFFECTED BY EXCAVATION OR WHERE MACHINES MAY BE WORKING NEARBY, THEY SHOULD BE CAREFULLY SEALED, PROTECTED, OR DIVERTED. NOTIFY ARCHITECT OF ANY CONFLICT WITH PROPOSED IMPROVEMENTS.COORDINATE ALL UTILITY RUNS AND INSTALLATIONS (EXISTING AND NEW) PRIOR TO PAVING INSTALLATION. VERIFY ALL SLEEVES AND ELECTRIC SOURCES FOR IRRIGATION CLOCK AND LIGHTING WITH PROPER SUB-CONTRACTORS.
- CLEAN OUT AND ADJUST EXISTING DRAINS TO ACCOMMODATE PROPOSED DRAINAGE. ADJUST LATERAL DRAIN LINES AS NECESSARY TO BEST LINK EXISTING MAIN LINES.

- OBTAIN INSPECTION AND APPROVAL OF ALL FORMS PRIOR TO PLACING CONCRETE.
- TRANSITIONS FROM EXISTING PAVING TO NEW PAVING SHALL BE FLUSH.
- REFER TO PLANS AND GENERAL NOTES FOR ADDITIONAL NOTES AND INFORMATION REGARDING THE CONSTRUCTION OF THIS PROJECT.
- CONSTRUCT ALL WALLS, PAVING, DRAIN LINES, SLEEVING, ETC. PER PLAN AND DETAILS.
- CONCRETE TO SLOPE FROM FOUNDATION TOWARDS DRAIN INLETS AND DRAINAGE SWALES AT A MINIMUM RATE OF 1/8" PER FOOT. INSTALL CONCRETE FORMS WITH LONG, SMOOTH GRADIENTS TO ELIMINATE DIPS, RIDGES, ABRUPT CHANGES OF GRADE, AND SHARP TRANSITIONS.
- ALL CONCRETE PAVING BANDS AND CONCRETE CAPS SHALL HAVE CONTROL JOINTS AT 5'-0" ON CENTER MAXIMUM UNLESS NOTED OTHERWISE ON THE PLANS. INSTALL EXPANSION JOINTS AT ALL VERTICAL ELEMENTS. INSTALL CRACK CONTROL JOINTS AT MAX. 12'-0". ZIP JOINTS WILL NOT BE ALLOWED. INSTALL EJS AND CCJS AT 90° TO THE EDGE OF CONCRETE PAVING. SEE PLAN FOR ADDITIONAL INFORMATION AND LOCATIONS.
- PRIOR TO PLACING CONCRETE, SUFFICIENTLY MOISTEN THE SUB-GRADE AND PROVIDE SUB-GRADE PREPARATIONS PER THE SOILS ENGINEER.

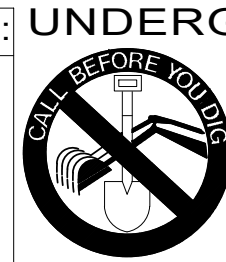
- INSTALL TYPE II OR TYPE V CONCRETE THAT OBTAINS A MINIMUM COMPRESSIVE STRENGTH OF 2,500 P.S.I. AT 28 DAYS UNLESS OTHERWISE SPECIFIED ON THESE PLANS AND DETAILS. SUBMIT DESIGN MIXES AND CONCRETE SAMPLE TO OWNER AND LANDSCAPE ARCHITECT PRIOR TO LAYING OUT PAVING. INSTALL CONCRETE FLATWORK PER RECOMMENDATIONS OF SOILS ENGINEER AND SOILS IN CASE OF CONFLICT BETWEEN SOILS REPORT AND DETAILS, THE MOST STRINGENT REQUIREMENTS WILL APPLY.
- BACKFILL AND COMPACT BEHIND ALL WALLS AND MASONRY STRUCTURES, AS REQUIRED ON DRAWINGS AND DETAILS. BACKFILL PLANTERS WITH TOP GRADE SANDY-LOAM TOPSOIL PER PLANTING NOTES.
- CLEAN UP AND REMOVE ALL DEBRIS FROM SITE PRIOR TO REQUESTING FINAL APPROVAL. GRADE ALL AREAS WITHIN .5 INCH OF FINISH GRADES. NOTE AREAS OF ADDITIONAL GRADING SHOWN. COORDINATE WITH LANDSCAPE ARCHITECT THE FINAL FORM OF LANDSCAPE MOUNDS.
- ALL LF AND SF DIMENSIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND CONFIRMED WITH OWNERS REP. PRIOR TO ORDERING HARDSCAPE MATERIALS.
- ALL MATERIAL COLORS ARE TO BE VERIFIED WITH SDGE PRIOR TO ORDER AND INSTALL. ALL GREY CONCRETE SHALL MATCH EXISTING STANDARD GREY CONCRETE IN COLOR AND FINISH. ALL TAN INTEGRAL COLOR CONCRETE SHALL MATCH EXISTING TAN COLOR CONCRETE AND FINISH ON WALLS.

- COMPLY WITH ALL PROVISIONS OF THE LATEST BUILDING CODE, CURRENT EDITION OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN, AND WITH OTHER CURRENT RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF WORK. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
- VERIFY ALL PAVING AND HARDSCAPE CONSTRUCTION DRAWINGS WITH SOIL ENGINEER'S REPORT WITH REGARD TO BASE PREPARATION AND FOOTING REQUIREMENTS. NOTIFY THE OWNER IMMEDIATELY IF SOILS REPORT RECOMMENDATIONS DIFFER FROM DRAWINGS. THE SOILS REPORT RECOMMENDATIONS, IF MORE STRINGENT THAN THE DRAWINGS, SHALL TAKE PRECEDENCE.
- BE RESPONSIBLE FOR COORDINATION BETWEEN SUBCONTRACTORS FOR PROPER AND TIMELY PLACEMENT OF SLEEVING, PIPING AND / OR CONDUIT INSTALLATION UNDER OR THROUGH LANDSCAPE ELEMENTS.
- LANDSCAPE LIGHT FIXTURE LOCATIONS AS INDICATED ON THESE PLANS ARE APPROXIMATE. FINAL LOCATION TO BE VERIFIED BY LANDSCAPE ARCHITECT ON SITE.
- PROJECT WALKS SHALL NOT EXCEED A SLOPE OF 20% (GRADIENT) UNLESS OTHERWISE INDICATED.
- HANDICAP RAMPS SHALL NOT EXCEED 12:1 OR 8.33%.
- PLANTER AREAS SHALL NOT EXCEED 2:1 SLOPE OTHERWISE INDICATED.

- HOLD FINISH GRADE A MINIMUM OF 6" BELOW FINISH FLOOR, UNLESS OTHERWISE INDICATED.
- CONSTRUCT ALL CURVE TO CURVE AND CURVE TO TANGENT LINES TO BE NEAT, TRIM, SMOOTH AND UNIFORM.
- PROVIDE THE OWNER WITH ALL WARRANTIES, GUARANTEES, AND INSTRUCTION MANUALS FOR EQUIPMENT, APPLIANCES, FIXTURES, ETC. AS DESCRIBED IN THE SPECIFICATIONS.
- DO NOT SCALE DRAWINGS.
- VERIFY ALL PAVING AND HARDSCAPE CONSTRUCTION DRAWINGS WITH SOIL ENGINEER'S REPORT WITH REGARD THE BASE PREPARATION AND FOOTING REQUIREMENTS. NOTIFY THE OWNER IMMEDIATELY IF SOILS REPORT RECOMMENDATIONS DIFFER FROM DRAWINGS. THE SOILS REPORT RECOMMENDATIONS, IF MORE STRINGENT THE DRAWINGS, SHALL TAKE PRECEDENCE.



ROOT BARRIER NOTE:
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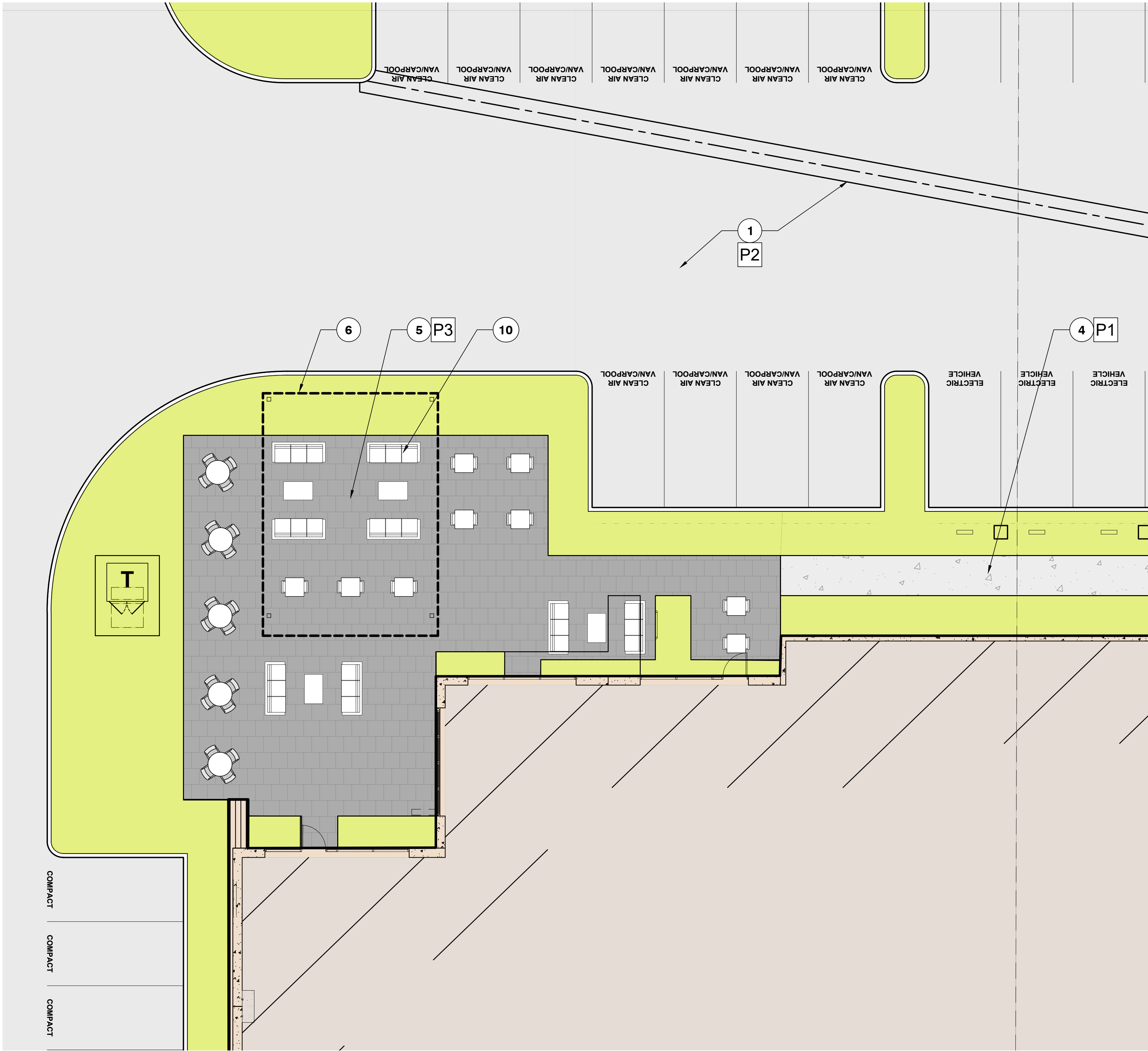
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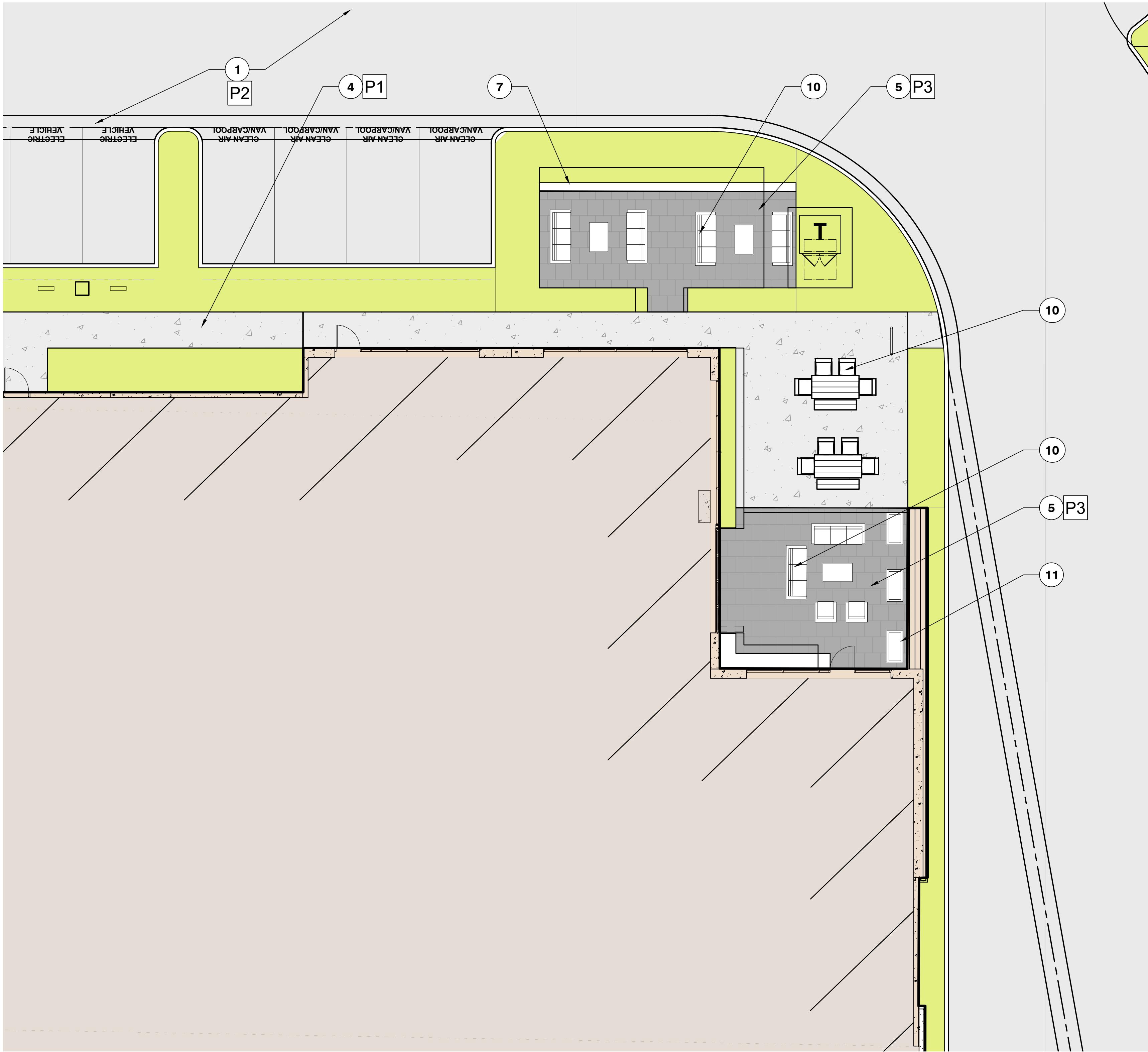
HARDSCAPE
PLAN

L-102

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N
LANDSCAPE ENLARGEMENT PLAN A
1" = 8'-0"

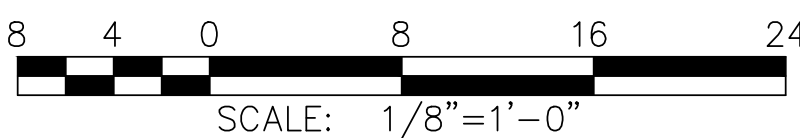


N
LANDSCAPE ENLARGEMENT PLAN B
1" = 8'-0"

COLOR AND FINISH SCHEDULE							
SYMBOL	KEY	DESCRIPTION	MANUFACTURER	MODEL	COLOR	FINISH	COMMENTS
PAVING							
	P1	PEDESTRIAN CONCRETE PAVING TYPE 1	--	--	NATURAL	BROOM FINISH	JOINTS: SAWCUT AND DOWELED CONSTRUCTION
	P2	VEHICULAR PAVING TYPE 2	--	--	ASPHALT	--	SEE CIVIL PLANS
	P3	CONCRETE PAVERS	ACKER-STONE 951- 674-0047	18" X 18 SQUARE	CITY BLEND	RUNNING BOND	SEAL PAVERS AND GROUT WITH MANUFACTURER RECOMMENDED SEALER
	P4	PRE-CAST TRUNCATED DOMES PAVERS	ACKER-STONE 951- 674-0047	PALAZZO12"X12" TRUNCATED DOMES - FM FTD-607	FEDERAL YELLOW	STACKED BOND PATTERN	SEAL PAVERS AND GROUT WITH MANUFACTURER RECOMMENDED SEALER
	P5	GRAVEL A	SOUTHWEST BOULDER AND STONE	6"-12"	BAJA CRESTA RUBBLE		
	P6	GRAVEL B	SOUTHWEST BOULDER AND STONE	6"-	CRESTA RUBBLE		
	P7	DG	SOUTHWEST BOULDER AND STONE	DECOMPOSED GRANITE	DESERT GOLD		

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
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CORDOVA
BUSINESS
CENTER LLC

1019 Avenue P
Suite 501
Brooklyn, NY 11223

Project:
CORDOVA
BUSINESS
CENTER

PROJECT #: SPR 2023-006

Cordova Road
Apple Valley, CA 92307

Date	Issued For
09.21.2023	SPR Package
03.07.2024	SPR Resubmittal Package
05.03.2024	SPR Resubmittal #2 Package
08.23.2024	SPR Resubmittal #3 Package

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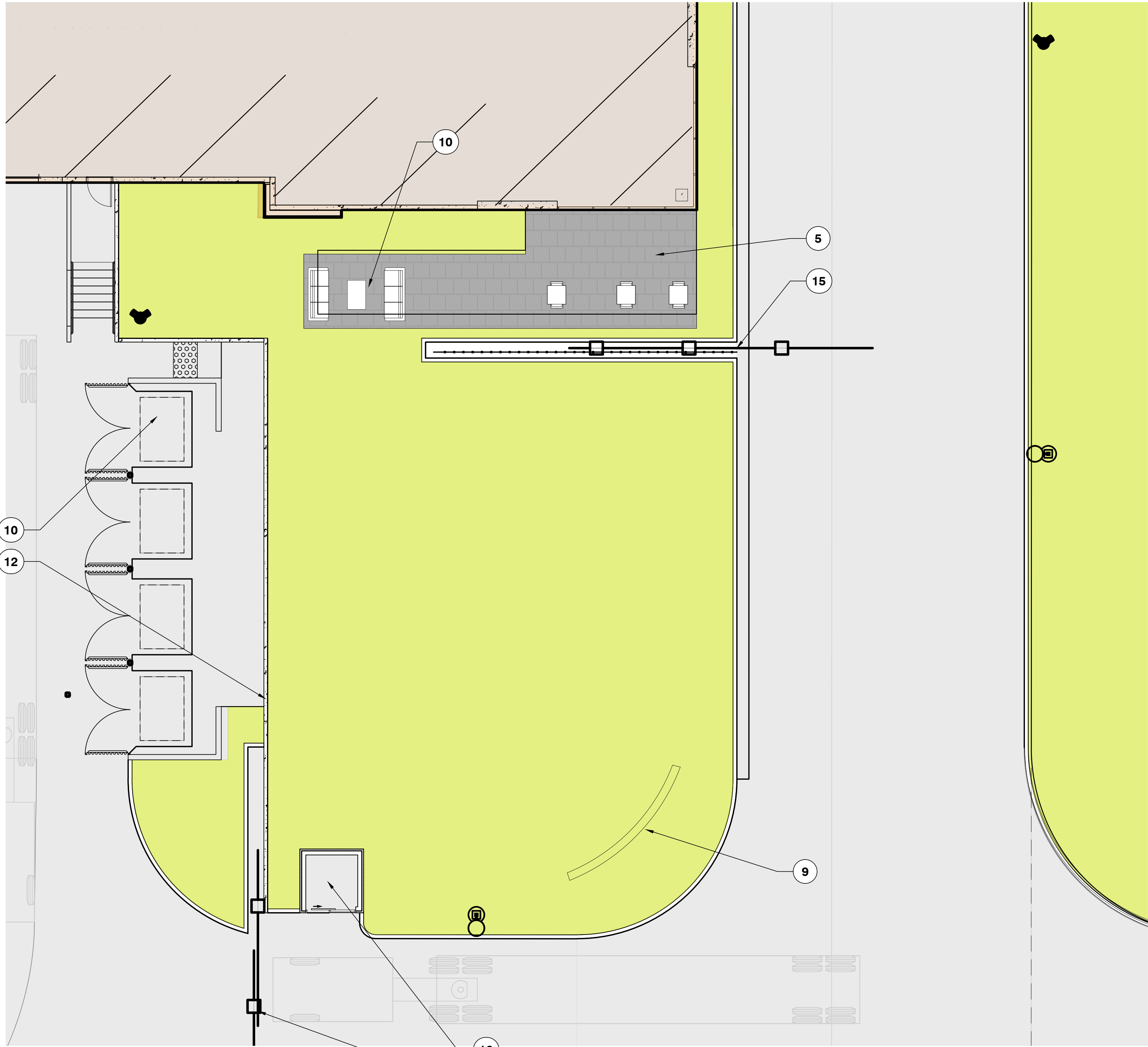
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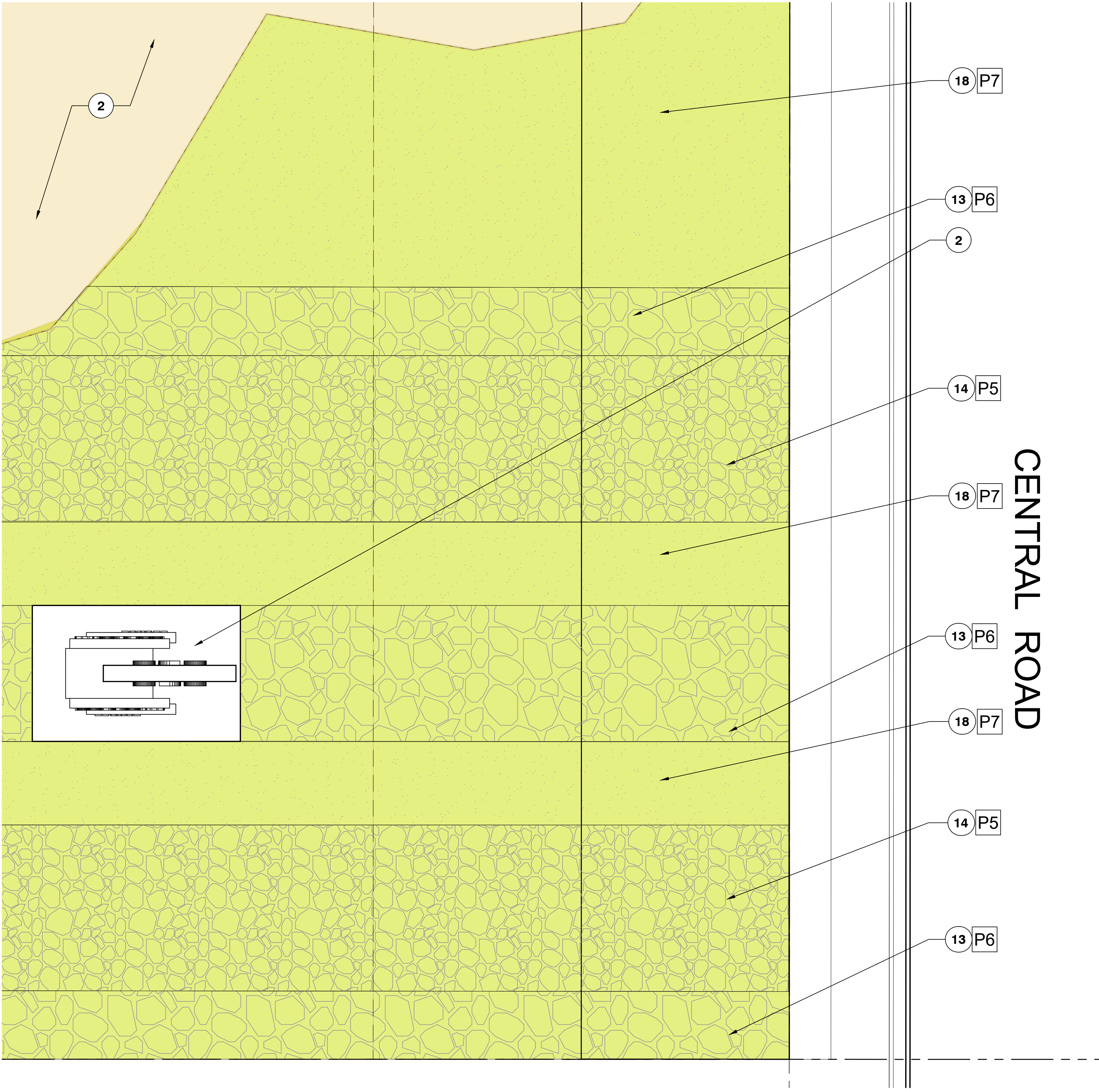
HARDSCAPE
ENLARGEMENT
PLANS

L-103

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N
LANDSCAPE ENLARGEMENT PLAN C
1" = 8'-0"

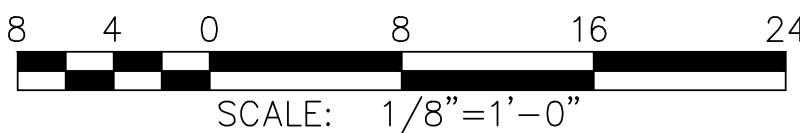


N
LANDSCAPE ENLARGEMENT PLAN D
1" = 8'-0"

COLOR AND FINISH SCHEDULE							
SYMBOL	KEY	DESCRIPTION	MANUFACTURER	MODEL	COLOR	FINISH	COMMENTS
PAVING							
	P1	PEDESTRIAN CONCRETE PAVING TYPE 1	--	--	NATURAL	BROOM FINISH	JOINTS: SAWCUT AND DOWELED CONSTRUCTION
	P2	VEHICULAR PAVING TYPE 2	--	--	ASPHALT	--	SEE CIVIL PLANS
	P3	CONCRETE PAVERS	ACKER-STONE 951- 674-0047	18" X 18 SQUARE	CITY BLEND	RUNNING BOND	SEAL PAVERS AND GROUT WITH MANUFACTURER RECOMMENDED SEALER
	P4	PRE-CAST TRUNCATED DOMES PAVERS	ACKER-STONE 951- 674-0047	PALAZZO12"x12" TRUNCATED DOMES - FM FTD-607	FEDERAL YELLOW	STACKED BOND PATTERN	SEAL PAVERS AND GROUT WITH MANUFACTURER RECOMMENDED SEALER
	P5	GRAVEL A	SOUTHWEST BOULDER AND STONE	6"-12"	BAJA CRESTA RUBBLE		
	P6	GRAVEL B	SOUTHWEST BOULDER AND STONE	6"	CRESTA RUBBLE		
	P7	DG	SOUTHWEST BOULDER AND STONE	DECOMPOSED GRANITE	DESERT GOLD		

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	HARDSCAPE - SEE CIVIL PLAN
2	(E) BLUE LINE STREAM TO REMAIN
3	TRASH ENCLOSURES
4	NATURAL GREY SIDEWALK
5	ENHANCED PAVING
6	SHADE STRUCTURE
7	RETAINING SEAT WALL
8	SCULPTURAL MONUMENT
9	MONUMENT SIGNAGE
10	SITE FURNISHINGS
11	PLANTERS
12	SITE WALL TO MATCH ARCH.
13	DECORATIVE GRAVEL 'B' W/ METAL EDGING
14	DECORATIVE GRAVEL 'A' W/ METAL EDGING
15	GATE
16	GUARD SHACK
17	FURNISH AND INSTALL PRECAST CONCRETE TRUNCATED DOMES
18	DECOMPOSED GRANITE
19	FENCE



ROOT BARRIER NOTE:
ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 10' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCLOSE THE ROOT BALL.

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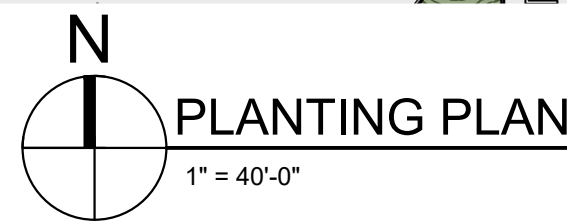
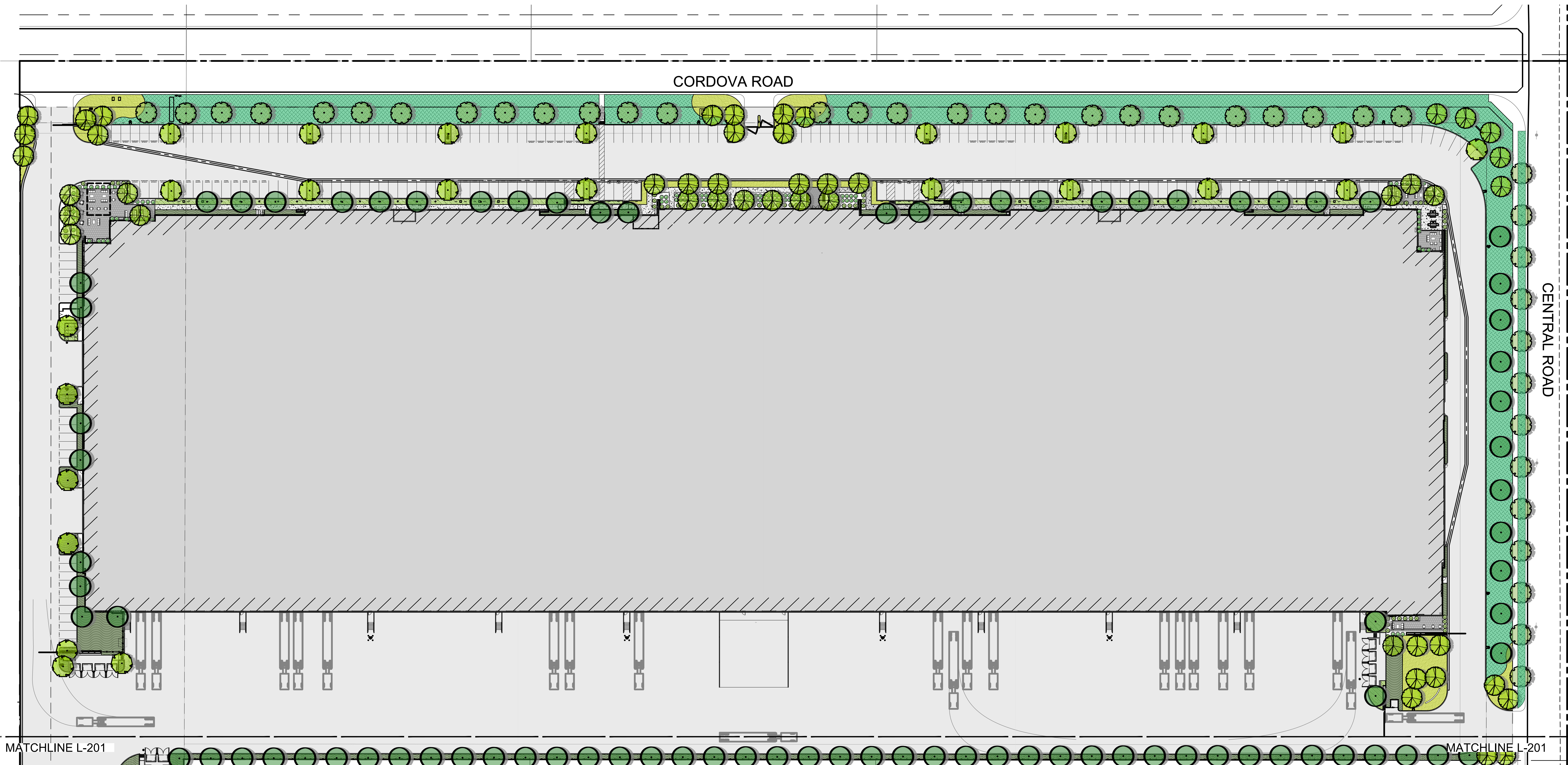
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HARDSCAPE
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PLANTING NOTES

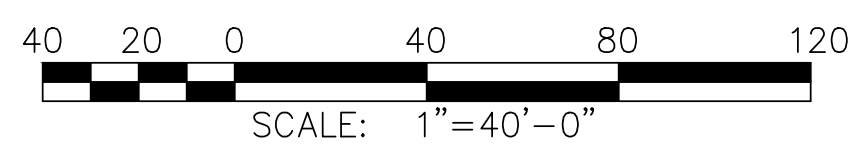
- A. REFER TO PLANTING SPECIFICATIONS AND DETAILS FOR SOIL PREPARATION, FERTILIZATION, MULCHING AND OTHER PLANTING INFORMATION.
- B. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE AND THE CITY INSPECTOR 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
- C. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLAN.
- D. REPORT DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTION SHALL BE ISSUED PRIOR TO THE CONTINUATION OF THIS WORK. ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY CORRECTIONS DUE TO FAILURE TO REPORT KNOWN DISCREPANCIES.
- E. LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND PROTECT THEM FROM DAMAGE. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY AND ASSUME FULL RESPONSIBILITY FOR EXPENSE OF REPAIR OR REPLACEMENT IN CONJUNCTION WITH DAMAGED UTILITIES.
- F. LOCATION OF N.I.C. CONSTRUCTION ELEMENTS SUCH AS LIGHTS, SIGNS, VENTS, HYDRANTS, TRANSFORMERS, ETC. ARE APPROXIMATE. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD THE LOCATION OF THESE ITEMS INTERFERE WITH THE PROPER EXECUTION OF WORK.
- G. OBTAIN ALL SOIL FOR LANDSCAPE PLANTING AREAS OR BERMS FROM ON-SITE EXCAVATIONS. SHOULD IMPORT SOIL BE NECESSARY, SUBMIT IMPORT SOIL TESTING RESULTS FOR APPROVAL PRIOR TO IMPORTATION. SOIL SHALL BE SANDY LOAM CONTAINING NO TOXIC CHEMICALS OR ELEMENTS WHICH MAY INHIBIT OR RETARD NORMAL PLANT GROWTH.
- H. BEFORE BIDDING AND AFTER ROUGH GRADES HAVE BEEN ESTABLISHED IN PLANTING AREAS, HAVE SOIL SAMPLES TAKEN AT THE LOCATIONS INDICATED ON PLANTING PLAN. HAVE SAMPLES TESTED BY WAYPOINT ANALYTICAL, (714) 282-8777, FOR SOIL FERTILITY. TAKE TWO SAMPLES AT EACH LOCATION: (1) GROUND LEVEL TO 10" DEEP, (2) 24" TO 36" DEEP. EACH SAMPLE SHALL CONTAIN

- APPROXIMATELY 1 QUART OF SOIL TO BE LABELED PER LOCATION AND DEPTH. INSTALL SOIL PREPARATION AND BACK FILL MIX TO CONFORM TO THESE RECOMMENDATIONS ONLY UPON RECEIPT OF WRITTEN CHANGE ORDER FROM THE OWNER. SUBMIT SOIL REPORT TO LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- I. KILL AND REMOVE ALL EXISTING WEEDS FROM SITE AREAS PER SPECIFICATIONS.
- J. ASSURE POSITIVE DRAINAGE IN ALL PLANTING AREAS, 2% MINIMUM.
- K. LOCATE AND TAG ALL PLANT MATERIAL. MATERIAL SHALL BE IN CONFORMANCE WITH PLANTING PLAN DESCRIPTIONS AND SPECIFICATIONS. ALL PLANT MATERIAL IS SUBJECT TO REVIEW AND APPROVAL PRIOR TO INSTALLATION. PROVIDE PHOTOS OF REPRESENTATIVE EXAMPLES OF EACH TAGGED BLOCK TO LANDSCAPE ARCHITECT MINIMUM 21 DAYS BEFORE ANTICIPATED DELIVERY. PHOTOS SHALL INCLUDE A PERSON FOR SCALE PURPOSES. LANDSCAPE ARCHITECT MAY OPT TO REVIEW MATERIAL AT GROWING NURSERY. MATERIAL DELIVERED TO THE SITE MAY BE REJECTED BASED ON UNHEALTHY APPEARANCE OR NON-CONFORMANCE WITH SPECIFICATIONS EVEN IF PREVIOUSLY REVIEWED BY THE LANDSCAPE ARCHITECT OR THE OWNER.
- L. ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM.
- M. FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- N. PLANTING QUANTITIES ARE GIVEN FOR CONVENIENCE ONLY. PLANT SYMBOLS AND SPECIFIED SPACING SHALL TAKE PRECEDENCE.
- O. AT EDGES OF PLANTING AREAS, THE CENTER LINE OF THE LAST ROW OF SHRUBS AND/OR GROUND COVER SHALL BE LOCATED NO FARTHER FROM THE EDGE THAN ONE-HALF THE SPECIFIED ON CENTER SPACING.
- P. INSTALL GROUND COVER AND/OR SHRUB MASSES WITH TRIANGULAR SPACING UNLESS OTHERWISE INDICATED.
- Q. ALL CURVE TO CURVE AND CURVE TO TANGENT LINES SHALL BE NEAT, TRIM, SMOOTH AND UNIFORM.
- R. REMOVE ALL NURSERY STAKES AND ESPALIER RACKS IMMEDIATELY AFTER INSTALLATION UPON PROVIDING SUPPORT PER PLAN.

- S. DURING THE LENGTH OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER STAKING AND/OR GUYING OF TREES TO ENSURE STABILITY.
- T. MULCH ALL LANDSCAPE AREAS (EXCLUDING TURF) HAVING LESS THAN A 2:1 SLOPE WITH A 3" DEEP LAYER OR 2" DEEP LAYER AT SUCCULENT AND CACTI OF MULCH, PER SPECIFICATIONS, AT THE CONCLUSION OF PLANTING OPERATIONS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- U. CONTRACTOR SHALL REPLACE ANY EXISTING PLANT MATERIAL WHICH IS DAMAGED BY CONSTRUCTION OPERATIONS. REPLACEMENT PLANT MATERIAL MUST BE OF MATCHING SPECIES, INSTALLED FROM THE FOLLOWING MINIMUM SIZE: 15-GALLON TREE, 1-GALLON SHRUB, FLATTED GROUNDCOVER AND SODDED TURF.
- V. INSTALLATIONS THAT ARE ADJACENT OPEN SPACE, NATURALIZED SLOPES OR UNDEVELOPED LAND ARE SUBJECT TO DAMAGE BY RODENTS OR DEER AND SHALL BE TREATED WITH AN APPROPRIATE REPELLENT IN A SPRAY AND/OR TABLET FORM. REPELLEX BY GROPOWER OR APPROVED EQUAL, THAT PROVIDES IMMEDIATE AND LONG TERM PROTECTION, SHALL BE USED.
- W. ROOT BARRIERS SHALL BE INSTALLED AT ALL TREES WITHIN 5 FEET OF ANY HARDSCAPE, PAVEMENT OR CURB. ROOT BARRIERS ARE TO BE UB24-2" BY DEEP AC. ROOT CORPORATION, (800) 458-7668, INSTALLED PER MANUFACTURER'S SPECIFICATIONS. NOTE: ROOT BARRIERS SHALL NOT BE WRAPPED AROUND THE ROOTBALL. ROOT BARRIERS INSTALLED ADJACENT TO A BIOSWALE SHALL NOT INTERFERE WITH DRAINAGE TO OR FROM THE BIOSWALE SYSTEM.
- X. FIRE PREVENTION NOTE: MINIMUM VERTICAL CLEARANCE OF 13'-6" SHALL BE PROVIDED FROM TOP OF FIRE ACCESS ROADWAY TO LOWEST BRANCHES OF TREE AND MINIMUM OF 28 FEET IN WIDTH.
- Y. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS.
- Z. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE TOWN OF APPLE VALLEY GUIDELINES:

STREET TREES AND OTHER TREES SHALL BE SPACED:

- 20 FEET FROM TRAFFIC SIGNALS / STOP SIGNS
- 5 FEET (10 FEET FOR SEWER) FROM UNDERGROUND UTILITIES
- 10 FEET FROM ABOVE GROUND UTILITY STRUCTURES
- 10 FEET (5' FOR RESIDENTIAL <25 MPH) FROM DRIVEWAY ENTRIES
- 25 FEET FROM INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)
- 10 FEET FROM EASEMENT BOUNDARIES (SEWER, WATER, STORM DRAINS, ACCESS OR OTHER UTILITIES).
- STREET TREES SHALL BE PLANTED 3' OUTSIDE RIGHT-OF-WAY IF THE RIGHT-OF-WAY DOES NOT ALLOW SPACE, SUBJECT TO THE CITY ENGINEER'S APPROVAL.
- SCREEN ALL UTILITIES ACCORDING TO SPECIFIC AGENCY REQUIREMENTS.
- AA. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED WITHIN 30 DAYS OR A FINAL LANDSCAPE INSPECTION
- AB. A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET.
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY.
- AD. MULCH: ALL REQUIRED PLANTING AREAS AND AIL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION.



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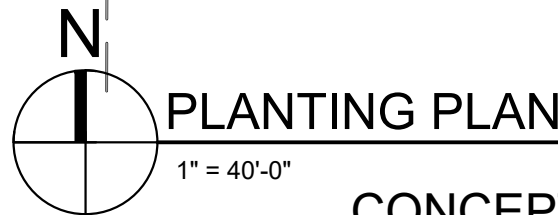
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CENTRAL ROAD



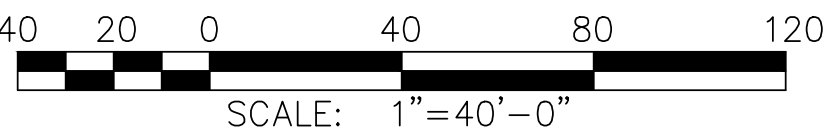
CONCEPT PLANT SCHEDULE

	SCREENING TREE FRAXINUS VELUTINA 'ARIZONA' / ARIZONA VELVET ASH FRAXINUS VELUTINA 'MODESTO' / MODESTO VELVET ASH PINUS HALEPENSIS / ALLEPO PINE PLATANUS X ACERIFOLIA / CALIFORNIA SYCAMORE PROSOPIS GLANDULOSA / HONEY MESQUITE RHUS LANCEA / AFRICAN SUMAC ULMUS PARVIFOLIA / LACEBARK ELM	153	24" BOX, M 24" BOX, M 24" BOX, M 24" BOX, H 24" BOX, H 24" BOX, L 24" BOX, L 24" BOX, M
	ACCENT TREE ARBUTUS X 'MARINA' / MARINA STRAWBERRY TREE CERCIDIUM MICROPHYLLUM / LITTLE LEAF PALO VERDE PISTACIA CHINENSIS / CHINESE PISTACHE PROSOPIS CHINENSIS / CHILEAN MESQUITE PRUNUS CERASIFERA / PURPLE-LEAF PLUM ULMUS PARVIFOLIA / LACEBARK ELM	55	24" BOX, L 24" BOX, L 24" BOX, M 24" BOX, L 24" BOX, M 24" BOX, M
	PARKING LOT TREE CERCIDIUM MICROPHYLLUM / LITTLE LEAF PALO VERDE PARKINSONIA ACULEATA / MEXICAN PALO VERDE ROBINIA PSEUDOACACIA / BLACK LOCUST ULMUS PARVIFOLIA / LACEBARK ELM	24	--- 24" BOX, L --- 24" BOX, M

	STREET TREE CEDRUS DEODARA / DEODAR CEDAR CERCIDIUM MICROPHYLLUM / LITTLE LEAF PALO VERDE CUPRESSUS ARIZONICA / ARIZONA CYPRESS ULMUS PARVIFOLIA / LACEBARK ELM	40	24" BOX, M 24" BOX, M 24" BOX, M 24" BOX, M
	PATIO SCREENING SHRUBS LEUCOPHYLLUM FRUTESCENS 'COMPACTA' / COMPACT TEXAS SAGE LIGUSTRUM JAPONICUM 'TEXANUM' / TEXAS JAPANESE PRIVET RHUS OVATA / SUGAR BUSH SALVIA X 'ALLEN CHICKERING' / ALLEN CHICKERING SAGE	200	5 GAL., L 5 GAL., M 5 GAL., L 5 GAL., L
	PATIO ACCENT SHRUBS AGAVE X 'BLUE GLOW' / BLUE GLOW AGAVE DASYLIRON WHEELERI / GREY DESERT SPOON HESPERALOE PARVIFLORA / RED YUCCA HESPERALOE PARVIFLORA 'YELLOW' / YELLOW YUCCA PENNISETUM SETACEUM 'RUBRUM' / PURPLE FOUNTAIN GRASS ROSMARINUS OFFICINALIS 'TUSCAN BLUE' / TUSCAN BLUE ROSEMARY	320	15 GAL., L 5 GAL., L 5 GAL., L 5 GAL., L 1 GAL., L 5 GAL., L
	SCREENING SHRUBS CHILOPSIS LINEARIS / DESERT WILLOW - MULTI TRUNK SIMMONDSIA CHINENSIS / JOJOBA CALLIANDRA ERIOPHYLLA / FAIRY DUSTER LARREA TRIDENTATA / CREOSOTE BUSH LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE LIGUSTRUM JAPONICUM 'TEXANUM' / TEXAS JAPANESE PRIVET RHUS OVATA / SUGAR BUSH	26,018 SF 155,743	--- --- --- --- --- ---

	PARKING ISLAND SHRUBS ACACIA REDOLENS 'LOW BOY' / LOW BOY BANK CATCLAW ATRIPLEX SEMIBACCATA / AUSTRALIAN SALT BUSH BACCHARIS PILULARIS / COYOTE BRUSH ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY	7,130 SF	---
	ACCENT SHRUBS DASYLIRON WHEELERI / GREY DESERT SPOON ESCHSCHOLZIA CALIFORNICA / CALIFORNIA POPPY FREMONTODENDRON CALIFORNICUM / CALIFORNIA FLANNEL BUSH GAZANIA X 'SUNBURST' / SUNBURST GAZANIA HESPERALOE PARVIFLORA / RED YUCCA LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE PENNISETUM SETACEUM 'RUBRUM' / PURPLE FOUNTAIN GRASS ROMNEYA COULTERI / MATILDA POPPY SALVIA X 'ALLEN CHICKERING' / ALLEN CHICKERING SAGE ZAUSCHNERIA CALIFORNICA / CALIFORNIA FUCHSIA	34,957 SF	---
	STREETSCAPE SHRUBS BACCHARIS PILULARIS / COYOTE BRUSH CALLIANDRA ERIOPHYLLA / FAIRY DUSTER COTONEASTER HORIZONTALIS / ROCKSPRAY COTONEASTER DASYLIRON WHEELERI / GREY DESERT SPOON FOUQUIERIA SPLENDENS / COTILLO LARREA TRIDENTATA / CREOSOTE BUSH LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE RHUS OVATA / SUGAR BUSH ZAUSCHNERIA CALIFORNICA / CALIFORNIA FUCHSIA	51,759 SF	---

NOTE:
A. ALL TREES SHALL BE A MINIMUM OF 24" BOX SIZE



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