



KIRK MOELLER ARCHITECTS, INC.
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760-814-4818


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HICKORY STREET RESIDENTIAL

OFFICE TO MULTI-FAMILY RESIDENTIAL CONVERSION

240 S. HICKORY STREET
ESCONDIDO, CA

HICKORY STREET RESIDENTIAL
240 S. HICKORY STREET
ESCONDIDO CA 92025

VICINITY MAP	CODES	PROJECT INFORMATION	PROJECT DIRECTORY	SHEET INDEX																																	
	<p>2022 CALIFORNIA RESIDENTIAL CODE</p> <p>2022 CALIFORNIA BUILDING CODE</p> <p>2022 CALIFORNIA FIRE CODE</p> <p>2022 CALIFORNIA PLUMBING CODE</p> <p>2022 CALIFORNIA MECHANICAL CODE</p> <p>2022 CALIFORNIA ELECTRICAL CODE</p> <p>2022 CALIFORNIA ENERGY CODE</p> <p>2022 CALIFORNIA EXISTING BUILDING CODE</p> <p>2022 CALIFORNIA GREEN BUILDING STANDARD CODE</p> <p>ZONING</p> <p>EXISTING LAND USE: O OFFICE EXISTING ZONING: HP: HOSPITAL PROFESSIONAL</p> <p>PROPOSED LAND USE: U URBAN PROPOSED ZONING: PD-R: PLANNED DEVELOPMENT RESIDENTIAL</p>	<p>ASSESSORS PARCEL NUMBER: 229-492-14-00 ADDRESS: 240 S. HICKORY STREET ESCONDIDO, CA 92025</p> <p>GROSS LOT AREA: 30,044 S.F. / 0.69 AC NET LOT AREA (VALLEY DEDICATION): 29,049 S.F. / 0.66 AC BUILDING LOT COVERAGE: 8,832 S.F. / 29,043 S.F. = 32% LANDSCAPE COVERAGE: 8,977 S.F. / 29,043 S.F. = 34%</p> <p>TYPE OF CONSTRUCTION: V-B OCCUPANCY: R-2 PROPOSED USE: RESIDENTIAL APARTMENTS FIRE SPRINKLERS: YES (NFPA 13R) FIRE ALARM: YES STORIES: 3</p> <p>FLOOR AREAS (CBF): LEVEL 1: 8,477 S.F. LEVEL 2: 8,477 S.F. LEVEL 3: 8,477 S.F. TOTAL: 19,431 S.F.</p> <p>UNIT AREAS: LEVEL 1 - 7 UNITS: 4,147 S.F. LEVEL 2 - 7 UNITS: 4,611 S.F. LEVEL 3 - 7 UNITS: 4,388 S.F. TOTAL: 13,037 S.F.</p> <p>UNIT TYPES: 1-BEDROOM UNITS: 9 2-BEDROOM UNITS: 12 TOTAL: 21</p> <p>STORAGE SPACE: LEVEL 1: 1,160 C.F. LEVEL 2: 2,384 C.F. LEVEL 3: 2,378 C.F. TOTAL PROVIDED: 5,922 C.F. TOTAL REQUIRED: 21 UNITS X 80 C.F. / UNIT = 1,680 C.F.</p>	<p>OWNER: ESCONDIDO INVESTMENTS, LLC CONTACT: DARSHAN PATEL 2865 CHAIMO DEL RIO NORTH, SUITE 300 SAN DIEGO, CA 92108 T: 619-292-3349 darshanp@totalrealestategroup.com</p> <p>CIVIL: HOWES, WELER, LANDY - PLANNING & ENGINEERING CONTACT: SALLY SCHIFMAN 2888 LOKER AVENUE EAST, SUITE 217 CARLSBAD, CA 92010 T: 760-428-2280 sashifman@hw-pa.com</p> <p>ARCHITECT: KIRKMOELLER ARCHITECTS, INC. CONTACT: KIRK MOELLER 2888 LOKER AVENUE EAST, SUITE 220 CARLSBAD, CA 92010 T: 760-428-8008 kmo@kmaarchitects.com</p> <p>SUMMARY OF PROJECT DESCRIPTION</p> <p>EXISTING OFFICE BUILDING TO BE CONVERTED TO SUPPORT A TOTAL OF 21 RESIDENTIAL UNITS.</p>	<p>ARCHITECTURAL</p> <p>AD.1 COVER SHEET</p> <p>A1.1 SITE PLAN</p> <p>A2.1 LEVEL 1 FLOOR PLAN</p> <p>A2.2 LEVEL 2 FLOOR PLAN</p> <p>A2.3 LEVEL 3 FLOOR PLAN</p> <p>A2.4 ROOF PLAN</p> <p>AS.1 BUILDING ELEVATIONS</p> <p>AS.2 BUILDING ELEVATIONS</p> <p>AD.2 TRASH ENCLOSURE DETAILS</p> <p>CIVIL</p> <p>1 OF 8 TITLE SHEET</p> <p>2 OF 8 IMPROVEMENT PLAN</p> <p>3 OF 8 GRADING PLAN</p> <p>4 OF 8 EROSION CONTROL PLAN</p> <p>5 OF 8 EROSION CONTROL DETAILS</p> <p>6 OF 8 FIRE DEPT. ACCESS PLAN</p> <p>LANDSCAPE</p> <p>1 OF 2 PLANTINGS DEMO PLAN</p> <p>2 OF 2 LANDSCAPE PLAN</p>																																	
<p>DEFERRED SUBMITTALS</p> <p>- FIRE SPRINKLER SYSTEM, NFPA 13R</p> <p>- FIRE ALARM, NFPA 72</p> <p>SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. (SECTION 107.3.4.1)</p>	<p>BUILDING CODE ALLOWABLE AREA CALCULATIONS</p> <p>TYPE OF CONSTRUCTION: V-B OCCUPANCY: R-2 DESCRIPTION OF USE: RESIDENTIAL EXISTING USE: COMMERCIAL FULLY SPRINKLERED: NFPA 13R YES FIRE ALARM: YES STAIRWELLS: NO STORIES: 3 (3 ALLOWED) HEIGHT: 40'-0" MAX. ALLOWABLE FLOOR: 14,000</p> <p>ALLOWABLE AREA (TYPE V-B, R-2 OCCUPANCY) BASIC ALLOWABLE FLOOR AREA PER TABLE 508.2 (A): 7,000 ALLOWABLE AREA FOR NON-SPRINKLERED (NS): 7,000 AREA INCREASE FOR FRONTAGE (F): (75' TO 100') 0.75 OPEN SPACE: 30' OR GREATER TOTAL ALLOWABLE FLOOR AREA PER SECTION 606 EQUATION 6-2: 12,250 PER FLOOR</p> <p>EXISTING BUILDING FLOOR AREA (CBF): LEVEL 1: (COMPLIES) 8,477 S.F. LEVEL 2: (COMPLIES) 8,477 S.F. LEVEL 3: (COMPLIES) 8,477 S.F. TOTAL: 19,431 S.F.</p>	<p>DENSITY</p> <p>MAXIMUM ALLOWED DENSITY (MO D.U. PER ACRE): (30 X 0.68) = 20 UNITS PROPOSED DEED-RESTRICTED LOW-INCOME UNITS: 20% OF TOTAL UNIT COUNT (0.2 X 20 = 4 UNITS) NUMBER OF DENSITY BONUS UNITS ALLOWED: 20% OF 20 UNITS = 7 NUMBER OF DENSITY BONUS UNITS REQUESTED: 1 TOTAL NUMBER OF UNITS PROPOSED: 21 NUMBER OF CONCESSIONS ALLOWED: 1 NUMBER OF CONCESSIONS REQUESTED: 1</p>	<p>BUILDING NOTES</p> <ol style="list-style-type: none"> ALL COMMON AREAS NEED TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 11B FOR ALTERATIONS. AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDINGS WITH A GROUP R FIRE AREA. ALL UNITS SHALL HAVE SMOKE ALARMS INSTALLED. 	<p>LEGAL DESCRIPTION</p> <p>THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:</p> <p>LOTS 2, 3, 4 AND 5, BLOCK "B" OF ESCONDIDO, IN THE CITY OF ESCONDIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 336, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 10, 1968, TOGETHER WITH THE NORTHERLY 10.00 FEET OF THE EAST THIRD AVENUE, ADJOINING SAID LOTS 2, 3, 4 AND 5 ON THE SOUTH, NOW VADATED AND CLOSED TO PUBLIC USE BY RESOLUTION NO. 172 OF THE BOARD OF TRUSTEES OF THE CITY OF ESCONDIDO, RECORDED AUGUST 11, 1947 IN BOOK 243, PAGE 383 OF OFFICIAL RECORDS.</p>																																	
	<p>DEVELOPMENT STANDARDS</p> <p>R-5 ZONE SETBACKS:</p> <table border="1"> <thead> <tr> <th></th> <th>REQUIRED</th> <th>EXISTING</th> </tr> </thead> <tbody> <tr> <td>FRONT</td> <td>15'</td> <td>10'-1"</td> </tr> <tr> <td>STREET SIDE</td> <td>10'</td> <td>8'-10"</td> </tr> <tr> <td>INTERIOR SIDE</td> <td>5' PLUS 9' FOR 3RD STORY</td> <td>72'</td> </tr> <tr> <td>REAR</td> <td>6'</td> <td>66'-10"</td> </tr> </tbody> </table>		REQUIRED	EXISTING	FRONT	15'	10'-1"	STREET SIDE	10'	8'-10"	INTERIOR SIDE	5' PLUS 9' FOR 3RD STORY	72'	REAR	6'	66'-10"	<p>PARKING</p> <p>EXISTING PARKING</p> <p>STANDARD STALLS: 58 SP. ADA STALLS: 3 SP. TOTAL: 68 SP.</p> <p>EXISTING PARKING TO REMAIN</p> <p>STANDARD STALLS: 48 SP. ADA STALLS: 3 SP. TOTAL: 51 SP.</p> <p>PARKING REQUIRED</p> <p>1 BEDROOM UNIT (1.5 SPACE PER UNIT): (9 UNITS X 1.5) 13.5 SP. 2 BEDROOM UNIT (1.75 SPACE PER UNIT): (12 UNITS X 1.75) 21 SP. GUEST (1.8 SPACE PER 4 UNITS): (21 UNITS / 4) 5.25 SP. TOTAL: (ROUNDED TO 40) 39.75 SP.</p>	<p>ACCESSIBILITY NOTES</p> <p>ACCESSIBILITY REQUIREMENTS PER CURRENT CODE SHALL BE MET AND INCLUDED IN BUILDING PERMIT PLAN SET.</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>9-16-23</td> <td></td> </tr> <tr> <td>2</td> <td>2-8-24</td> <td></td> </tr> <tr> <td>3</td> <td>3-13-24</td> <td></td> </tr> <tr> <td>4</td> <td>7-25-24</td> <td></td> </tr> <tr> <td>5</td> <td>8-11-24</td> <td></td> </tr> </tbody> </table> <p>Sheet Title: TITLE SHEET</p> <p>Sheet Number: A0.1</p>	NO.	DATE	DESCRIPTION	1	9-16-23		2	2-8-24		3	3-13-24		4	7-25-24		5	8-11-24	
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Date:	9-29-2023
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Sheet Title:
TITLE SHEET

Sheet Number:

A0.1



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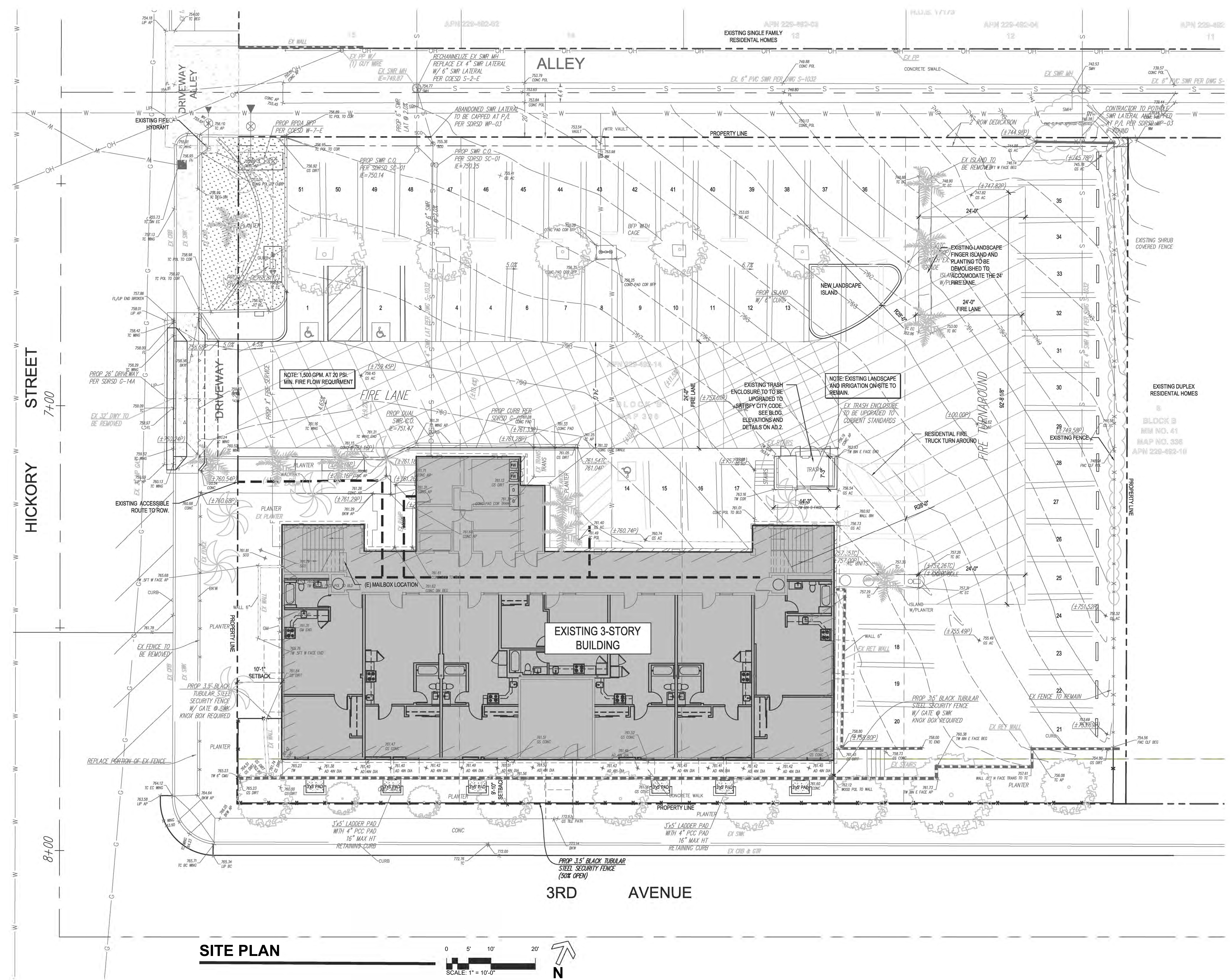
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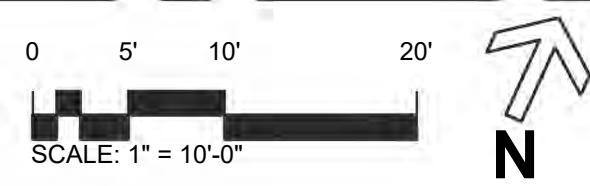
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Sheet Title:
SITE PLAN

Sheet Number:
A1.1



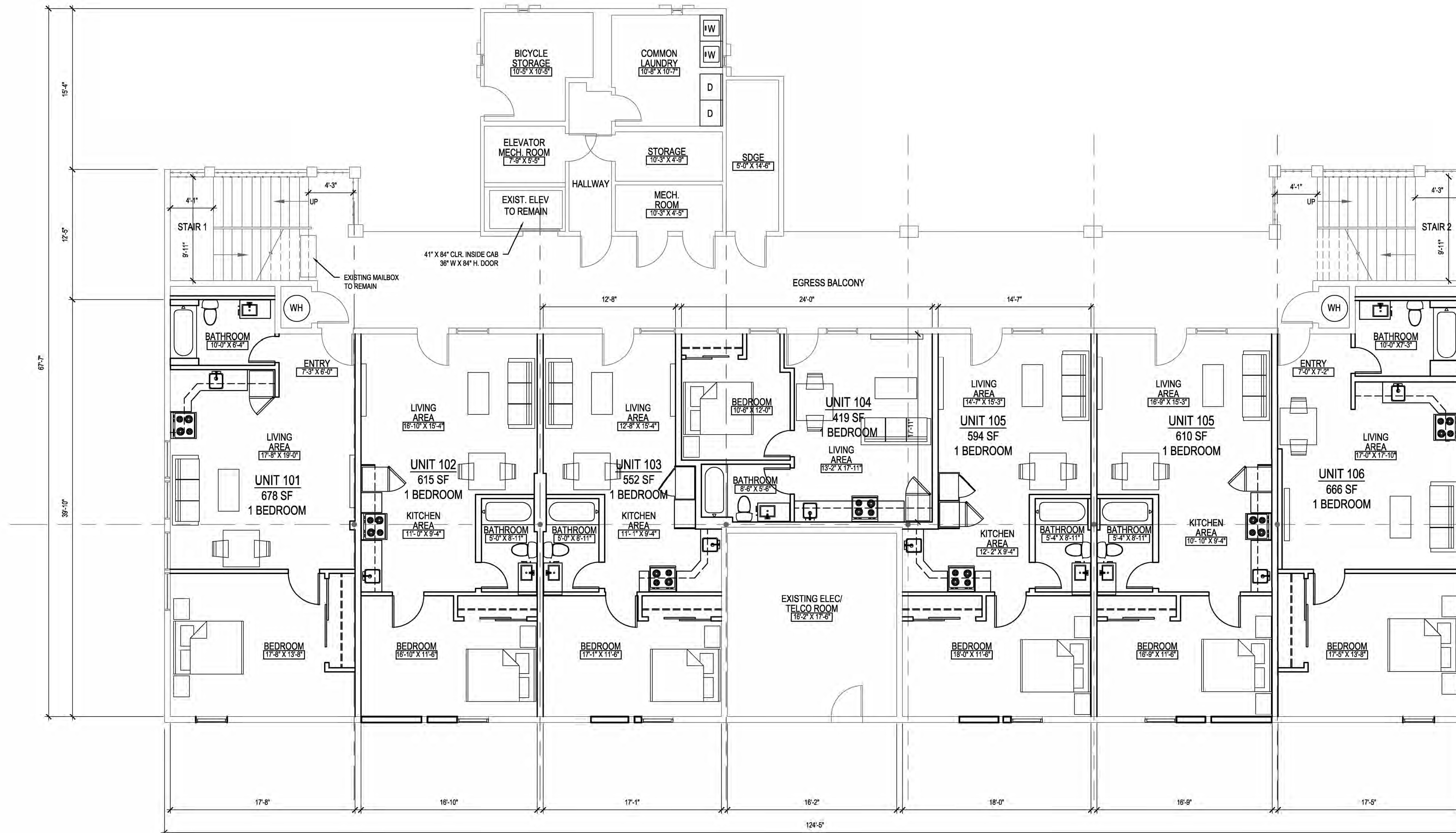
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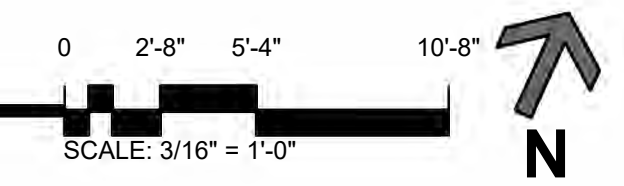


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1 PROPOSED LEVEL 1 FLOOR PLAN



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Sheet Title:
 LEVEL 1
 FLOOR PLAN

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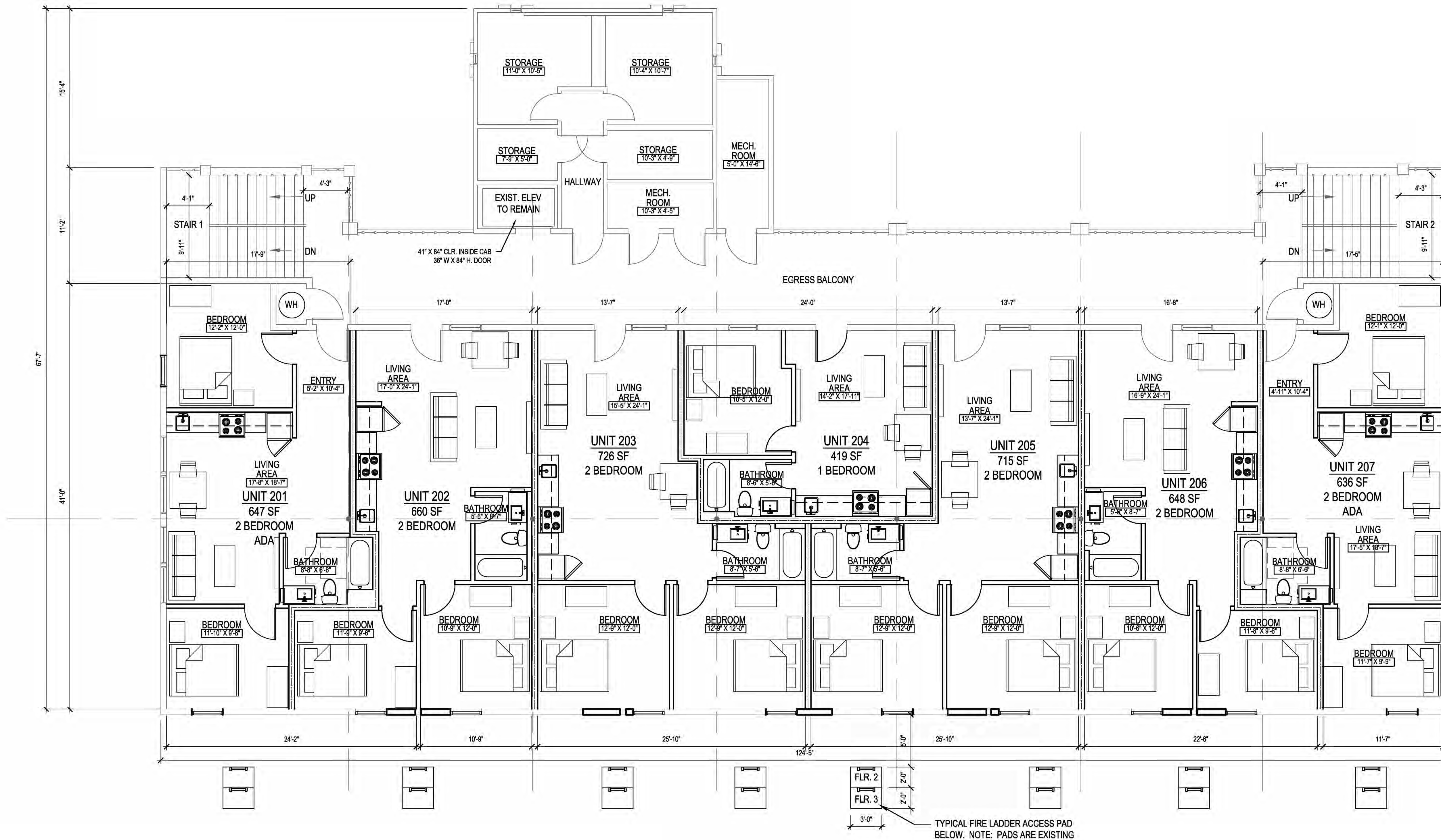
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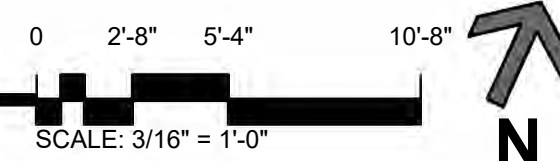
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**LEVEL 2
 FLOOR PLAN**

Sheet Number:

A2.2



1 PROPOSED LEVEL 2 FLOOR PLAN





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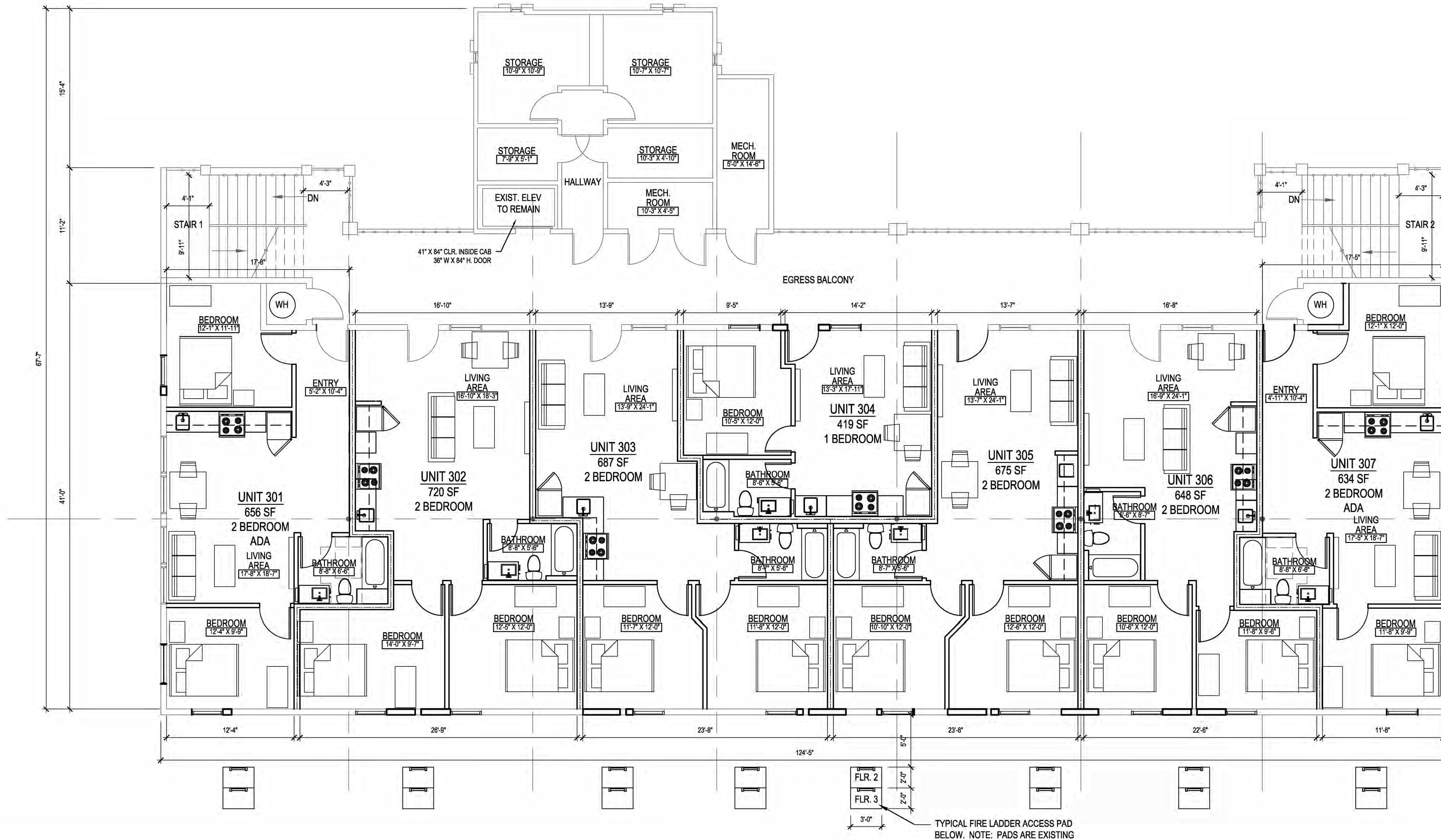
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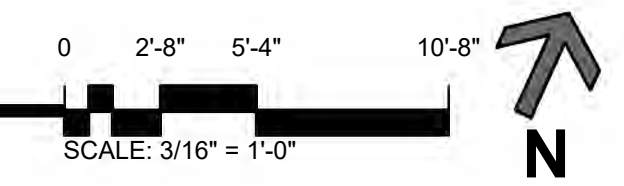
Sheet Title:
**LEVEL 3
 FLOOR PLAN**

Sheet Number:

A2.3



PROPOSED LEVEL 3 FLOOR PLAN



1



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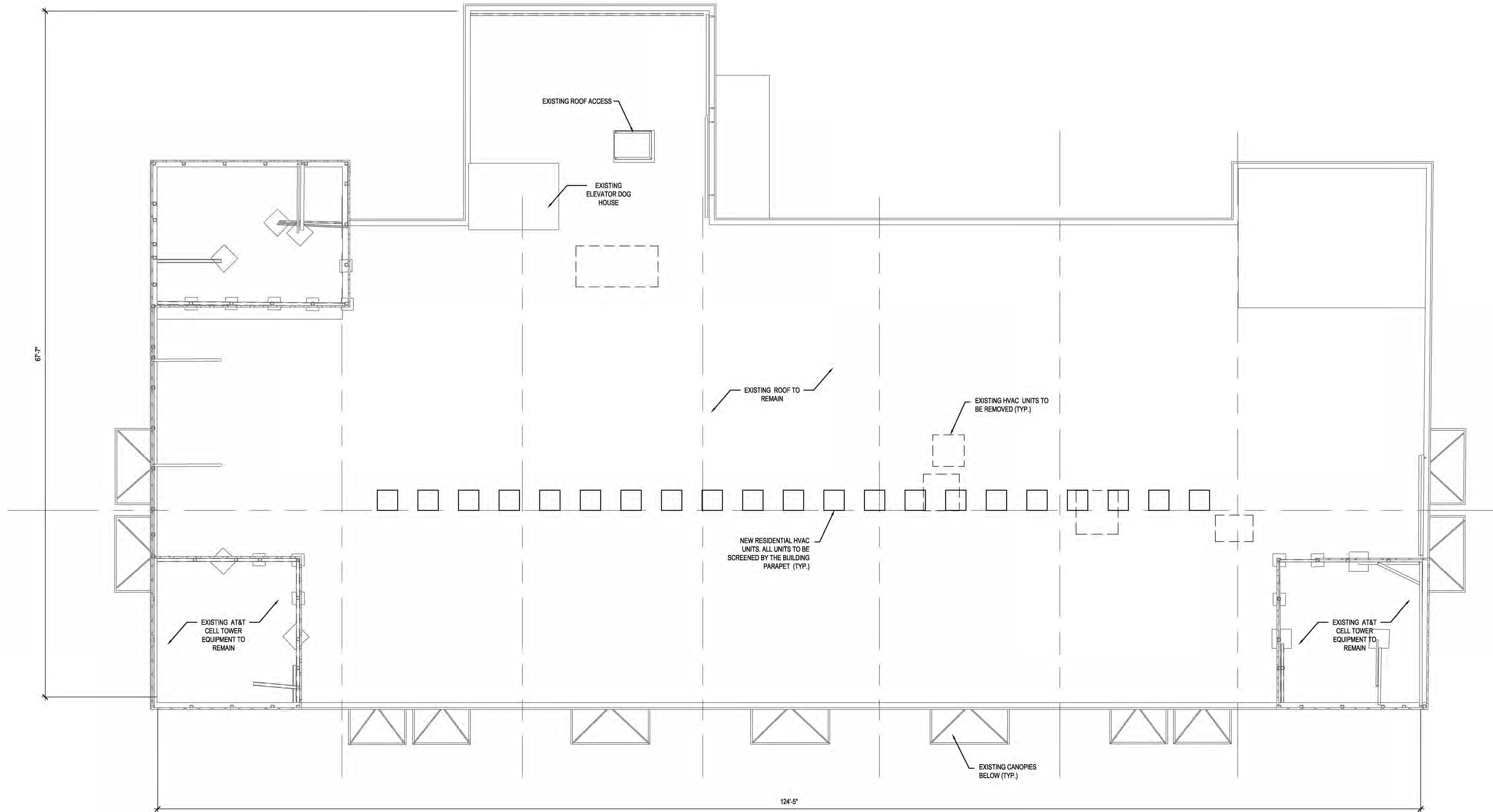
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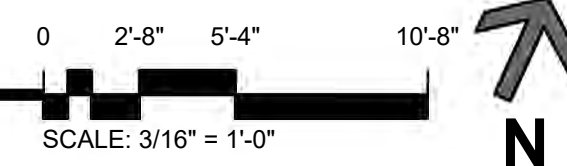
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Sheet Title:
ROOF PLAN

Sheet Number:
A2.4



1 ROOF PLAN



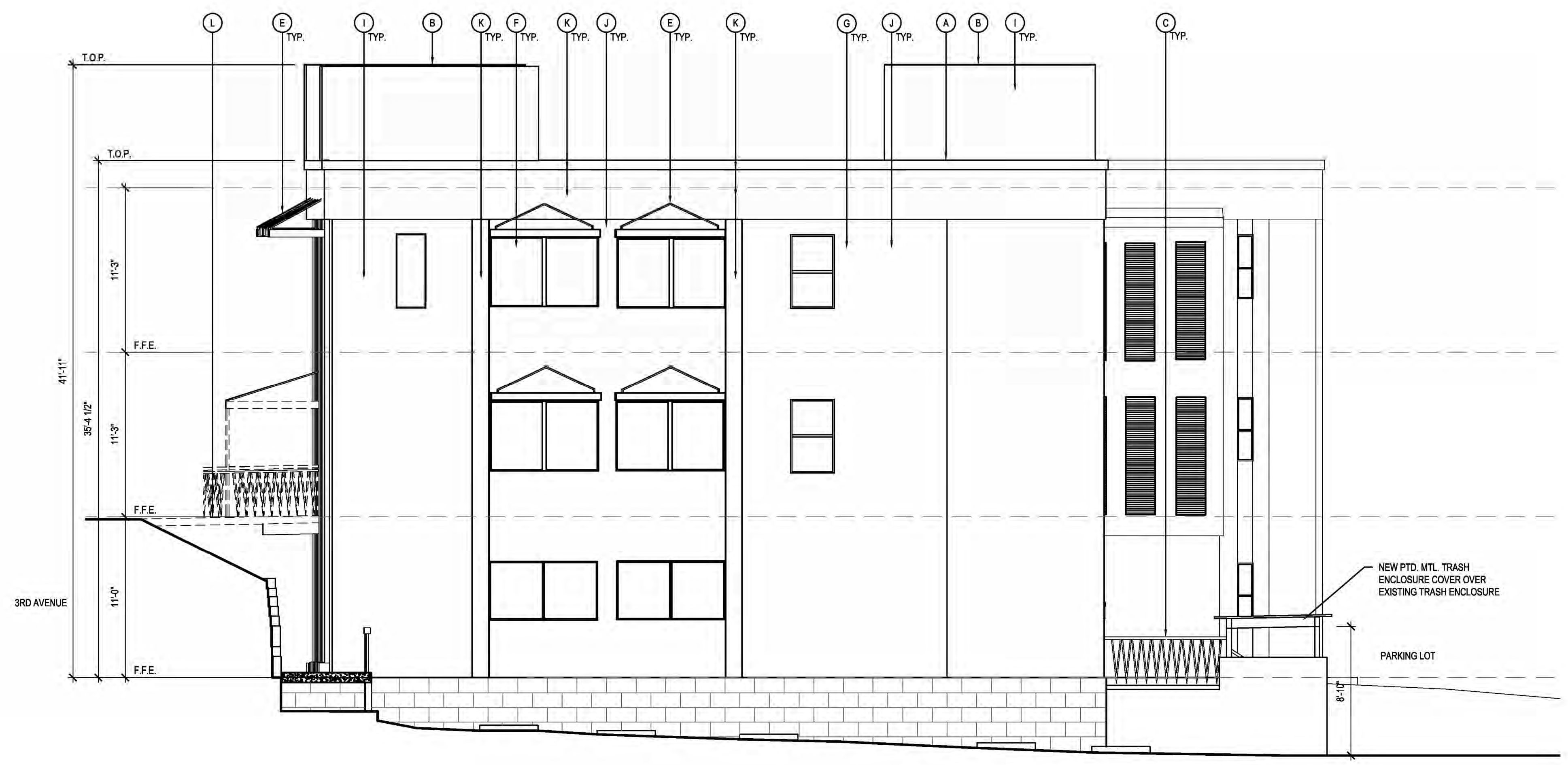
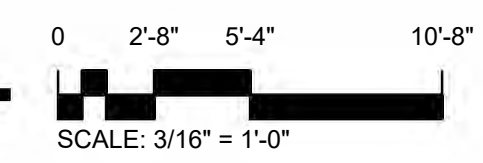


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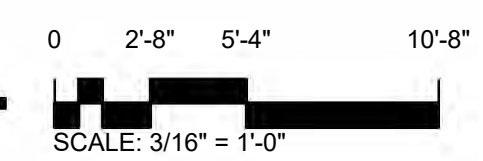
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1 SOUTH ELEVATION



2 EAST ELEVATION



GENERAL NOTES	
1.	T.O.P. = TOP OF PARAPET ELEVATION.
2.	F.F.E. = FINISH FLOOR ELEVATION.
3.	ALL NOTES ARE TYPICAL.
4.	ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS U.N.O.
5.	ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
6.	ALL ROOF MOUNTED EQUIPMENT TO BE SCREENED BY BUILDING PARAPET.

COLOR/ MATERIAL SCHEDULE	
(A)	EXISTING ROOF TO BE REPAIRED AS NEEDED
(B)	EXISTING PARAPET, REPAIR AS NEEDED, TYP.
(C)	EXISTING GUARDRAIL TO REMAIN, REPAIR AS NEEDED, TYP.
(D)	EXISTING BALCONY TO ACCESS ROOMS
(E)	EXISTING CANOPY TO REMAIN, REPAIR AS NEEDED, TYP. PAINT PER (K)
(F)	NEW RESIDENTIAL WINDOW, TYP.
(G)	EXISTING WALL FINISH TO REMAIN, REPAIR AS NEEDED, TYP.
(H)	NEW RESIDENTIAL DOOR, TYP.
(I)	NEW PAINT (MAIN BODY) - SHERWIN WILLIAMS SW7004 SNOWBOUND
(J)	NEW PAINT (ACCENT) - SHERWIN WILLIAMS SW7017 DORIAN GRAY
(K)	NEW PAINT (TRIM DARK ACCENTS) - SHERWIN WILLIAMS SW7019 GAUNTLET GRAY
(L)	BRIDGE AND COMPONENTS TO BE REMOVED
(M)	EXISTING DOOR TO REMAIN, REPAIR AS NEEDED, TYP.

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BUILDING ELEVATIONS

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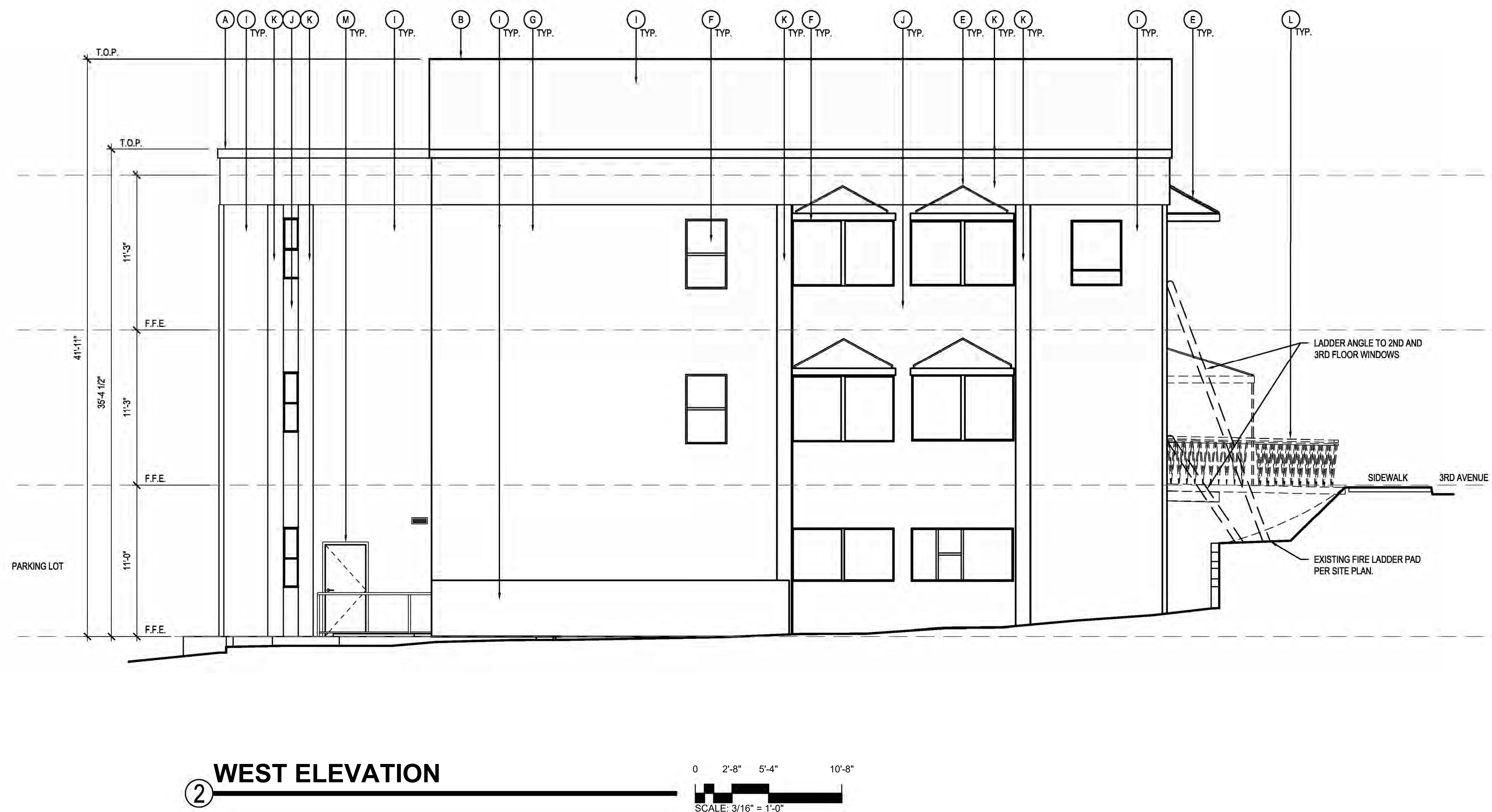
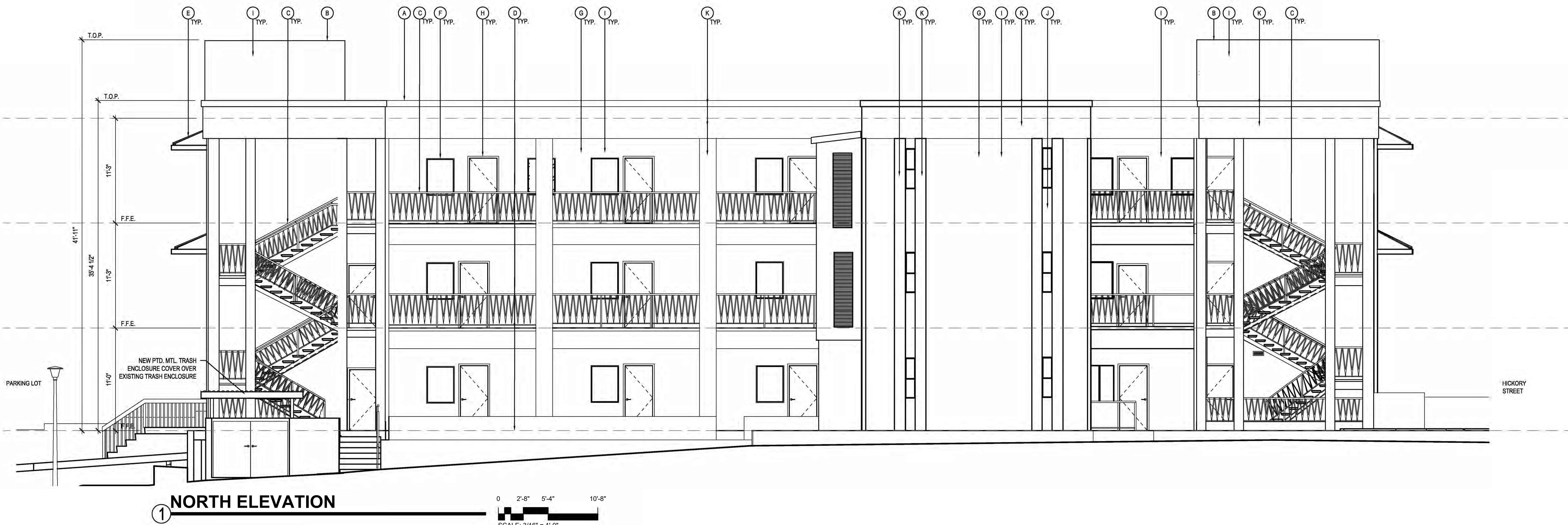
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Sheet Title:

BUILDING ELEVATIONS

Sheet Number:

A3.2



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6.	ALL ROOF MOUNTED EQUIPMENT TO BE SCREENED BY BUILDING PARAPET.

COLOR/MATERIAL SCHEDULE	
(A)	EXISTING ROOF TO BE REPAIRED AS NEEDED
(B)	EXISTING PARAPET, REPAIR AS NEEDED, TYP.
(C)	EXISTING GUARDRAIL TO REMAIN, REPAIR AS NEEDED, TYP.
(D)	EXISTING BALCONY TO ACCESS ROOMS
(E)	EXISTING CANOPY TO REMAIN, REPAIR AS NEEDED, TYP. PAINT PER (K)
(F)	NEW RESIDENTIAL WINDOW, TYP.
(G)	EXISTING WALL FINISH TO REMAIN, REPAIR AS NEEDED, TYP.
(H)	NEW RESIDENTIAL DOOR, TYP.
(I)	NEW PAINT (MAIN BODY) - SHERWIN WILLIAMS SW7004 SNOWBOUND
(J)	NEW PAINT (ACCENT) - SHERWIN WILLIAMS SW7017 DORIAN GRAY
(K)	NEW PAINT (TRIM DARK ACCENTS) - SHERWIN WILLIAMS SW7019 GAUNTLET GRAY
(L)	BRIDGE AND COMPONENTS TO BE REMOVED
(M)	EXISTING DOOR TO REMAIN, REPAIR AS NEEDED, TYP.



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HICKORY STREET RESIDENTIAL
240 S. HICKORY STREET
ESCONDIDO CA 92025

Date:	3-29-2023
Project:	HICKORY STREET CONVERSION
File:	AD.2
Revisions:	
△	9-18-23
△	2-8-24
△	3-13-24
△	7-22-24
△	9-11-24

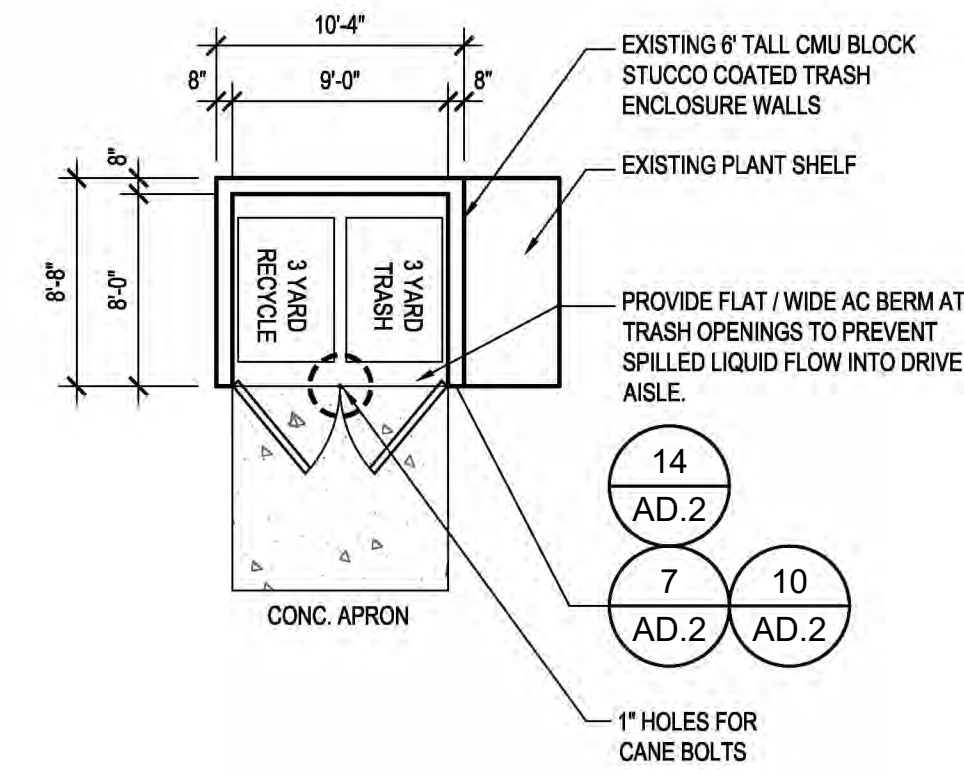
Sheet Title:
DETAILS

Sheet Number:

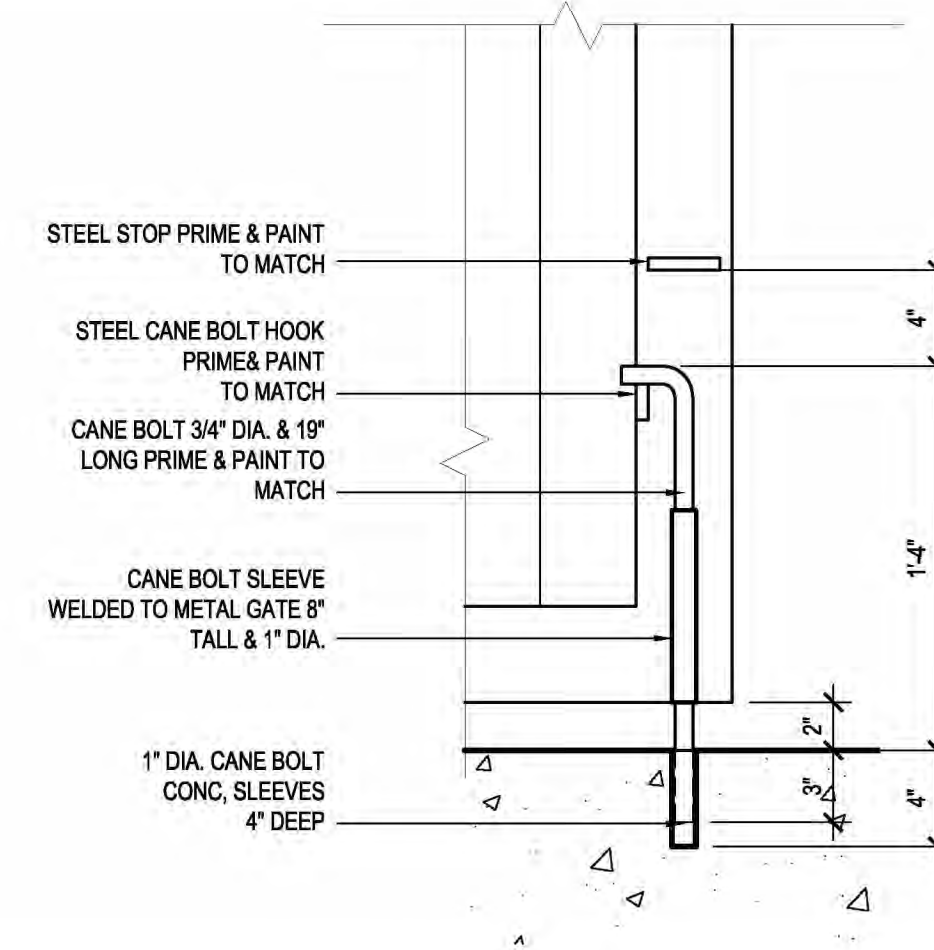
AD.2

TRASH ENCLOSURE IS TO BE FITTED TO COMPLY WITH STORM WATER BMP REQUIREMENTS.

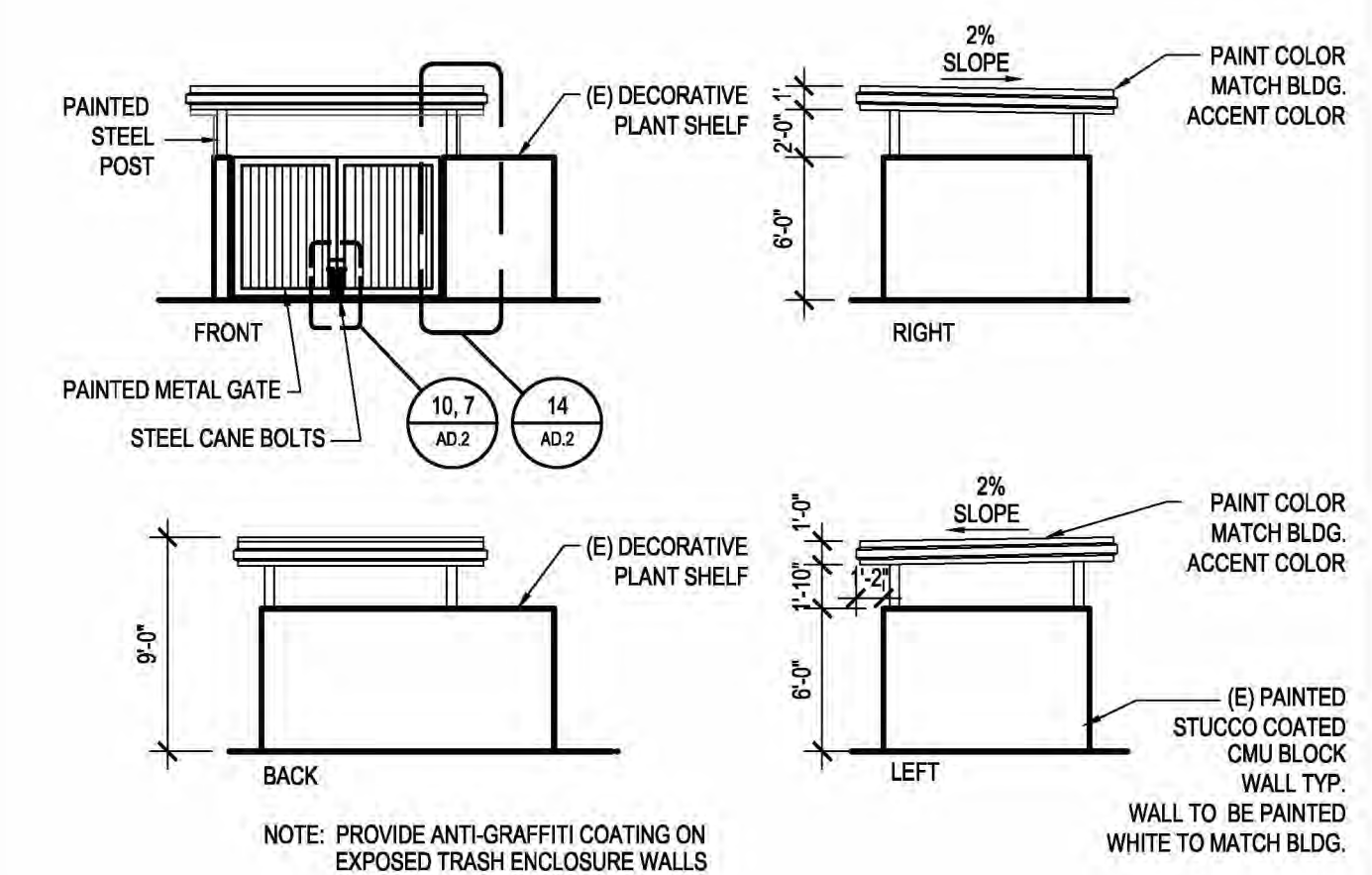
TRASH ENCLOSURE IS TO BE SELF CONTAINED. SEE BERM NOTES BELOW.



TRASH ENCLOSURE PLAN 1/8"=1'-0" 3

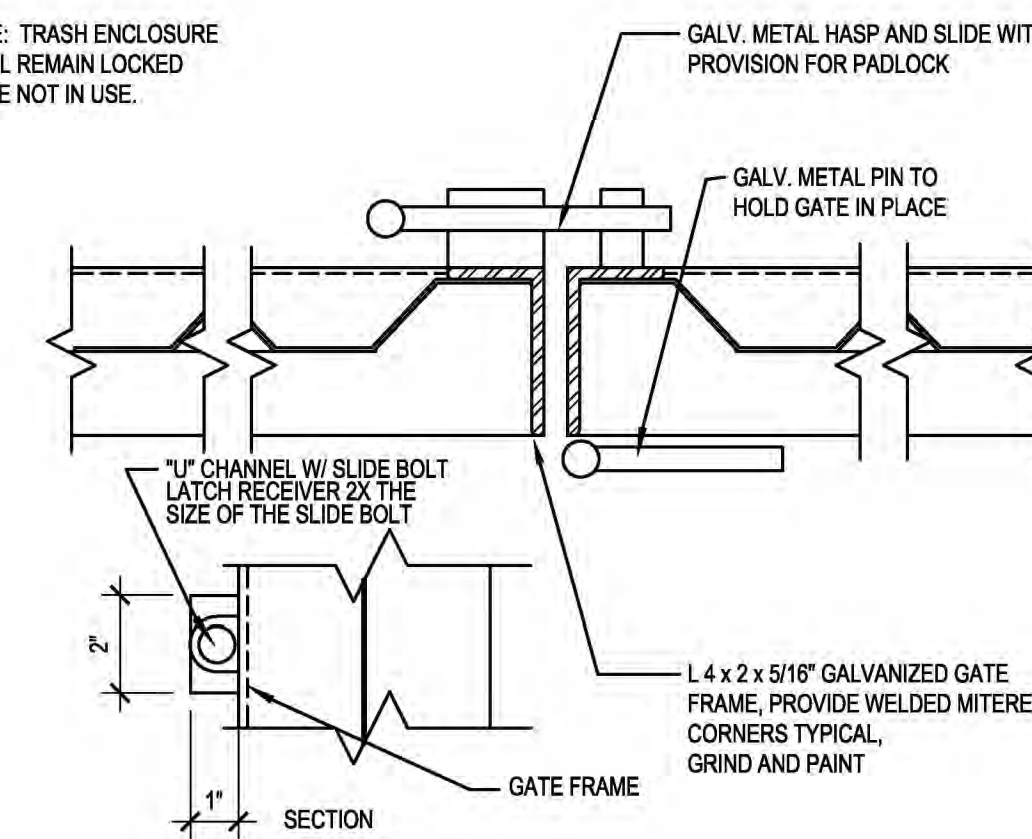


CANE BOLT @ METAL GATE 1 1/2"=1'-0" 7

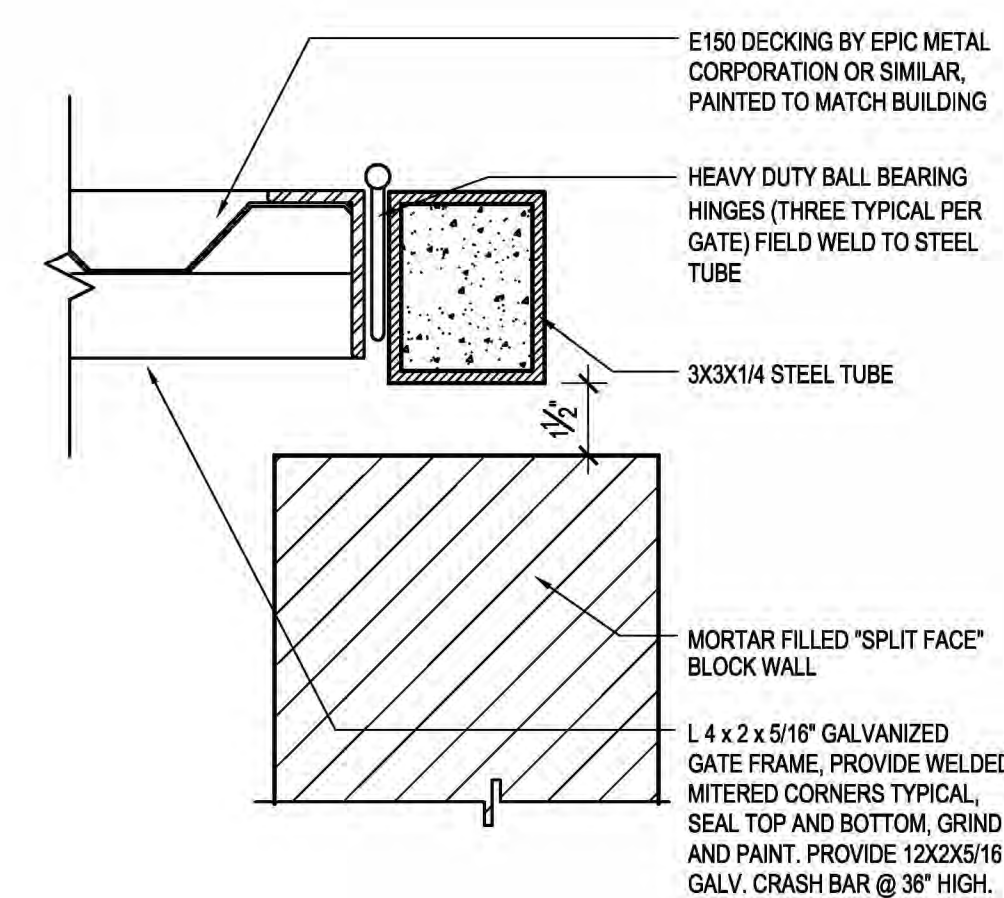


TRASH ENCLOSURE ELEV. SCALE 8

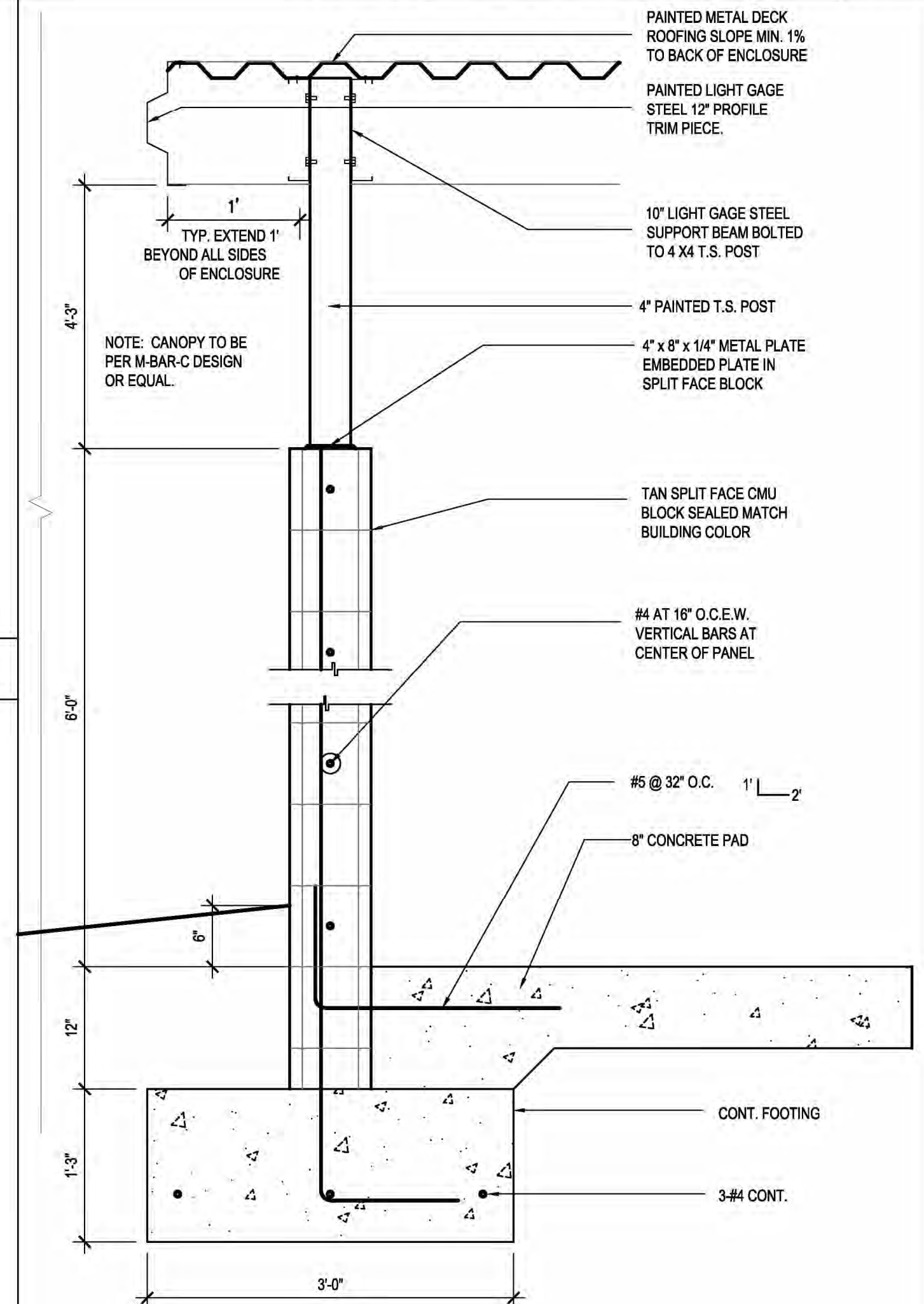
NOTE: TRASH ENCLOSURE SHALL REMAIN LOCKED WHILE NOT IN USE.



GATE LATCH 3"=1'-0" 10



GATE JAMB 3"=1'-0" 13



TRASH ENCLOSURE SECTION 1"=1'-0" 14



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OMEGA
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HICKORY STREET RESIDENTIAL
240 S. HICKORY STREET
ESCONDIDO CA 92025

Date:	9/8/2024
Project:	HICKORY STREET CONVERSION
File:	
Revisions:	
1	9-18-23
2	2-8-24
3	3-8-24

Sheet Title:
SITE PLAN

Sheet Number:
C-1

LEGEND

EXISTING ITEMS:	SYMBOL
PROJECT BOUNDARY	R/W
RIGHT OF WAY LINE	R/W
EXISTING INTERIOR LOT LINES TO BE REMOVED	---
STREET CENTERLINE	---
EASEMENT	---
EXISTING CONTOUR	---
EXISTING WATER MARK	---
EXISTING SEWER MARK	---
EXISTING WATER METER	---
EXISTING FIRE HYDRANT	---
EXISTING LIGHT	---
EXISTING POWER POLE	---
EXISTING GATE VALVE	---
EXISTING SEWER MANHOLE	---
EXISTING MISC. UTILITY BOX	---
EXISTING BUILDING	---
EXISTING FENCE	---
EXISTING WALL	---
EXISTING CURB & GUTTER	---
EXISTING VEGETATION	---
EXISTING STRIPING	---
EXISTING SPOT ELEVATION	---
EXISTING ELEVATION	---
PROPOSED ITEMS:	
PROPOSED CONTOUR	---
PROPOSED CURB	---
PROPOSED CURB & GUTTER	---
PROPOSED REBORN GUTTER	---
PROPOSED DRIVEWAY	---
PROPOSED DRIVEWAY	---
PROPOSED SIDEWALK	---
PROPOSED SEWER POINT OF CONNECTION	---
PROPOSED DOMESTIC WATER POINT OF CONNECTION	---
PROPOSED IRRIGATION POINT OF CONNECTION	---
PROPOSED FIRE SERVICE POINT OF CONNECTION	---
PROPOSED WATER METER	---
PROPOSED FIRE SERVICE BACKFLOW	---
PROPOSED FIRE HYDRANT	---
PROPOSED PARKING STRIPING	---
PROPOSED FIRE SERVICE	---
PROPOSED SEWER LATERAL	---
PROPOSED SEWER MANHOLE	---
PROPOSED TRASH ENCLOSURE	---
PROPOSED FENCE	---
PROPOSED COMMON AREA	---
PROPOSED AC PAVEMENT	---

LIST OF ABBREVIATIONS

A.C.	ASPHALTIC CONCRETE LP	LOW POINT
A.D.	AREA DRAIN	MANHOLE
B.M.	BENCHMARK	MSL
B.O.P.	BOTTOM OF PIPE	NO. OR NUMBER
B.O.W.	BOTTOM OF WALL	N
CONC.	CONCRETE	N/S
CB	CATCH BASIN	±
CL	CENTER LINE	P
CO	CLEAN OUT	PE
CY	CUBIC YARD	PROF. ENGINEER
()	DEGRESS	PROF. PROPOSED
EA	EAST OR EASTING	PVC
EG	EXISTING GRADE	R
EL	ELEVATION	RM
EP	EDGE OF PAVEMENT	SD
EX. / EXIST	EXISTING	SERSD
()	FEET OR MINUTES	SF
FF	FINISHED FLOOR	SS OR SWR
FG	FINISH GRADE	STA
FL	FLOW LINE	STD
FS	FIRE	SMR
G.B.	GRADE BREAK	TC
GR	GRADE	TOP OF CURB
HDP	HIGH DENSITY POLYETHYLENE	TOP OF FLOORING
HP	HIGH POINT	TOP OF PIPE
H.C.	HANDICAP	TYP.
()	INCHES OR SECONDS	TOP OF WALL
E	INVERT ELEVATION	W/
		WM
		WATER METER

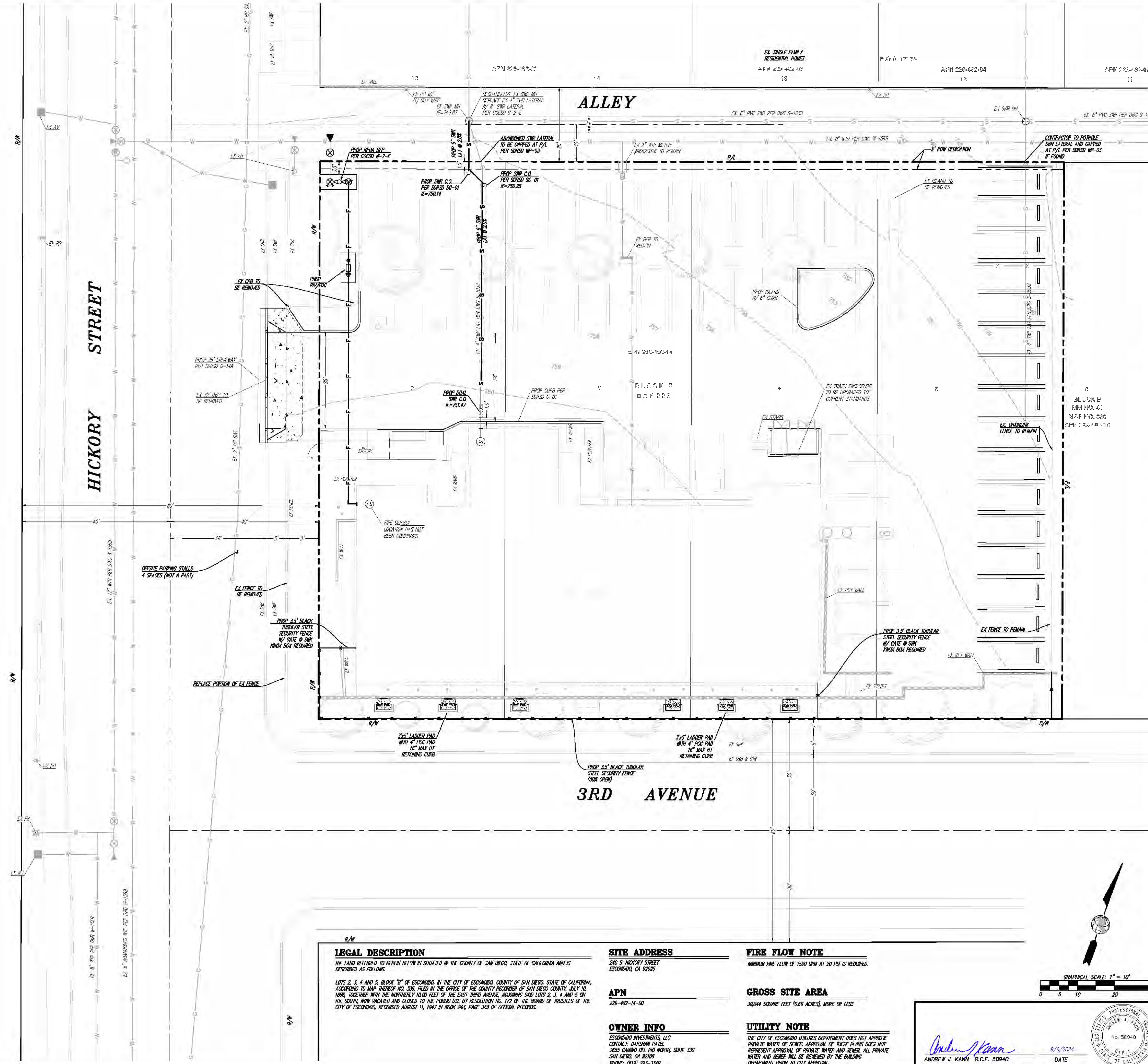
GRADING QUANTITIES

GRADED AREA	0 [AC]	MAX. CUT DEPTH	0 FT
CUT QUANTITIES	0 [CY]	MAX. FILL DEPTH	0 FT
FILL QUANTITIES	0 [CY]		
UNDERCUT QUANTITIES	0 [CY]		
EXPORT QUANTITIES	0 [CY]		
DISTURBED AREA	0 [AC]		

THIS PROJECT PROPOSES TO EXPORT/IMPORT 0 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE.



VICINITY MAP
N.T.S. (NOT TO SCALE)



LEGAL DESCRIPTION
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:
LOTS 2, 3, 4 AND 5, BLOCK "B" OF ESCONDIDO, IN THE CITY OF ESCONDIDO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 336, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 10, 1988, TOGETHER WITH THE NORTHERLY 10.00 FEET OF THE EAST THIRD AVENUE, ADJOINING SAID LOTS 2, 3, 4 AND 5 ON THE SOUTH, NOW UNPLATTED AND CLOSED TO THE PUBLIC USE BY RESOLUTION NO. 172 OF THE BOARD OF TRUSTEES OF THE CITY OF ESCONDIDO, RECORDED AUGUST 11, 1947 IN BOOK 243, PAGE 383 OF OFFICIAL RECORDS.

SITE ADDRESS
240 S. HICKORY STREET
ESCONDIDO, CA 92025

APN
229-492-14-00

OWNER INFO
ESCONDIDO INVESTMENTS, LLC
CONTACT: DASHAW FAZEL
2655 CAMINO DEL RIO NORTH, SUITE 330
SAN DIEGO, CA 92108
PHONE: (619) 293-3349

FIRE FLOW NOTE
MINIMUM FIRE FLOW OF 1500 GPM AT 20 PSI IS REQUIRED.

GROSS SITE AREA
30,044 SQUARE FEET (0.69 ACRES), MORE OR LESS

UTILITY NOTE
THE CITY OF ESCONDIDO UTILITIES DEPARTMENT DOES NOT APPROVE PRIVATE WATER OR SEWER. APPROVAL OF THESE PLANS DOES NOT REPRESENT APPROVAL OF PRIVATE WATER AND SEWER. ALL PRIVATE WATER AND SEWER WILL BE REVIEWED BY THE BUILDING DEPARTMENT PRIOR TO CITY APPROVAL.

Signature: Andrew J. Kann
Date: 9/8/2024
Professional Engineer Seal: Andrew J. Kann, No. 50940, State of California

DATE: 9/8/2024 2:48:48 PM
RENAME: P:\JMG\OMEGA\0811 HICKORY STREET ESCONDIDO\1400\CPD\0811-005-01.DWG
BY: JAMES CANEVA

