

## LEGEND

EXISTING PROPERTY BOUNDARY	---
RIGHT-OF-WAY	---
CENTERLINE OF ROAD	—+—
EXISTING EASEMENTS	- - - -
EXISTING ASSESSOR PARCEL BOUNDARY	---
ADJACENT LOT LINE	---
RR-2 ZONE AND RR-3 ZONE BOUNDARY	---

## EXISTING EASEMENT INFORMATION

REFER TO SHEET 3 FOR PLOTTING OF EXISTING EASEMENTS

EXISTING EASEMENTS SHOWN IN ACCORDANCE WITH PRELIMINARY TITLE REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY.  
ORDER NO.: 1070684-188-302-AC  
DATED MAY 22, 2023

## PROPOSED EASEMENT INFORMATION

REFER TO SHEET 2 FOR PLOTTING OF PROPOSED EASEMENTS

## DENSITY CALCULATIONS

GROSS ACRES	=	313.111 SF / 7.188 ACRES
GROSS ACRES (RR-2)	=	193.107 SF / 3.744 ACRES
GROSS ACRES (R-3)	=	190.004 SF / 3.444 ACRES
BASE UNITS ALLOWED	=	3.744 GROSS AC * 2.0 DU/AC = 3.444 AC * 3.0 DU/AC = 17.8
BASE DENSITY PER DENSITY BONUS ROUND UP	=	19.0 UNITS
3 / 18 UNITS AS AFFORDABLE	=	17.0% AFFORDABLE
50.0% DENSITY BONUS PER GOVT. CODE 8915 FOR "VERY LOW" AFFORDABLE UNITS	=	18 * 1.5 = 27.0 UNITS
PROPOSED MARKET RATE UNITS	=	24.0 UNITS
PROPOSED "VERY LOW" AFFORDABLE UNITS	=	3.0 UNITS
TOTAL PROPOSED UNITS	=	27.0 UNITS

## NET LOT AREA CALCULATIONS

TOTAL GROSS SITE AREA	313.111 SF (7.188 AC)
NET LOT AREA	283.100 SF (6.499 AC)

## NET ACREAGE CALCULATION (RR-2 ZONE)

ACREAGE	GROSS ACRES
3.744 AC	
(0.0 AC)	LESS: PROPOSED RIGHT-OF-WAY DEDICATION OCEAN BLUFF WAY
(0.0 AC)	LESS: PROPOSED PRIVATE ROAD LOT
3.744 ACRES	NET LOT AREA

## NATURAL SLOPE ADJUSTMENT FOR MINIMUM DENSITY RR-2 ZONING

SLOPE (%)	NET ACRES (AC)	DENSITY PER ACRE (DU)	DWELLING UNITS
0-25	3.000	3.0	9.00
25-40 (X 0.9)	0.185	2.0	0.185
40+ (X 0.9)	0.599	0	0.00
TOTAL =			6.185

## NET ACREAGE CALCULATION (R-3 ZONE)

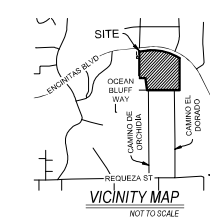
ACREAGE	GROSS ACRES
3.444 AC	
(0.0 AC)	LESS: PROPOSED RIGHT-OF-WAY DEDICATION OCEAN BLUFF WAY
(0.0 AC)	LESS: PROPOSED PRIVATE ROAD LOT
2.788 ACRES	NET LOT AREA

## NATURAL SLOPE ADJUSTMENT FOR MINIMUM DENSITY R-3 ZONING

SLOPE (%)	NET ACRES (AC)	DENSITY PER ACRE (DU)	DWELLING UNITS
0-25	2.589	3.0	7.77
25-40 (X 0.9)	0.0	0.0	0.00
40+ (X 0.9)	0.185	0	0.00
TOTAL =			7.77

## SLOPE ADJUSTED NET ACREAGE

RR-2 = 3.00 AC * 0.185 AC * 50% = 0.559 AC * 50% = 0.280 AC
R-3 = 2.589 AC * 0.041 AC * 50% = 0.155 AC * 50% = 0.078 AC
5.75 AC



## INCLUSIONARY HOUSING REQUIREMENT

RR-2 SLOPE ADJUSTED NET ACREAGE = 3.0025 AC  
R-3 SLOPE ADJUSTED NET ACREAGE = 2.6995 AC  
15% INCLUSIONARY REQUIREMENT FOR "VERY LOW" AFFORDABLE UNITS PER EMC 30.41 (50)  
14.0 UNITS \* 15% = 2.1 UNITS  
14.0 DU / 27.0 DU PROPOSED INCLUSIONARY UNITS PROV. = 2.0 UNITS  
ROUNDED DOWN = 14.0 DU

## STATE DENSITY BONUS LAW CONCESSIONS / INCENTIVES

- THE PROJECT IS ALLOWED THREE (3) INCENTIVES / CONCESSIONS FOR INCLUDING AT LEAST 15 PERCENT OF TOTAL UNITS FOR "VERY LOW" INCOME HOUSEHOLDS PURSUANT TO STATE DENSITY BONUS LAW (DBL) CA GOVERNMENT CODE 8915. HOWEVER, APPLICANT IS NOT REQUESTING ANY INCENTIVES AT THIS TIME. REFER TO LETTER ENTITLED "PROJECT DESCRIPTION AND DISCUSSION PER DENSITY BONUS SUBDIVISION APPLICATION SUPPLEMENT FOR DB" FOR ADDITIONAL INFORMATION.
- WAIVER OF "DEVELOPMENT STANDARDS" AS IDENTIFIED IN SECTION 30.16.010 IN THE CITY OF ENCINITAS MUNICIPAL CODE INCLUDING MINIMUM LOT AREA, MINIMUM LOT WIDTH, MINIMUM LOT DEPTH, FRONT YARD SETBACK, STREET SIDE YARD SETBACK, SIDE YARD SETBACK, REAR YARD SETBACK, BUILDING HEIGHT, MAXIMUM LOT COVERAGE, WAIVER OF SECTION 6.101 OF CITY'S PUBLIC ROAD STANDARDS OF MINIMUM 200-FT OF SEPARATION BETWEEN INTERSECTIONS AND TO UTILIZE PRIVATE ROAD STANDARDS IN LIEU OF PUBLIC ROAD STANDARDS FOR PAVED WIDTH, RIGHT-OF-WAY WIDTH, NUMBER OF LOTS SERVED, AND CUL-DE-SAC. WAIVER OF COUNTY STANDARD DRAWING D-15 FOR MINIMUM INTERNAL STREET RADIUS REQUIREMENT. WAIVER OF SECTION 30.34.020B OF EMC FOR MINIMUM TOP OF BLUFF SETBACK. WAIVER OF SECTION 30.41.004(4)(5) OF EMC FOR AFFORDABLE UNIT REAR YARD ADJACENCY STANDARDS, AND WAIVER OF SECTION 30.08.010 OF EMC FOR SPLIT ZONE REGULATIONS. SEE TABLE ON SHEET 2 FOR LOT SPECIFIC WAIVERS REQUESTED.

## PLAN VIEW - EXISTING SITE CONFIGURATION

SCALE: 1" = 50' HORIZONTAL

## FEMA

FLOOD ZONE DESIGNATION: ZONE X  
FIRM PANEL NO. AND SUFFIX: 80721042H  
FIRM EFFECTIVE DATE: DECEMBER 20, 2019

## SCOPE OF WORK

THE PROJECT SEeks APPROVAL TO DEMOLISH ALL EXISTING STRUCTURES AND IMPROVEMENTS AND CONSTRUCT A SINGLE-FAMILY RESIDENTIAL DEVELOPMENT. THE DENSITY BONUS PROJECT PROPOSES TO SUBSIDIZE THE PROPERTY TO CREATE 27 NEW SINGLE-FAMILY LOTS WITH 4 MARKET RATE UNITS AND 3 AFFORDABLE UNITS. THE PROJECT ALSO PROPOSES THE CONSTRUCTION OF A NEW PRIVATE ROAD WITH ASSOCIATED UTILITY DRAINAGE AND STORM WATER TREATMENT IMPROVEMENTS. THE PROJECT SEEKS APPROVAL OF A DENSITY BONUS TENTATIVE MAP, DESIGN REVIEW PERMIT AND COASTAL DEVELOPMENT PERMIT AND REQUEST MULTIPLE WAIVERS OF DEVELOPMENT AS WELL AS (3) INCENTIVES / CONCESSIONS ALLOWED UNDER STATE DENSITY BONUS LAW BY PROVIDING AFFORDABLE HOUSING. COMPANY CONSTRUCTION TRAILER. TOTAL OF 3 VERY-LOW AFFORDABLE UNITS. ONE OF WHICH PER STATE DENSITY BONUS AND 2 PER CITY OF ENCINITAS INCLUSIONARY POLICY.

## SHEET INDEX

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## OWNER INFORMATION

WE HEREBY CERTIFY THAT WE ARE THE RECORDED OWNERS OF THE PROPERTY SHOWN ON THE ATTACHED DESIGN REVIEW APPLICATION AND THAT SAID APPLICATION SHOWS THE ENTIRE CONTIGUOUS OWNERSHIP. UNDERSTANDING THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS-OF-WAY.

OWNER:

PAX BALLARD FAMILY LIMITED PARTNERSHIP A 99.9 PERCENT INTEREST AND ROD BALLARD  
4 1/4% INTEREST AS TENANTS IN COMMON  
5315 AVENIDA ENCINITAS, SUITE 200  
CARLSBAD, CA 92008

## SUBDIVIDER INFORMATION

KEVIN DUAN FOR:  
501 OCEAN BLUFF, LLC  
5315 AVENIDA ENCINITAS, SUITE 200  
CARLSBAD, CA 92008

## ABBREVIATED LEGAL DESCRIPTION

PARCEL A, 258-141-23, 24, 25 &amp; 26-00

THE EASTERLY PARCEL OF CERTIFICATE OF COMPLIANCE RECORDED JULY 3, 1989 AS INSTRUMENT NO. 89-332894 OF OFFICIAL RECORDS, BEING ALL THAT PORTION OF PARCEL 2 OF PARCEL MAP NO. 2430 IN THE CITY OF ENCINITAS, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SAID PARCEL MAP WAS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 8, 1974 AS FILE NO. 74-089151 OF OFFICIAL RECORDS.

(1) PARCEL B:

AN EASEMENT AND RIGHT OF WAY FOR INGRESS AND EGRESS, ROAD AND UTILITIES PURPOSES, INCLUDING BUT NOT LIMITED TO ELECTRIC POWER, TELEPHONE, GAS, WATER, SEWER AND CABLE TELEVISION LINES AND APPURTENANCES THERETO, OVER, UNDER, ALONG AND ACROSS THAT PORTION OF PARCEL 2 OF PARCEL MAP NO. 2430 IN THE CITY OF ENCINITAS, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SAID PARCEL MAP WAS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 8, 1974 AS FILE NO. 74-089151 OF OFFICIAL RECORDS, LYING WITHIN A STRIP OF LAND 40 FEET IN WIDTH, THE EASTERLY LINE OF SAID STRIP.

SEE SHEET 2 FOR FULL LEGAL DESCRIPTION.

## SITE ADDRESS

501 OCEAN BLUFF WAY  
ENCINITAS, CA 92024  
APN: 258-141-23, -24, -25 & 26-00

## TOPOGRAPHY

TOPOGRAPHY OBTAINED BY: DRONE AERIAL SURVEY  
ON / DATE: MAY 5, 2022

PREPARED BY: PASCO LARET, SUTER & ASSOCIATES  
1911 SAN DIEGO AVENUE, SUITE 100  
SAN DIEGO, CA 92110

## BASIS OF BEARINGS

CALIFORNIA COORDINATE SYSTEM, NAD 83 (CGS83)  
EPOCH 1982.25, ZONE 6, AS DETERMINED LOCALLY BY A LINE BETWEEN CONTROL STATIONS 1030 AND 1034, BEING A GRID BEARING OF N 49°37'52" W WAS DERIVED FROM GEODETIC VALUES SHOWN ON RECORD OF SURVEY 1846, CITY OF ENCINITAS SURVEY CONTROL.

## BENCHMARK

CITY OF ENCINITAS POINT NO. 1040-1041 PER ROD 18416, BEING A 2.5' DGS SET IN THE SIDEWALK IN THE SOUTHEAST QUADRANT, ENCINITAS BOULEVARD AND CORPUS AVENUE, 37° EASTERLY OF TRAFFIC SIGNAL.

ELEVATION = 176.30'

VERTICAL DATUM = NAVD 88

## ZONING INFORMATION

GENERAL PLAN DESIGNATION	RR-2 & R-3	EXISTING USE	VACANT / SINGLE-FAMILY RESIDENTIAL
PRESENT ZONING REQUIREMENTS	RR-2 & R-3	PROPOSED USE	SINGLE-FAMILY RESIDENTIAL
HEIGHT	22' FOR RR-2, R-3	TOTAL UNITS	27 SINGLE-FAMILY
MAXIMUM LOT COVERAGE (PER ZONE)	35% FOR RR-2 & R-3	TOTAL PROP. LOTS: 27 LOTS	

## UTILITIES

WATER	SAN DIEGO WATER DISTRICT
FIRE	ENCINITAS FIRE PROTECTION DISTRICT
SEWER	ENCINITAS SANITARY DIVISION
ELEMENTARY SCHOOL	ENCINITAS UNION SCHOOL DISTRICT
HIGH SCHOOL	SAN DIEGO UNION HIGH SCHOOL DISTRICT

## AREA CALCULATIONS

AREA DISTURBED BY PROJECT:	195,354 SF / 4.48 AC
EXISTING IMPERVIOUS AREA (CNSTG):	3,074 SF / 0.07 AC
PROPOSED IMPERVIOUS AREA (CNSTG):	123,170 SF / 2.83 AC
INCREASE IMPERVIOUS AREA (CNSTG):	120,106 SF / 2.76 AC
PROPOSED IMPERVIOUS AREA (PROV.):	1,065 SF / 0.02 AC

## EARTHWORK / PROJECT GRADING

CUT:	5,225 CY	MAX CUT HEIGHT:	4.8 FT
FILL:	11,700 CY	MAX FILL HEIGHT:	16.5 FT
IMPORT:	6,495 CY		
REMEDIAL:	17,760 CY		

ESTIMATE DOES NOT INCLUDE STRIPPINGS OR UTILITY

CONTRACTOR SHALL SATISFY SELF THAT ESTIMATES ARE CORRECT PRIOR TO COMMENCEMENT OF WORK

EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY (CALCULATED ON A THEORETICAL BASIS; ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE OR SMELL FACTORS)

## ACCESS

OCEAN BLUFF WAY, A PUBLIC ROAD

## PREPARED BY

PREPARED BY: PASCO LARET, SUTER & ASSOCIATES  
1911 SAN DIEGO AVE.  
SAN DIEGO, CA 92110

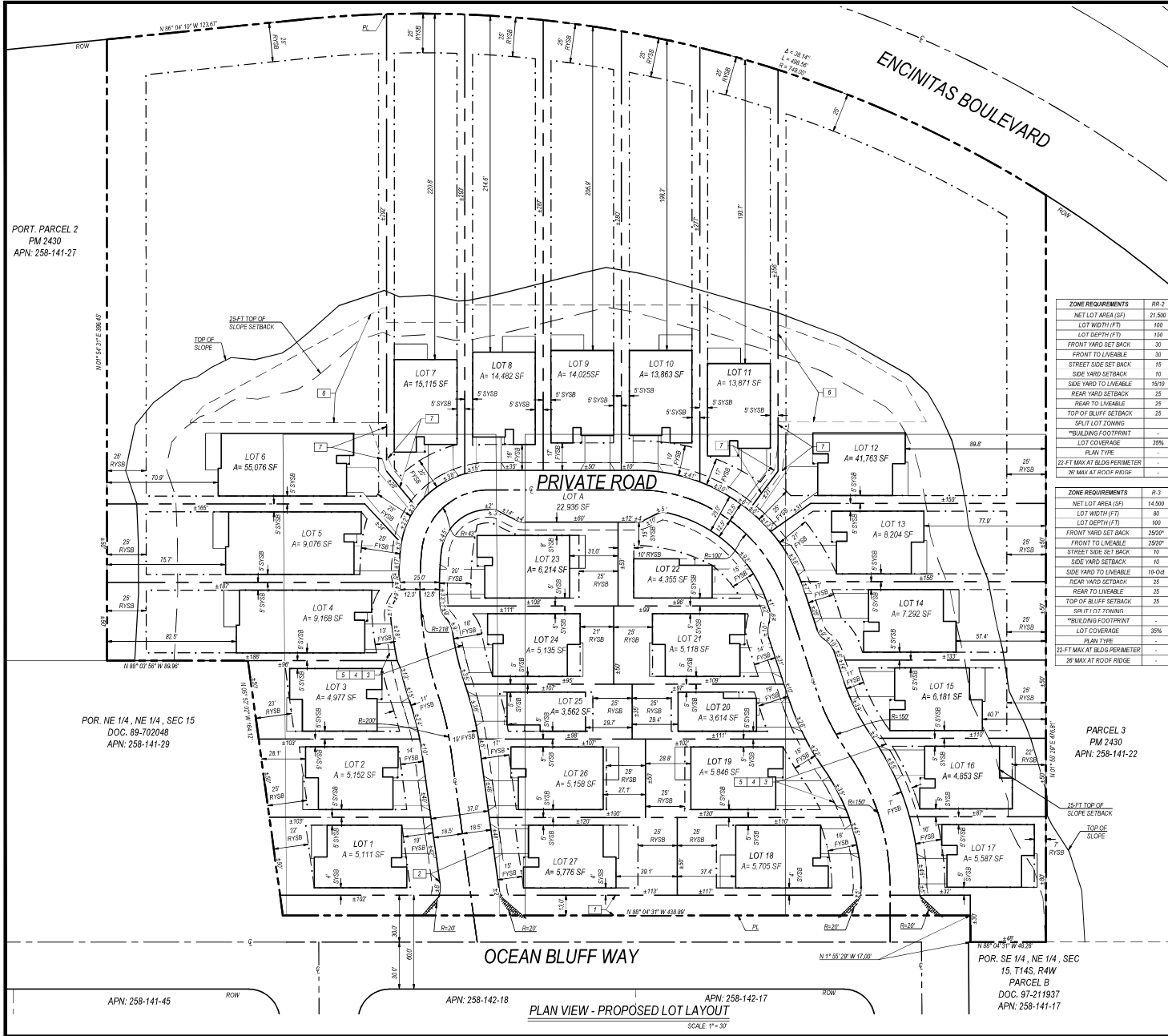
PREPARED ON: OCTOBER 17, 2024

## ENGINEER OF WORK

FILED: ENCINITAS 000558  
DATE: 10/17/2024



PLSA 587



LEGEND

EXISTING PROPERTY BOUNDARY	---
PROPOSED LOT LINE	---
RIGHT-OF-WAY	---
CENTERLINE OF ROAD	---
EXISTING EASEMENTS	---
EXISTING ASSESSOR PARCEL BOUNDARY	---
ADJACENT LOT LINE	---
PROPOSED SETBACK	---
REQUEST WAIVER OF DEVELOPMENT STANDARD UNDER DENSITY BOUNDS	---

FOR A NEW TRACT, FRONT YARD SETBACKS MAY BE REDUCED UP TO 25% ON A MAXIMUM OF ONE-HALF OF THE DWELLING UNITS WITHIN A RESIDENTIAL TRACT PER E.M.C. 30.16.090.B(1)(C). PROJECT PROPOSES 1 LOT/27 LOTS WITH REDUCED FYSB = 3.7%

ZONE REQUIREMENTS	R-3	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	LOT 12
NET LOT AREA (SF)	17,500	5,111	5,152	4,877	8,168	9,076	55,076	15,115	14,482	14,355	13,683	13,671	47,763
LOT WIDTH (FT)	100	80	50	50	50	50	50	50	50	51	50	50	177
LOT DEPTH (FT)	150	100	102	103	100	187	193	228	293	290	254	279	234
FRONT YARD SET BACK	30	2500*	19	14	11	13	25	25	20	16	17	19	17
FRONT TO LIVEABLE	30	2500*	19	14	11	13	26.3	43.3	30.2	16.5	17.5	19.4	17.3
STREET SIDE SET BACK	15	10	4	-	-	-	-	-	-	-	-	-	-
SIDE YARD SETBACK	10	10	5	5	5	5	5	5	5	5	5	5	5
SIDE YARD TO LIVEABLE	15/10	10/10	4/5	5/5	5/5	5/5	5/5	5/5	5/5	5/5	5/5	5/5	5/5
REAR YARD SETBACK	25	25	22	25	23	25	25	25	25	25	25	25	25
REAR TO LIVEABLE	25	25	22.3	26.1	23	23.5	75.7	73.9	20.9	21.4	20.9	198.3	199.7
TOP OF BLUFF SETBACK	25	25	N/A	N/A	25	25	25	25	25	25	25	25	25
SPLIT LOT ZONING	-	-	-	-	-	-	-	-	-	-	-	-	-
*BUILDINGS FOOTPRINT	-	-	2,071	2,071	2,071	3,267	3,267	3,267	2,209	2,209	2,209	2,209	2,071
LOT COVERAGE	35%	35%	41%	40%	40%	36%	36%	36%	15%	15%	15%	15%	35%
PLAN TYPE	2	2	2	2	1	1	1	3	3	3	3	3	2
22-FT MAX AT BLDG PERIMETER	-	-	24'-9"	24'-2"	24'-3"	18'-3"	24'-4"	24'-6"	23'-11"	21'-3"	22'-3"	21'-0"	20'-5"
26' MAX AT ROOF RIDGE	-	-	29'-1"	27'-11"	27'-10"	33'-1"	27'-3"	27'-0"	26'-1"	26'-0"	26'-4"	26'-0"	25'-4"

ZONE REQUIREMENTS	R-3	LOT 13	LOT 14	LOT 15	LOT 16	LOT 17	LOT 18	LOT 19	LOT 20	LOT 21	LOT 22	LOT 23	LOT 24	LOT 25	LOT 26	LOT 27
NET LOT AREA (SF)	14,500	8,204	7,292	6,161	4,953	5,587	5,705	5,846	3,614	5,178	4,355	6,212	5,135	3,562	5,158	5,776
LOT WIDTH (FT)	80	50	51	51	50	64	50	51	35	51	57	60	51	35	51	50
LOT DEPTH (FT)	100	169	145	122	99	82	124	116	104	96	61	95	109	103	104	117
FRONT YARD SET BACK	2500*	21	17	11	7	16	18	15	19	14	15	20	18	19	17	15
FRONT TO LIVEABLE	2500*	24.1	17	11.6	7.7	16.5	18.7	15	19.5	14	15.4	22.9	18.3	19.5	17.7	15.5
STREET SIDE SET BACK	10	-	-	-	-	5	4	-	-	-	10	6	-	-	-	4
SIDE YARD SETBACK	10	5/5	5/5	5/5	5/5	5	5	5/5	5/5	5/5	5	5	5/5	5/5	5/5	5
SIDE YARD TO LIVEABLE	15-10	5/5	5/5	5/5	5/5	5	5	5/5	5/5	5/5	5/5	5/5	5/5	5/5	5/5	5
REAR YARD SETBACK	25	25	25	25	25	25	25	25	25	25	25	25	25	25	25	25
REAR TO LIVEABLE	25	27.8	57.4	40.7	31.5	7.5	37.4	26.1	29.4	25	10	31	31	29.7	27.1	26.1
TOP OF BLUFF SETBACK	25	25	25	17.8	18.4	9.9	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
SIN (1:1) ZONING	-	2,071	2,071	2,071	2,071	2,209	2,209	2,209	1,166	2,071	1,166	2,209	2,071	1,166	2,209	2,209
*BUILDINGS FOOTPRINT	-	2,071	2,071	2,071	2,071	2,209	2,209	2,209	1,166	2,071	1,166	2,209	2,071	1,166	2,209	2,209
LOT COVERAGE	35%	25%	28%	34%	42%	40%	39%	38%	32%	40%	27%	36%	40%	33%	42%	38%
PLAN TYPE	-	2	2	2	2	3	3	3	4	2	4	3	2	4	3	3
22-FT MAX AT BLDG PERIMETER	-	20'-5"	20'-5"	20'-5"	20'-11"	22'-1"	22'-1"	21'-4"	21'-3"	21'-6"	21'-8"	20'-9"	20'-5"	20'-5"	20'-5"	21'-5"
26' MAX AT ROOF RIDGE	-	25'-9"	25'-6"	25'-6"	26'-0"	27'-1"	26'-0"	26'-3"	24'-3"	26'-4"	24'-9"	25'-5"	25'-6"	25'-6"	25'-5"	25'-9"

PROPOSED EASEMENTS AND DEDICATIONS

- PROPOSED DEDICATION TO THE CITY OF ENCINITAS FOR PUBLIC STREET RIGHT-OF-WAY
- PROPOSED PUBLIC EASEMENT OVER PRIVATE STREETS TO THE CITY OF ENCINITAS (ROAD AND UTILITY PURPOSES)
- PROPOSED PUBLIC WATER EASEMENT TO THE SAN DIEGO WATER DISTRICT
- PROPOSED PUBLIC SEWER EASEMENT TO THE ENCINITAS SANITARY DIVISION
- PROPOSED GENERAL UTILITY EASEMENTS
- PROPOSED PRIVATE OPEN SPACE EASEMENT FOR STORM WATER POLLUTION AND FLOOD CONTROL PURPOSES
- PROPOSED STORM WATER EASEMENT FOR THE BENEFIT OF ALL LOTS



EXISTING PROPERTY BOUNDARY: A line with alternating long and short dashes.

RIGHT-OF-WAY: A solid black line.

CENTERLINE OF ROAD: A line with alternating long and short dashes.

EXISTING EASEMENTS: A line with alternating long and short dashes.

EXISTING ASSESSOR PARCEL BOUNDARY: A solid black line.

ADJACENT LOT LINE: A solid black line.

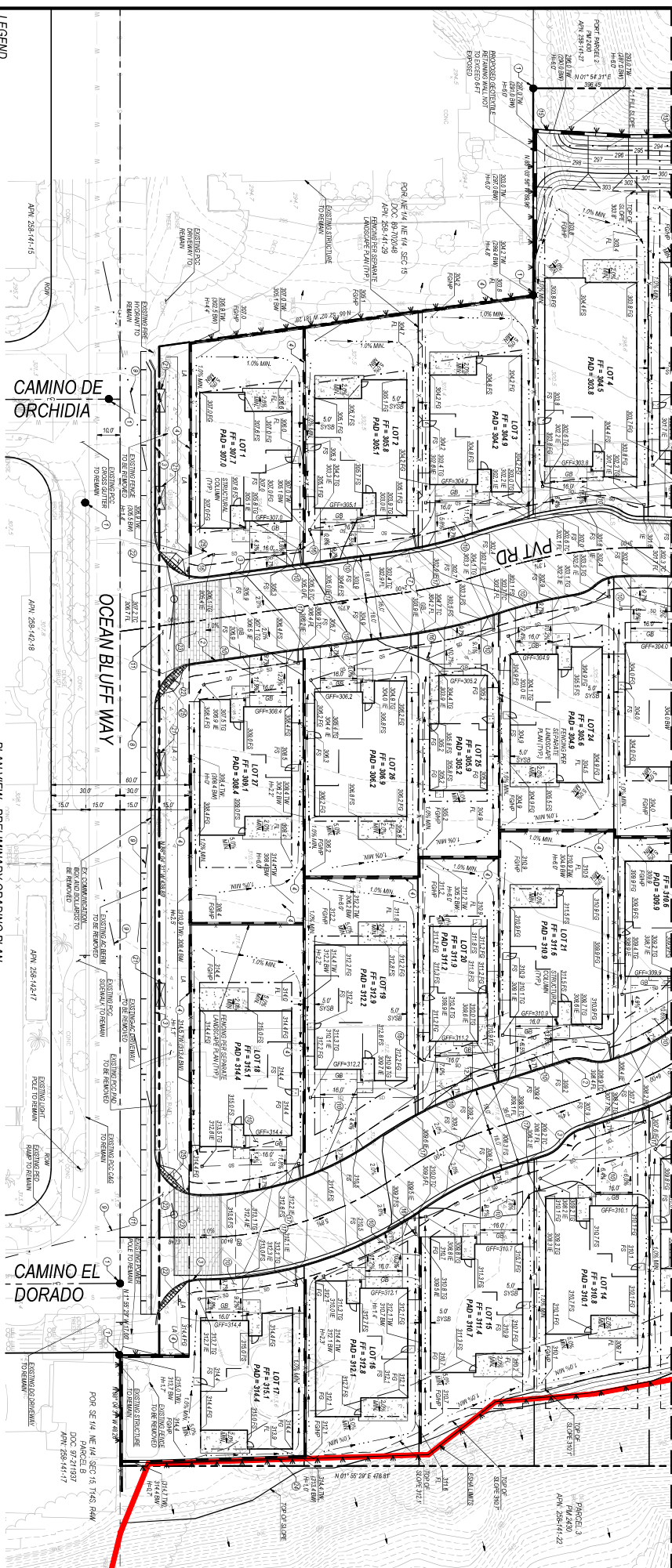
LOT WIDTH MIDPOINT LINE: A line with alternating long and short dashes.

RR-2 ZONE: A rectangular area filled with a red cross-hatch pattern.

R-3 ZONE: A rectangular area filled with a green diagonal line pattern.

<p>ITEMS A AND B ARE NON-MAPPING ITEMS AND ARE OMITTED HEREON.</p> <p>ITEM C IS A NON-MAPPING ITEM AND OMITTED HEREON.</p>	<p>[T] EXISTING EASEMENT TO DIVINE RIVER AGGIES FOUNDATION OF SOUTHERN CALIFORNIA FOR IRRIGAS AND EGRESS. CABLE UTILITY PROPOSED TO BE LOCATED TO ACCESS TO ELECTRICAL, PHONE, TELEPHONE, GAS, WATER, SEWER AND CABLE TELEVISION LINES AND APPURTENANCES THERE TO. RECORDED ON 1/11/1989 AS DOC# 80028-0190. TO REMAIN.</p>
<p>[4] EXISTING EASEMENT TO SUEBIO IRRIGATION DISTRICT HOLDER FOR PIPE LINES AND INCIDENTAL PURPOSES RECORDED ON 01/29/1963 AS RP 15392. O.R. TO REMAIN.</p>	<p>[M] MEMORANDUM OF SUBLEASE WITH PACIFIC WIRELESS, LLC RECORDED ON MAY 9 2000 AS DOC# 80002-93888. O.R. [NOT PLATTABLE]</p>
<p>[5] EXISTING EASEMENT TO SUEBIO IRRIGATION DISTRICT HOLDER FOR PIPE LINES AND INCIDENTAL PURPOSES RECORDED ON 01/29/1963 AS RP 17263. O.R. TO REMAIN.</p>	<p>[13] CONSTRUCTION AND ACCESS EASEMENT AGREEMENT WITH DIVINE RIVER AGGIES FOUNDATION OF SOUTHERN CALIFORNIA PARTY RECORDED ON 08/12/2014 AS DOC #014-03212. O.R. [NOT PLATTABLE]</p>
<p>[6] COUNTY OF SAN DIEGO GRANTING AND RIGHT TO EXTEND GRADING STRUCTURES AND EXCAVATION AND EMBANKMENT SLOPES BEYOND THE LIMITS OF ECHIGTAS BULWARK RECORDED ON 12/19/1984 AS RP 21254. O.R. TO REMAIN.</p>	<p>ITEM 14 IS A NON-MAPPING ITEM AND IS OMITTED HEREON.</p>
<p>[7] EXISTING EASEMENT TO SDG&amp;E FOR POLE LINES AND UNDERGROUND CONDUITS PURPOSES RECORDED ON 09/09/1971 AS RP 91190. O.R. TO REMAIN.</p>	<p>EXISTING EASEMENTS SHOWN IN ACCORDANCE WITH PRELIMINARY TITLE REPORT PREPARED BY FIELITY NATIONAL, TITLE DATED AUGUST 4, 2024 AS ORDER NUMBER 0018634-20-521474.</p>
<p>[8] EXISTING EASEMENT FOR PRIVATE ROAD PURPOSES AS SHOWN HEREIN. TO REMAIN.</p>	
<p>ITEMS 9 AND 10 ARE NON-MAPPING ITEMS AND ARE OMITTED HEREON.</p>	

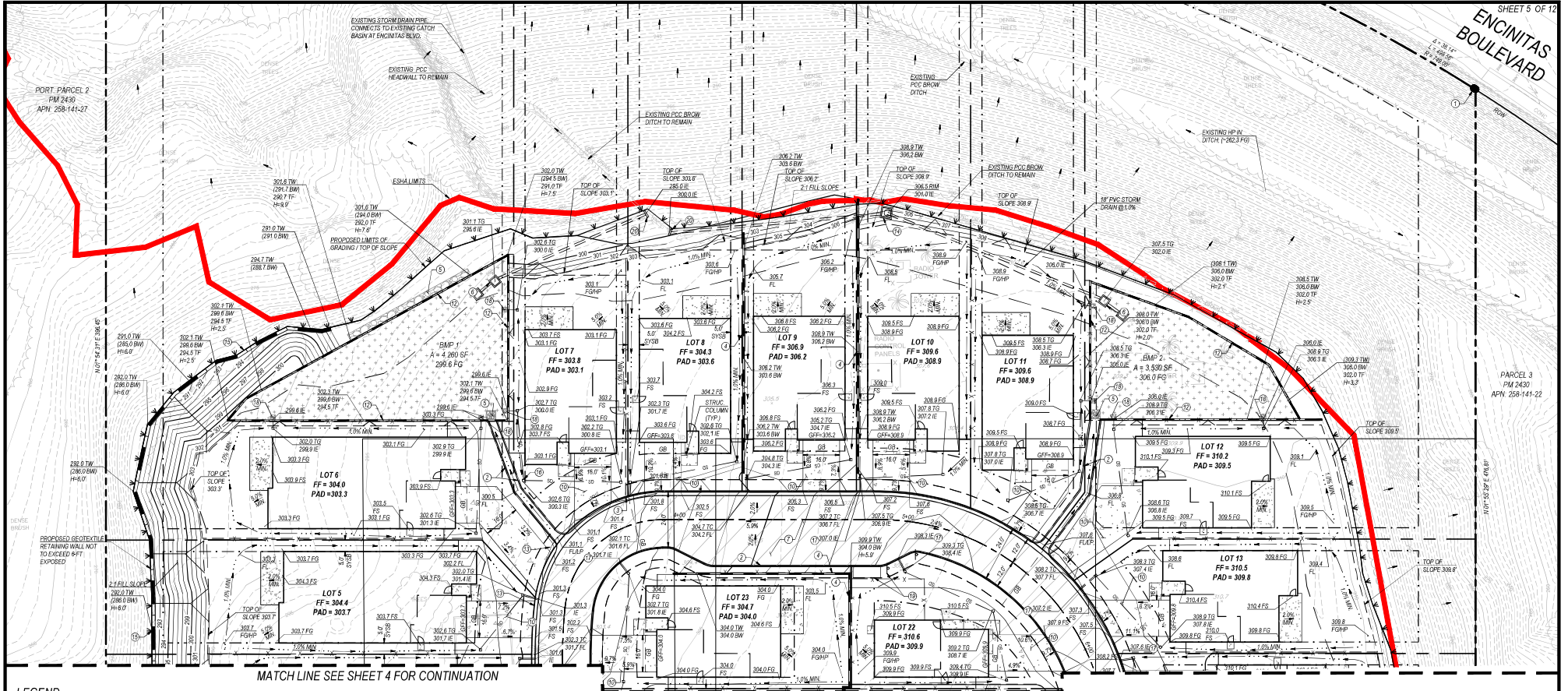
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# PLAN VIEW - PRELIMINARY GRADING PLAN

[illegible]





PLAN VIEW - PRELIMINARY GRADING PLAN

SCALE: 1" = 20'

LEGEND

PROPERTY LINE	---	PROPOSED 8" CURB & GUTTER	---
RIGHT-OF-WAY	---	PROPOSED 8" CURB	---
CENTERLINE OF ROAD	---	PROPOSED HARDSCAPE	---
PROPOSED LOT LINES	---	PROPOSED MASONRY RETAINING WALL	---
ADJACENT LOT LINES	---	PROPOSED RETAINING WALL (DESIGN BY OTHERS)	---
EXISTING EASEMENTS	---	PROPOSED GEOTEXTILE RETAINING WALL (DESIGN BY OTHERS)	---
PROPOSED EASEMENT	---	PROPOSED BMP	---
PROPOSED SETBACKS	---	PROPOSED AC PAVEMENT	---
PROPOSED LIMIT OF GRADING	---	EXISTING WATER MAIN (SIZE PER PLAN)	---
PROPOSED CONTOUR	---	EXISTING SEWER MAIN (SIZE PER PLAN)	---
EXISTING CONTOUR	---	EXISTING STORM DRAIN (SIZE PER PLAN)	---
LIMITS OF ENVIRONMENTALLY SENSITIVE HABITAT AREA (NORTH OF LINE)	---	EXISTING GAS MAIN	---
		PROPOSED 4" PVC STORM DRAIN	---
		PROPOSED 18" PVC PRIVATE STORM DRAIN	---
		PROPOSED 12" X 12" AREA DRAIN	---
		PROPOSED 4 X 10 TREE WELL BMP	---

ABBREVIATIONS

ARAV	AIR-RELEASE & AIR/VACUUM VALVE
BO	BLOW-OFF
BS	BOTTOM OF STAIR
BM	BOTTOM OF WALL
DI	DUCTILE IRON
FG	FINISHED FLOOR ELEVATION PER ARCHITECT
FF	FINISHED GRADE
FS	FINISHED SURFACE
GB	GRADE BREAK
GV	GATE VALVE
HP	HIGH POINT
IE	INVERT ELEVATION
LP	LOW POINT
TB	THRUST BLOCK
OP	OP OF CURB
FS	TOP OF DRIVE
TS	TOP OF STAIR
TW	TOP OF WALL
WAS	WATER AGENCIES' STANDARDS

SITE NOTES

- ALL UTILITIES SHOWN HEREON PER BEST AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD OF DISCREPANCIES UPON DISCOVERY.

PROPOSED EASEMENT NOTES

SEE SHEET 2 FOR PLOTTING AND SUMMARY OF PROPOSED EASEMENTS

EXISTING EASEMENT NOTES

SEE SHEET 3 FOR PLOTTING AND SUMMARY OF EXISTING EASEMENTS

CONSTRUCTION NOTES

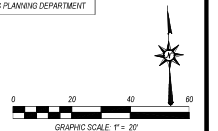
- EXISTING SURVEY MONUMENT TO BE PROTECTED IN PLACE. CORNER RECORD OR RECORD OF SURVEY TO BE FILED WITH THE COUNTY IF DISTURBED OR DESTROYED.
- PROPOSED 8" PCC CURB PER SDRSD G-1
- PROPOSED 8" PCC CURB & GUTTER PER SDRSD G-2
- PROPOSED MASONRY RETAINING WALL PER SDRSD G-3
- PROPOSED 4X4 RIP RAP ENERGY DISSIPATOR PER SDRSD D-40; 14" TON CLASS BACKING, T = 2.7 FT
- PROPOSED 36" X 36" BROOKS BOX OUTLET STRUCTURE. SEE BIORETENTION BASIN DETAIL SHEET 9
- PROPOSED 4" AC PAVEMENT OVER 8" CLASS II AB PER GEOTECH RECOMMENDATIONS
- PROPOSED AC PAVEMENT SAWCUT SEE DETAIL SHEET 9
- 150FT SIGHT DISTANCE VIEW CORRIDOR PER CALTRANS HIGHWAY DESIGN MANUAL
- PROPOSED PCC DRIVEWAY APRON PER SDRSD G-14B (NO SIDEWALK). SEE DETAIL SHEET 9
- PROPOSED PCC CROSS GUTTER PER SDRSD G-12
- PROPOSED RETAINING WALL PER STRUCTURAL DESIGN
- PROPOSED 8" PCC ROLLED CURB PER SDRSD G-4B
- PROPOSED TYPE A CLEANOUT PER SDRSD D-49
- PROPOSED GEOSND RETAINING WALL. DESIGN BY OTHERS
- PROPOSED 12" X 12" AREA DRAIN BY MGS OR APPROVED EQUAL
- PROPOSED 3" PVC UNDERDRAIN PER SDRSD D-27 @ 2.0%
- PROPOSED 2" X 2" RIP RAP ENERGY DISSIPATOR PER SDRSD D-40; ROCK CLASS NO. 2 BACKING, T = 1.1 FT
- PROPOSED MAILBOX AND "USPS ONLY, NO PARKING" SIGN
- PROPOSED MODIFIED PCC HEADWALL PER DETAIL SHEET 9
- 154FT SIGHT DISTANCE TRIANGLE
- PROPOSED DECORATIVE PAVERS PER SEPARATE LANDSCAPE PLAN. SEE NOTE SHEET 4
- PROPOSED GRAVITY RETAINING WALL PER SDRSD G-9
- PROPOSED TYPE A PCC PAVEMENT PER SDRSD G-27A

PAVER NOTE:

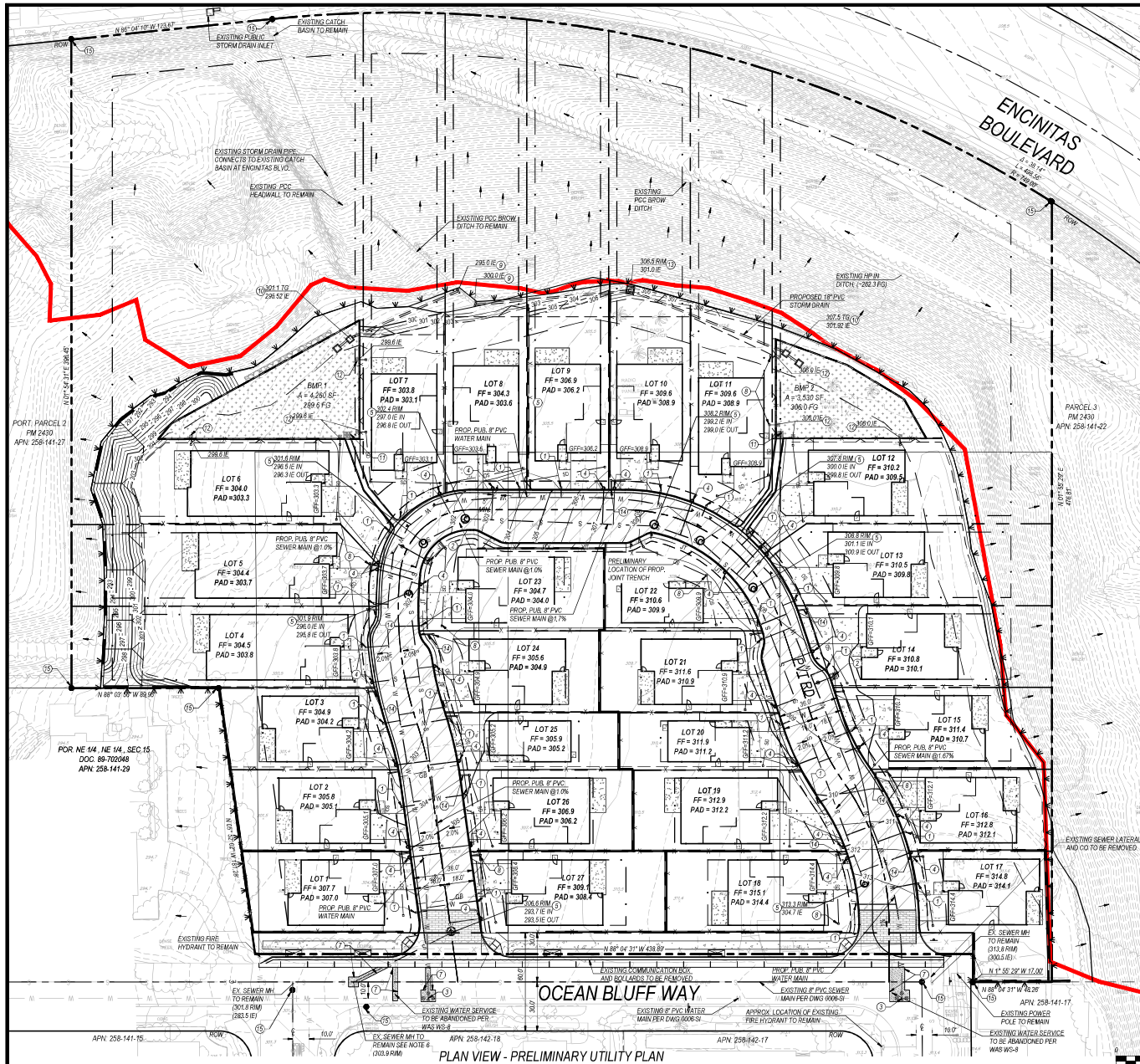
DECORATIVE PAVERS SHALL BE A MINIMUM OF 20-FT IN DEPTH

NOTE:

PROPOSED ABOVE-GROUND EQUIPMENT TO BE SCREENED TO THE SATISFACTION OF THE CITY OF ENCINITAS PLANNING DEPARTMENT







## LEGEND

PROPERTY LINE	---	PROPOSED 6" CURB & GUTTER	---
RIGHT-OF-WAY	---	PROPOSED OF CURB	---
CENTERLINE OF ROAD	---	PROPOSED HARDSCAPE	---
PROPOSED LOT LINES	---	PROPOSED MASONRY RETAINING WALL	---
ADJACENT LOT LINES	---	PROPOSED RETAINING WALL (DESIGN BY OTHERS)	---
EXISTING EASEMENTS	---	PROPOSED GEOTEXTILE RETAINING WALL (DESIGN BY OTHERS)	---
PROPOSED EASEMENT	---	PROPOSED AC PAVEMENT	---
PROPOSED SETBACKS	---	PROPOSED BIOFILTRATION BASIN	---
PROPOSED LIMIT OF GRADING	---	EXISTING WATER MAIN (SIZE PER PLAN)	---
PROPOSED CONTOUR	---	EXISTING SEWER MAIN (SIZE PER PLAN)	---
EXISTING CONTOUR	---	PROPOSED 1" DOMESTIC WATER SERVICE AND METER	---
LIMITS OF ENVIRONMENTALLY SENSITIVE HABITAT AREA (NORTH OF LINE)	---	PROPOSED 4" PVC SEWER LATERAL AND CLEANOUT	---
PROPOSED 1" DOMESTIC WATER MAIN	---	PROPOSED 6" DIAMETER SEWER MANHOLE	---
PROPOSED 8" PVC WATER MAIN	---	PROPOSED 4" PVC STORM DRAIN @ 1.0% MIN	---
PROPOSED 8" PVC SEWER MAIN	---	PROPOSED 12" X 12" AREA DRAIN	---
PROPOSED JOINT UTILITY TRENCH	---	PROPOSED 18" PVC STORM DRAIN @ 1.0% MIN	---
PROPOSED TRUST BLOCK	---	PROPOSED TYPE A STORM DRAIN CLEANOUT	---
PROPOSED GATE VALVE	---		
PROPOSED FIRE HYDRANT WITH 4" X 4" SLASH PAD	---		

## CONSTRUCTION NOTES

- PROPOSED 1" DUAL DOMESTIC FIREWATER SERVICE PER WAS W5-09 AND WC-17
- PROPOSED FIRE HYDRANT W/ 4" FIRE SERVICE PER WAS W5-01
- PROPOSED NEW PUBLIC 8" PVC WATER MAIN, CONNECT TO EXISTING WATER MAIN WITH 4" X 4" TEE
- PROPOSED 4" PVC SEWER LATERAL AND CLEANOUT PER SORSO SS-01 AND SC-01
- PROPOSED 8" DIAMETER SEWER MANHOLE WITH EPOXY LINER PER SORSO SHAD-SEE NOTE 2 BELOW
- PROPOSED 8" SEWER CLEANOUT PER SORSO SC-01
- PROPOSED LIMITS OF TRENCH RESURFACING PER CITY OF ENCINITAS UTILITY TRENCH BACKFILL AND RESURFACING STANDARD DETAIL
- PROPOSED 12" X 12" AREA DRAIN BY NDS OR APPROVED EQUAL
- PROPOSED MODIFIED POC HEADWALL PER DETAIL SHEET 9
- PROPOSED 36" X 36" BROOKS BOX OUTLET STRUCTURE, SEE BIOFILTRATION DETAIL SHEET 9
- PROPOSED 4" X 4" RIP RAP ENERGY DISSIPATER PER SORSO D-40, 1/4 TON CLASS BACKING, 1'-2.1 FT
- PROPOSED 2" X 2" RIP RAP ENERGY DISSIPATER PER SORSO D-40, NO. 2 CLASS BACKING, 1'-1.1 FT
- PROPOSED TYPE A STORM DRAIN CLEANOUT PER SORSO D-08
- PROPOSED 3" PVC UNDERDRAIN PER SORSO D-27
- EXISTING SURVEY MONUMENT TO BE PROTECTED IN PLACE, CORNER RECORD OR RECORD OF SURVEY TO BE FILED WITH THE COUNTY IF DISTURBED OR DESTROYED

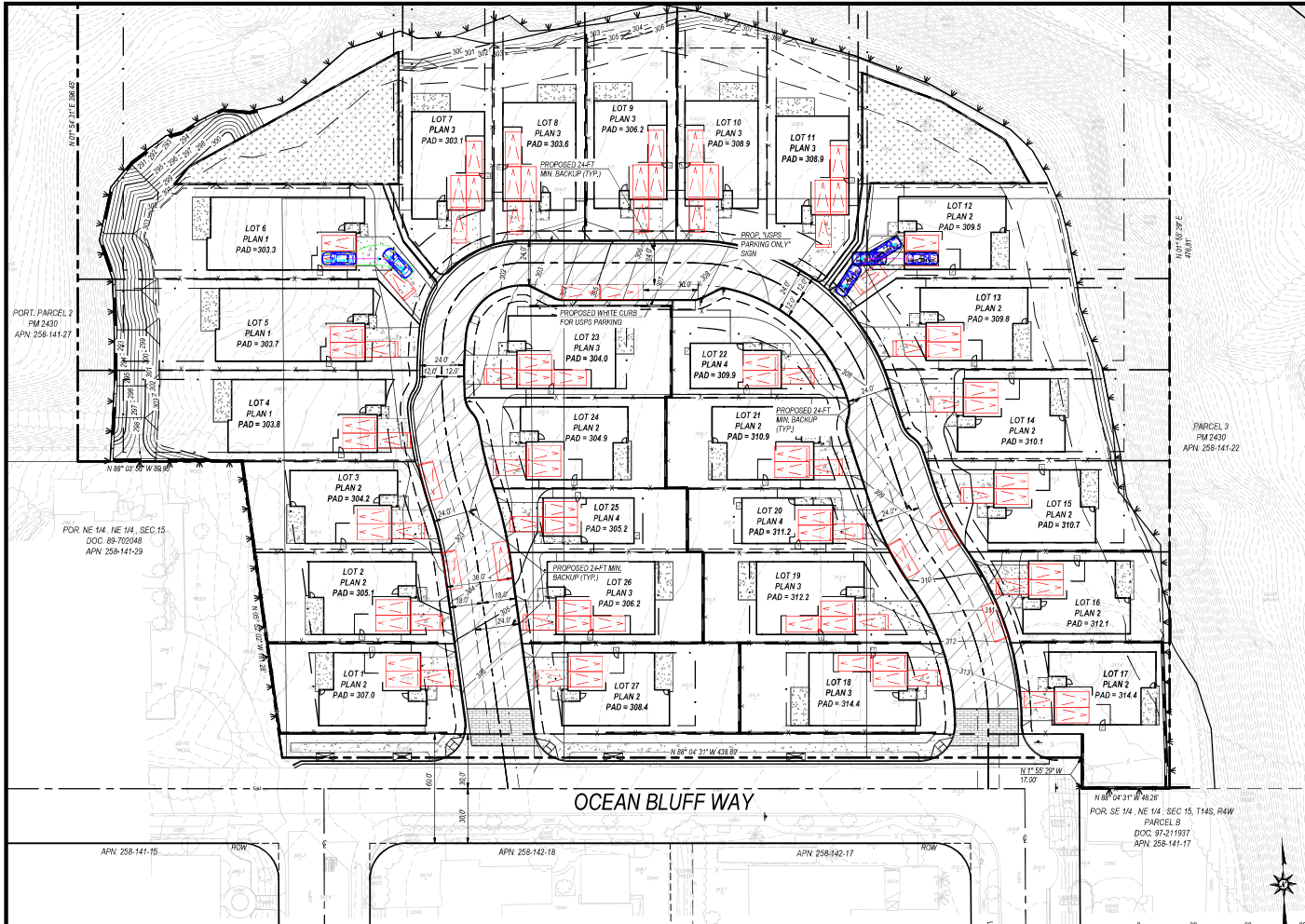
## SITE NOTES

- ALL UTILITIES SHOWN HEREON PER BEST AVAILABLE RECORDS, CONTRACTOR SHALL VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD OF DISCREPANCIES UPON DISCOVERY.
- NEW AND MODIFIED SEWER MANHOLES SHALL BE LINED WITH AN APPROVED EPOXY LINING SYSTEM AND SHALL BE SPARK TESTED FOR PINHOLE AND HOLIDAYS.
- PROPOSED PUBLIC - 810 LF 8" PVC WATER MAIN TO LOOP THROUGH SITE.
- A GENERAL UTILITY EASEMENT SHALL BE PROVIDED FOR SEWER CLEANOUTS AND DRY UTILITY STRUCTURES.
- EXACT LOCATION OF PROPOSED ON-SITE MECHANICAL AND ELECTRICAL EQUIPMENT NOT KNOWN AT THIS TIME. ALL GROUND MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE SCREENED TO THE SATISFACTION OF THE PLANNING AND BUILDING DEPARTMENT.
- REHAB EXISTING MANHOLE AND EPOXY COAT.

## NOTE:

PROPOSED ABOVE-GROUND EQUIPMENT TO BE SCREENED TO THE SATISFACTION OF THE CITY OF ENCINITAS PLANNING DEPARTMENT



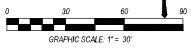


LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- CENTERLINE OF ROAD
- PROPOSED LOT LINES
- ADJACENT LOT LINES
- EXISTING EASEMENTS
- PROPOSED EASEMENT
- PROPOSED SETBACKS
- PROPOSED LIMIT OF GRADING
- PROPOSED CONTOUR
- EXISTING CONTOUR
- INTERIOR LOTS 24-FT BACKUP
- EXTERIOR LOTS 24-FT BACKUP
- \*PROPOSED PARKING SPACE (SEE NOTE)

PLAN VIEW - PRELIMINARY CURB UTILIZATION PLAN

SCALE: 1" = 30'



ZONE REQUIREMENTS		RR-2	RR-3	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	LOT 12	LOT 13	LOT 14	LOT 15	LOT 16	LOT 17	LOT 18	LOT 19	LOT 20	LOT 21	LOT 22	LOT 23	LOT 24	LOT 25	LOT 26	LOT 27	TOTAL	
PLAN TYPE				2	2	2	1	1	1	3	3	3	3	3	2	2	2	2	2	2	3	3	4	2	4	3	2	4	3	2		
BUILDING FLOOR AREA				1,384	1,384	1,384	2,900	2,900	2,900	1,476	1,476	1,476	1,476	1,476	1,384	1,384	1,384	1,384	1,384	1,384	1,384	1,384	1,384	1,384	1,384	1,384	1,384	1,384	1,384	1,384		
GARAGE AREA				541	541	541	467	467	467	632	632	632	632	632	541	541	541	541	541	541	541	541	541	541	541	541	541	541	541	541	541	
*OFF-STREET PARKING REQ'D		2	2/3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	78
OFF-STREET PARKING PROP.				2	2	2	2	2	2	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	4	97	
ON-STREET PARKING PROP.		8																														

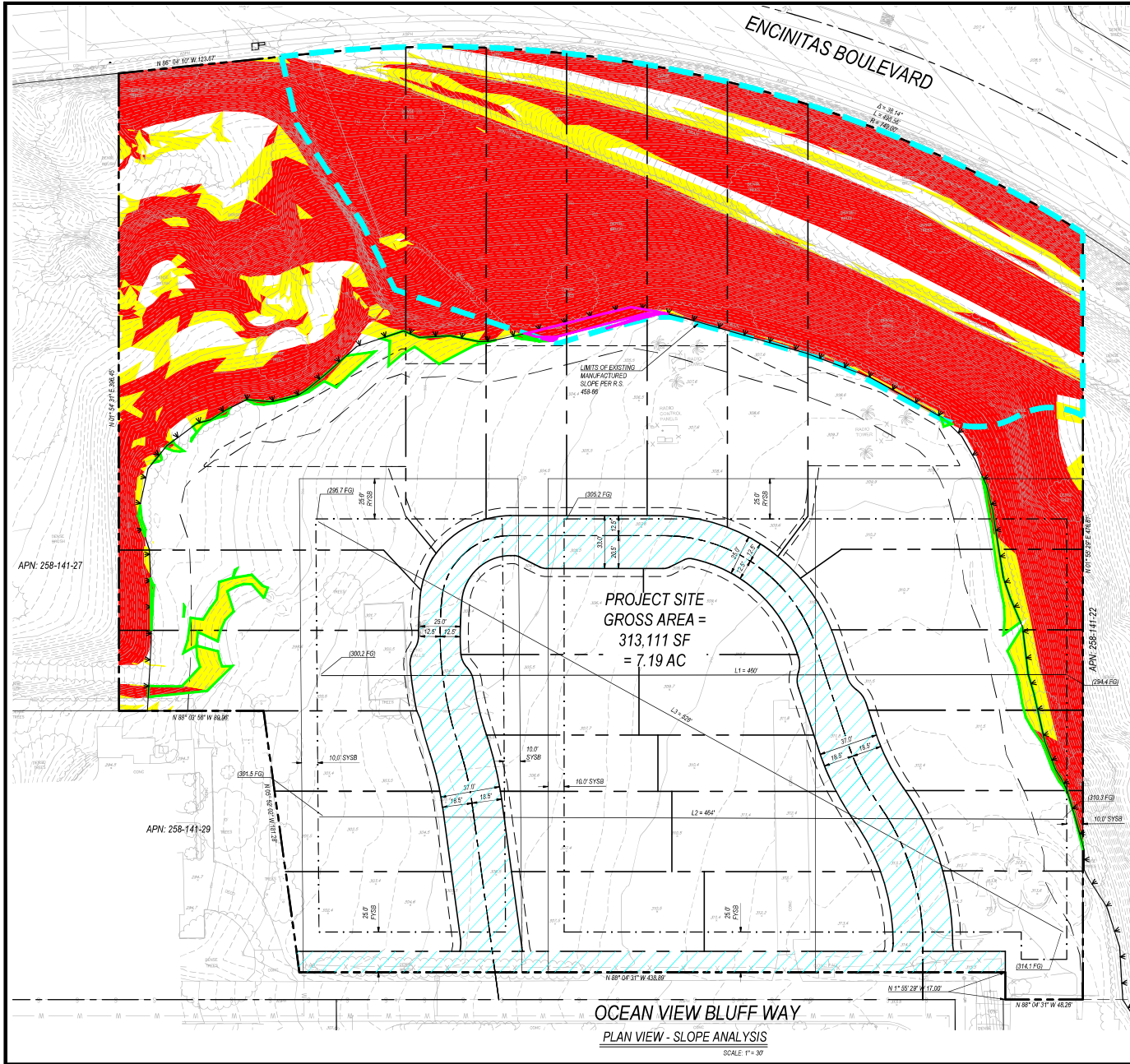
\* = 2 ENCLOSED PARKING SPACES FOR UNITS UP TO 2,000 SQUARE FEET OR FLOOR AREA, 3 FOR DWELLING UNITS IN EXCESS OF 2,000 SQUARE FEET PER EMC 30.5.4.03(a). ANY PARKING SPACES OVER 2 MAY BE ENCLOSED OR UNENCLOSED.

NOTE:  
PER CITY OF ENCINITAS OFF-STREET PARKING DESIGN MANUAL, PARALLEL ON-STREET PARKING DIMENSION TO BE 31' X 8'. ENCLOSED OFF-STREET PARKING TO BE 19' X 8.5'. UNENCLOSED OFF-STREET PARKING DIMENSION TO BE 19' X 8.5'.









### SOURCE OF TOPOGRAPHY

TOPOGRAPHY OBTAINED BY: DRONE AERIAL SURVEY  
ON/DATE: MAY 5, 2022  
PREPARED BY: PASCO LARET, SUTER & ASSOCIATES  
1911 SAN DIEGO AVENUE, SUITE 100  
SAN DIEGO, CA 92110

### AVERAGE LOT SLOPE

L1 = 450' @ 1.3%  
L2 = 450' @ 1.3%  
L3 = 520' @ 3.5%  
AVERAGE SLOPE = 2.2% < 10%

### ZONING / SETBACK INFORMATION

GENERAL PLAN DESIGNATION: R-3  
PRESENTS ZONING REQUIREMENTS: R-3  
SETBACKS:  
FYSS: 25'  
SYSS: 10'  
RYSS: 25'

### HILLSIDE INLAND BLUFF OVERLAY NOTES

PER CITY MUNICIPAL CODE SECTION 30.34.030, IF MORE THAN 10% OF PARCEL SLOPE EXCEEDS 25%, PARCEL IS SUBJECT TO HILLSIDE INLAND BLUFF OVERLAY REGULATIONS AND SLOPES GREATER THAN 25% GRADE SHALL BE PRESERVED IN THEIR NATURAL STATE.  
EXISTING NATURAL SLOPES GREATER THAN 25% = 0.94 AC = 13.1% OF PROJECT SITE. THEREFORE PARCEL IS SUBJECT TO HILLSIDE INLAND BLUFF OVERLAY REGULATIONS.  
PER SECTION 30.34.040, MAXIMUM ENCROACHMENT IN AREAS OF SLOPE GREATER OR EQUAL TO 25% GRADE FOR PARCELS SUBJECT TO HILLSIDE INLAND BLUFF OVERLAY ZONE REGULATIONS IS 10% OF STEEP SLOPES. THEREFORE, PROJECT MAY ENCROACH 0.094 AC INTO SLOPES GREATER THAN 25% GRADE.

### HILLSIDE INLAND BLUFF OVERLAY CALCCS

PARCEL A  
313,111 SF / 7.19 AC  
SLOPES GREATER THAN 25%  
ALLOWABLE ENCROACHMENT INTO STEEP SLOPE AREA  
PROPOSED ENCROACHMENT INTO STEEP SLOPE AREA  
PERCENTAGE OF ENCROACHMENT INTO STEEP SLOPE AREA  
8.2%

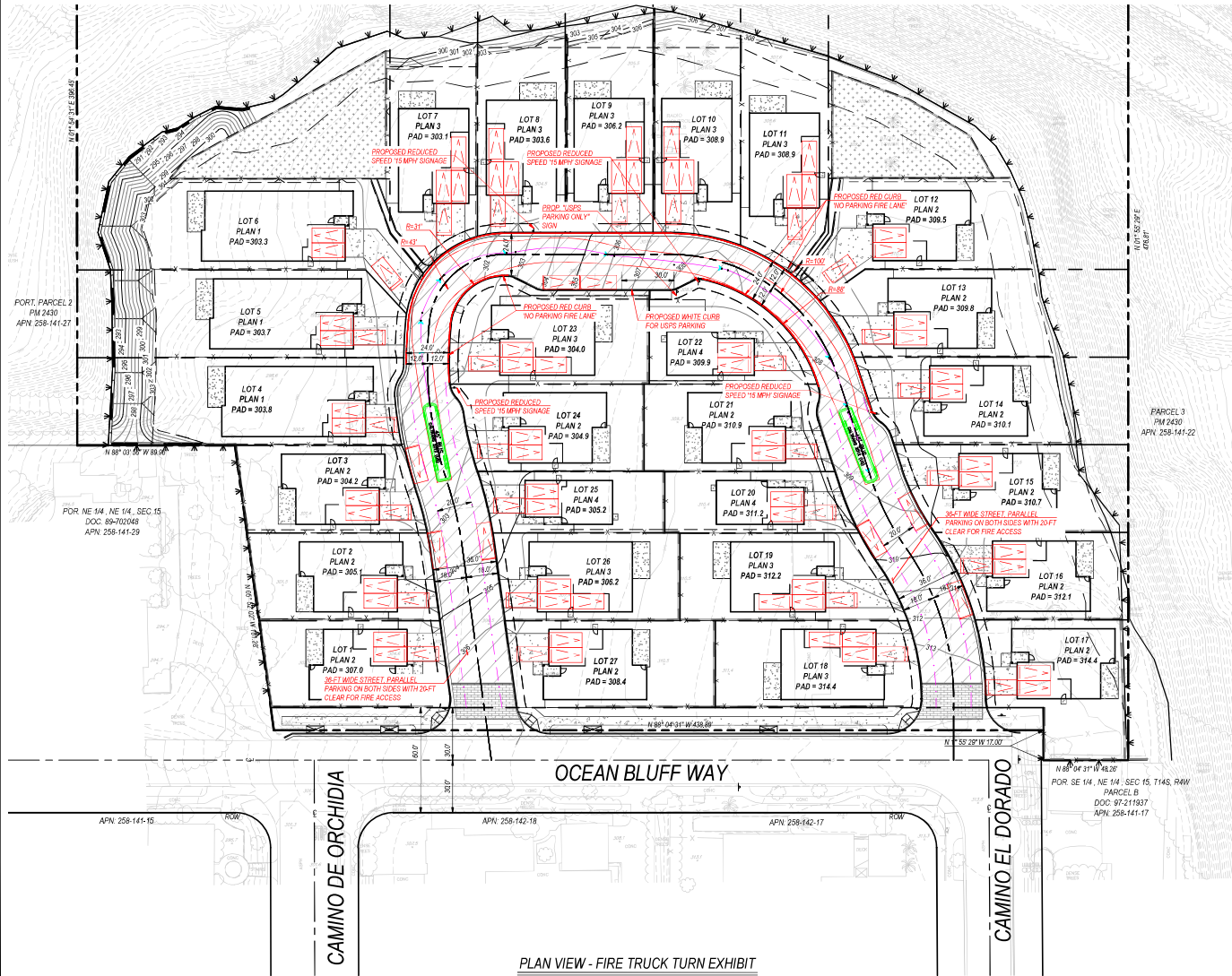
### TOTAL GROSS LOT AREA = 7.19 AC

EXISTING SLOPES	0.23%	4.77 AC	(66.3% OF PROJECT SITE)
EXISTING NATURAL SLOPES	25.40%	0.23 AC	(1.1% OF PROJECT SITE)
EXISTING NATURAL SLOPES	40% +	0.71 AC	(9.9% OF PROJECT SITE)
EXISTING MANUFACTURED SLOPES	25% +	1.48 AC*	(20.6% OF PROJECT SITE)

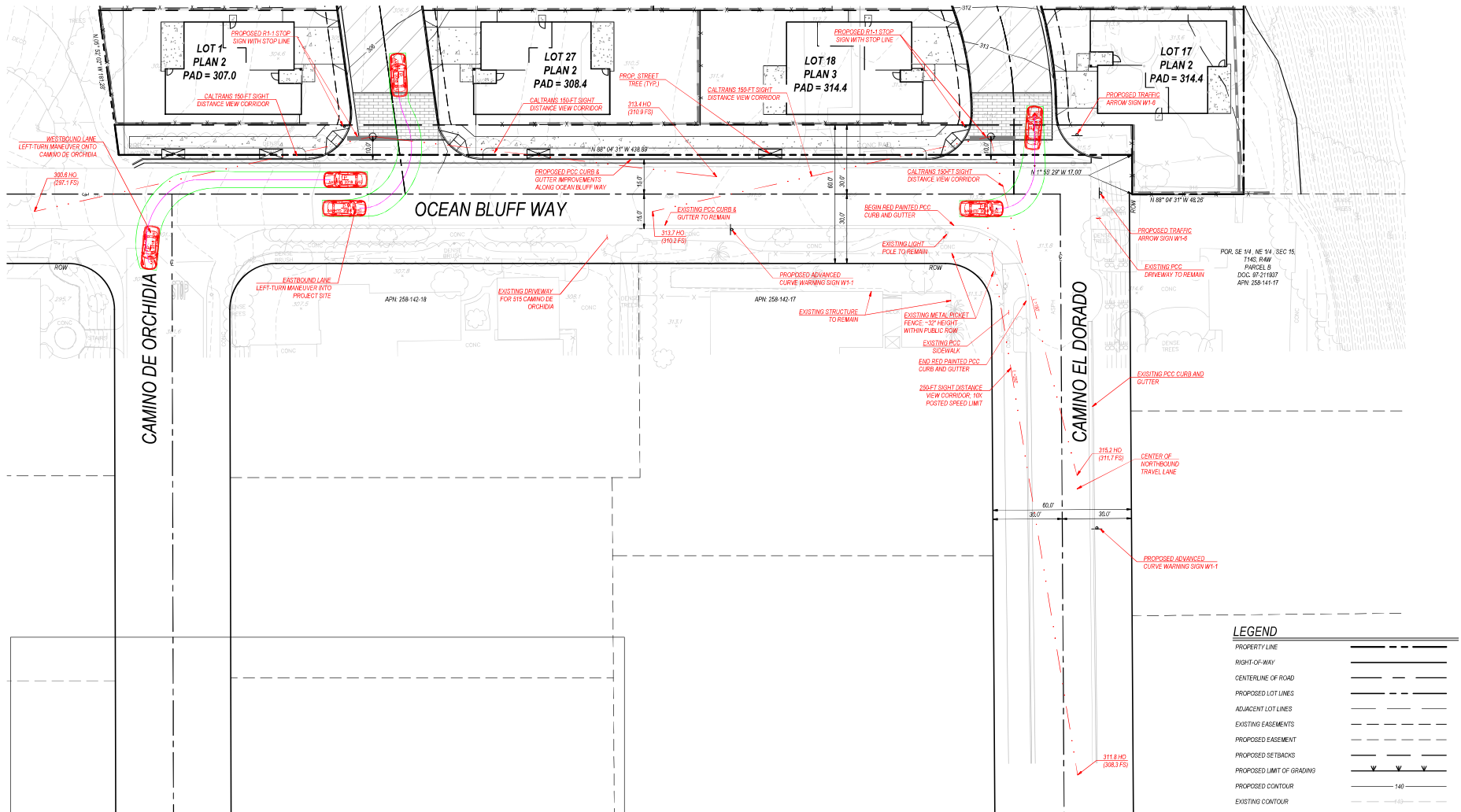
\*PROJECT SITE HAS BEEN PREVIOUSLY GRADED IN ACCORDANCE WITH CITY OF ENCINITAS GRADING PERMIT NO. #E.S. 458-66.

### PROPOSED GROUND DISTURBANCE

- PROPOSED ENCROACHMENT INTO NATURAL STEEP SLOPE AREA DUE TO PROPOSED AREA DUE TO PROPOSED SITE PLAN AND GRADING / CONSTRUCTION OPERATIONS
- PROPOSED ENCROACHMENT INTO STEEP SLOPE AREA PREVIOUSLY GRADED OR DISTURBED
- PROPOSED LIMITS OF DISTURBANCE
- INDICATES EXISTING AND FUTURE RIGHT-OF-WAY AND EASEMENTS FOR PUBLIC OR PRIVATE STREETS / ROADS USED TO DETERMINE NET ACREAGE (EXCLUDED FROM GROSS ACREAGE) FOR INCLUSORY HOUSING REQUIREMENT.







PLAN VIEW - INTERSECTION SITE DISTANCE EXHIBIT

SCALE: 1" = 20'

STREET VIEW - OCEAN BLUFF WAY AND EL DORADO INTERST.

**LEGEND**

PROPERTY LINE	---
RIGHT-OF-WAY	---
CENTERLINE OF ROAD	---
PROPOSED LOT LINES	---
ADJACENT LOT LINES	---
EXISTING EASEMENTS	---
PROPOSED EASEMENT	---
PROPOSED SETBACKS	---
PROPOSED LIMIT OF GRADING	---
PROPOSED CONTOUR	---
EXISTING CONTOUR	---
INTERIOR LOTS 24-FT BACKUP	---
EXTERIOR LOTS 24-FT BACKUP	---
PROPOSED PARKING SPACE (SEE NOTE)	---

**STRIPING NOTES:**

1. CURB RETURN AT SOUTHWEST CORNER OF OCEAN BLUFF WAY / CAMINO EL DORADO TO BE PAINTED RED.
2. BEGIN WHITE EDGE LINE STRIPING PER CALTRANS STANDARD PLAN A202 DETAIL 3903A AT THE NORTHERN DRIVEWAY EDGE OF 887 CAMINO EL DORADO. END WHITE EDGE LINE STRIPING AT THE EASTERN EDGE OF THE PROPOSED DRIVEWAY SERVING THE SUBJECT PROPERTY.

