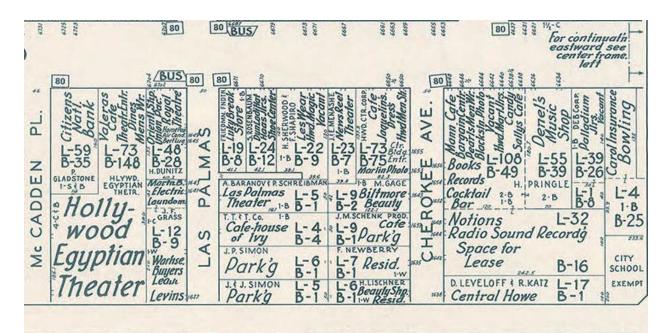
APPENDIX C

Cultural Resources







Hollywood Central Historic Resources Technical Report *December 23, 2022*

HISTORIC RESOURCES GROUP

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Top: Detail, Nierenstein Atlas, Hollywood, 1956. *Los Angeles Public Library*. **Bottom Left:** View looking south down North Las Palmas Avenue from Hollywood Boulevard, circa 1970. *HollywoodPhotographs.com*.

Bottom Right: Detail, 6630-6636 Hollywood Boulevard, view looking southwest, circa 1927. California State Library.

HISTORIC RESOURCES TECHNICAL REPORT

PREPARED FOR

Gonzales Law Group 800 Wilshire Boulevard Suite 860 Los Angeles, CA 90071

Attention: Michael Gonzales

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1.0 EXECUTIVE SUMMARY 5

The purpose of this technical report is to determine if historical resources as defined by the California Environmental Quality Act (CEQA)² are present in the Hollywood Central Project Site and, if so, to identify potentially significant impacts to historical resources caused by the proposed Project. The CEQA statute defines a historical resource as a resource that is:

- Listed in the California Register of Historical Resources (California Register);
- Determined eligible for the California Register by the State Historical Resources Commission;
- Included in a local register of historic resources; or
- Identified as significant in an historical survey that meets the qualifications of PRC Section 5024.1(g).3

The proposed Project would develop a mixed-use commercial and residential project across two sites. As proposed, the Project includes the demolition of three existing buildings; the retention of four additional existing buildings, two of which will be partially demolished; and the construction of four new buildings. Each of the two buildings to be partially demolished will be altered at the rear of the building only.

This investigation included a review of primary and secondary literature regarding the history of commercial development in Hollywood and the associated development of the subject properties over time, a field investigation of the Project Site, and analysis and evaluation of the Project Site in consideration of criteria for listing in the National Register of Historic Places (NRHP) and/or California Register of Historical Resources (CRHR), and for designation as a City of Los Angeles Historic-Cultural Monument.

Based on visual observation of the subject properties, review of primary and secondary sources, and an analysis of the eligibility criteria for listing in the National Register of Historic Places and the California Register of Historical Resources as well as the criteria for local designation as a Los Angeles Historic-Cultural Monument, HRG has evaluated the buildings within the footprint of the Project Site and has made the following determinations.

³ California PRC Section 21084.1.

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² California Public Resources Code (PRC), Section 21000 et seq.

Two buildings are presently designated as historic resources and therefore meet the requirements for consideration as historical resources for the purposes of CEQA:

- The building at 1618 North Las Palmas Avenue in Site 1 is designated as Los Angeles Historic-Cultural Monument No. 1114.
- The building at 6630-6636 Hollywood Boulevard in Site 2 is listed in the National Register as a contributor (No. 74) to the Hollywood Boulevard Commercial and Entertainment District.

One of the remaining four buildings is listed as a non-contributor to the Hollywood Boulevard Commercial and Entertainment District. However, the remaining four buildings do not appear to be associated with important historical events, trends, or individuals; do not embody the distinctive characteristics of a particular building type or architectural style; and do not reflect the work of a master architect. For these reasons, the remaining four buildings do not appear to be eligible as individual historical resources. Therefore, they do not meet the requirements for consideration as individually eligible historical resources for the purposes of CEQA.

Construction activity associated with the proposed Project would require substantial foundation work and the construction of subterranean parking. As analyzed in more detail in a noise and vibration technical study prepared for the Project by Meridian Consultants, ensuring protection of nearby historic resources from vibration damage that could result in significant impacts to historic resources requires mitigation.

2.0 INTRODUCTION 7

2.1 Purpose

The purpose of this technical report is to determine if historical resources as defined by the California Environmental Quality Act (CEQA)⁴ are present in the Hollywood Central Project Site and, if so, to identify potential impacts to historical resources caused by the proposed Project.

Under CEQA the potential impacts of a project on historical resources must be considered. The purpose of CEQA is to evaluate whether a proposed project may have a significant adverse effect on the environment and, if so, if that effect can be reduced or eliminated by pursuing an alternative course of action or through mitigation measures.

The significant impacts of a project on a historical resource may be considered a significant environmental impact. CEQA states that:

A project that may cause a substantial adverse change in the significance of an historical resource is a project that may have a significant effect on the environment⁵

Thus, an evaluation of project impacts under CEQA requires a two-part inquiry: (1) a determination of whether the project site contains or is adjacent to a historically significant resource or resources and if so, (2) a determination of whether the proposed project will result in a "substantial adverse change" in the significance of the resource or resources. A substantial adverse change is defined in the CEQA Guidelines as the "physical demolition, destruction, relocation, or alteration of [a historical] resource or its immediate surroundings such that the significance of an historical resource would be materially impaired." This report investigates the Hollywood Central Project Site to determine if historic resources exist within its boundaries and analyzes project impacts for any adverse change in the significance of such resources.

This report contains:

• A review of the existing properties comprising the Project Site;

- 4 California PRC, Section 21084.1.
- ⁵ California PRC, Section 21084.1.
- ⁶ California Code of Regulations Title 14, Chapter 3, Section 15000 et seq (CEQA Guidelines).
- ⁷ CEQA Guidelines Section 15064.1(b)(1).

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- A review of previous evaluations of the site through historic survey, environmental review, or other official actions;
- Evaluation of any potential historic resources; and
- Analysis of impacts to historical resources under CEQA.

2.2 Project Team

Research, field inspection, and analysis were performed by Paul Travis, AICP, Principal, and Heather Goers, Senior Architectural Historian. Additional research was undertaken by Ani Mnatsakanyan, Associate Architectural Historian. Site photography was completed by Robby Aranguren, Planning Associate/GIS Specialist. All are qualified professionals who meet or exceed the Secretary of the Interior's Professional Qualifications Standards.

2.3 Project Site and Vicinity

As part of this analysis, Historic Resources Group (HRG) examined the subject properties that comprise the Project Site and would be directly affected by the proposed Project. The Project Site is composed of two groupings of adjacent parcels: Site 1 and Site 2. These parcels are delineated in the following Table 1.

Site 1 is composed of nine adjoining parcels situated immediately to the south of those parcels fronting Hollywood Boulevard to the north, between North Cherokee Avenue to the east and North Las Palmas Avenue to the west. Although these parcels are geographically contiguous, they were developed independently of each other over time.

Site 2 is situated to the east of Site 1, across North Cherokee Avenue, and is composed of three adjoining parcels situated to the southeast of the intersection of Hollywood Boulevard and North Cherokee Avenue. Like Site 1, Site 2 represents a collection of geographically contiguous parcels which were developed independently of each other.

Project Site Vicinity

Because the Project would add considerable height and density in areas currently improved only with surface parking lots and modest commercial buildings, HRG also examined historical resources in the vicinity of the Project Site. Historical resources in the vicinity of the Project Site may be subject to adverse impacts as a result of work associated with the proposed Project, such as potential damage arising from adjacent underground excavation and general construction procedures that could undermine the stability of a historical resource.

The analysis in this report focuses on those properties reasonably foreseen to be potentially impacted by the proposed Project due to their proximity to the Project Site. In order to identify historical resources present in the vicinity that may be impacted by

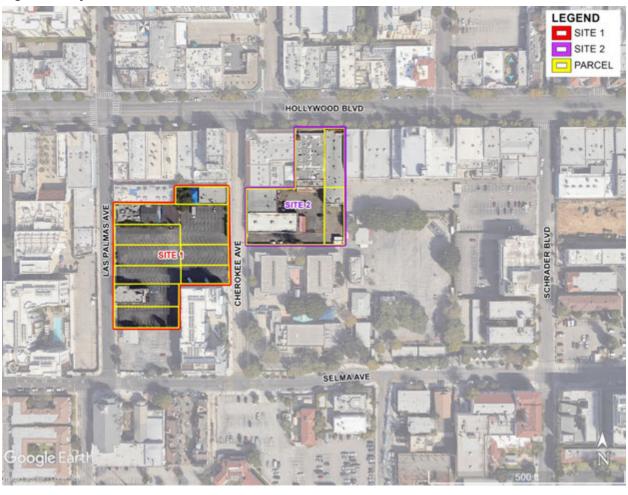
the proposed Project, HRG conducted a review of parcels immediately adjacent to the Project Site, as well as those parcels immediately across the street from the Project Site, and noted existing historical resources present in this vicinity. These resources are noted throughout the report, and potential impacts associated with these resources are discussed as part of the analysis. The vicinity area is also noted in the following Figure 2.

Table 1: Parcels Comprising the Project Site

PROJECT SITE	ASSESSOR PARCEL NUMBER (APN)	TRACT	LOT	PARCEL ADDRESS(ES)	CURRENT DEVELOPMENT STATUS	
Site 1	5547-014-005 Eulalie Tract Lot 12 1623 N. Cherokee Avenue		1623 N. Cherokee Avenue	Surface Parking Lot		
			Arb 1	1623½ N. Cherokee Avenue		
				1625 N. Cherokee Avenue		
	5547-014-006	Eulalie Tract	Lot 12 Arb 2	None	Surface Parking Lot	
	5547-014-009	Eulalie Tract	Lot 14	1641 N. Cherokee Avenue	Commercial Building	
			Arb 2	1643 N. Cherokee Avenue		
				1645 N. Cherokee Avenue		
	5547-014-021	Eulalie Tract No. 2	Lot 4	1634 N. Las Palmas Avenue	Surface Parking Lot	
	5547-014-022	Eulalie Tract	Lot 5	1628 N. Las Palmas Avenue	Surface Parking Lot	
		No. 2		1628½ N. Las Palmas Avenue]	
				1630 N. Las Palmas Avenue		
				1630½ N. Las Palmas Avenue		
	5547-014-023	Eulalie Tract No. 2	Lot 6	1624 N. Las Palmas Avenue	Surface Parking Lot	
	5547-014-024	Eulalie Tract No. 2	Lot 7	1618 N. Las Palmas Avenue	Commercial Building	
	5547-014-025	Eulalie Tract No. 2	Lot 8-9-10 Arb 1-1-1	1610 N. Las Palmas Avenue	Surface Parking Lot	
	5547-014-044	Eulalie Tract	Lot 13 Arb 1	1635 N. Cherokee Avenue	Surface Parking Lot	
		Eulalie Tract	Lot 13 Arb 2	1637 N. Cherokee Avenue	Surface Parking Lot	
		Eulalie Tract No. 2	Lot 3	1638 N. Las Palmas Avenue	Commercial Building	
Site 2	5547-015-001	Eulalie Tract	Lot 1	6626 W. Hollywood Boulevard	Commercial Building	
			Arb 1	6628 W. Hollywood Boulevard		
	5547-015-004	Eulalie Tract	Lot 1 Arb 2	None	Commercial Building (portion)	
		Eulalie Tract	Lot 3 Arb 2	None	Surface Parking Lot	
	5547-015-026	Eulalie Tract	Lot 1 Arb 3	6630 W. Hollywood Boulevard 6636 W. Hollywood Boulevard	Commercial Building	
		Eulalie Tract	Lot 1 Arb 5	None	Surface Parking Lot	
		Eulalie Tract	Lot 2 Arb 2	None (1642-1648 North Cherokee Avenue)	Commercial Building	
		Eulalie Tract	Lot 3 Arb 1	1638 N. Cherokee Avenue	Commercial Building	

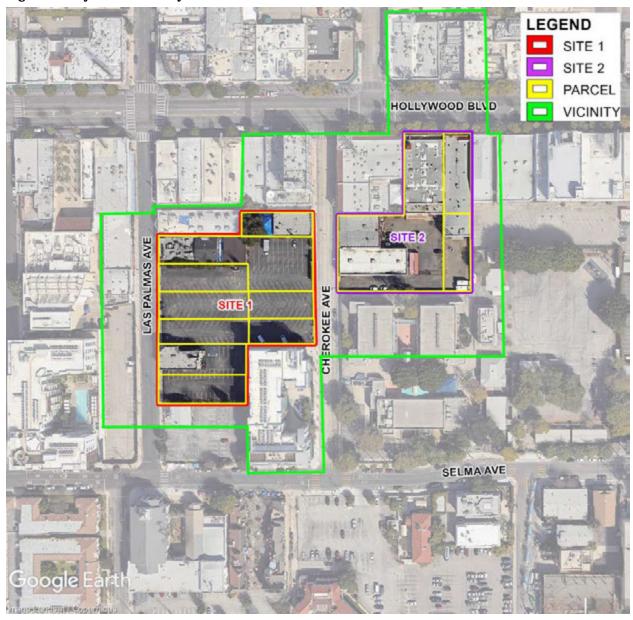
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Figure 1: Project Location



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Figure 2: Project Site Vicinity



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2.4 Acronyms and Common Abbreviations

The following table notes preservation planning terminology and designations utilized throughout this report, along with their common acronyms or abbreviations.

Table 2: Acronyms and Common Abbreviations

TERMINOLOGY	ACRONYM/ABBREVIATION
Assessor Parcel Number	APN
Built Environment Resource Directory	BERD
California Environmental Quality Act	CEQA
California Register of Historical Places	California Register or CR
Community Plan Area	CPA
HistoricPlacesLA	HPLA
Los Angeles Historic-Cultural Monument	HCM
National Register of Historic Places	National Register or NR
Redevelopment Project Area	RPA
Zone Information and Map Access	ZIMAS
System	

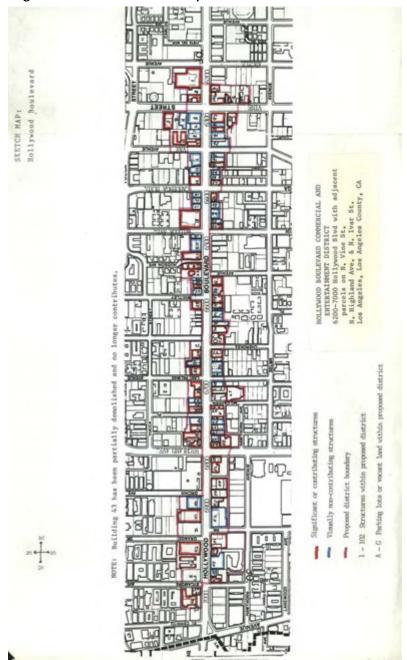
2.5 A Note Regarding Previous Designations

Two properties within the Project Site, 6626-6628 Hollywood Boulevard and 6630-6636 Hollywood Boulevard, are also located within the boundary of the Hollywood Boulevard Commercial and Entertainment District (the District), which was listed in the National Register of Historic Places in 1985.* Several additional buildings located within the District are also located in the vicinity of the Project Site. As a result, a number of buildings within the District are discussed throughout this report.

Buildings within the District are documented on a nomination form, which includes both a narrative inventory of contributing and non-contributing buildings as well as a map keyed to the building numbers noted in the narrative. This map and a second cropped detail showing the properties relevant to the Project Site – in essence, properties that are located either within the boundary of the Project Site or in its vicinity – are included in the following Figures 3 and 4, respectively.

⁸ A copy of the nomination and the accompanying map are available at U. S. Department of the Interior, National Park Service, "National Register of Historic Places Inventory – Nomination Form: Hollywood Boulevard Commercial and Entertainment District," National Register of Historic Places, April 4, 1985, https://npgallery.nps.gov/GetAsset/236d3254-47ee-4b31-9045-c2999cc465f2/ (accessed March 2022).

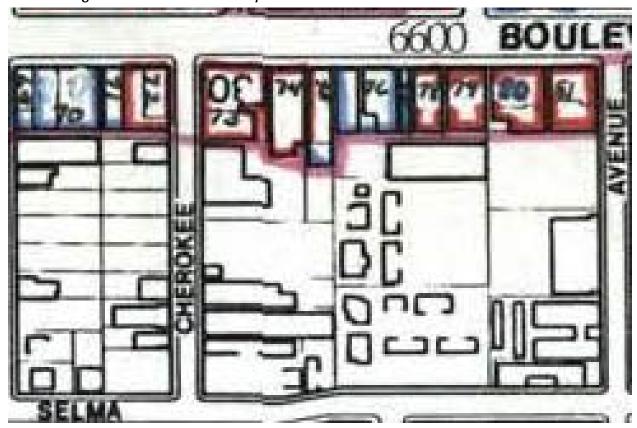
Figure 3: Hollywood Boulevard Commercial and Entertainment District National Register Nomination Form Map



From "National Register of Historic Places Inventory – Nomination Form: Hollywood Boulevard Commercial and Entertainment District."

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Figure 4: Detail, Hollywood Boulevard Commercial and Entertainment District National Register Nomination Form Map



From "National Register of Historic Places Inventory – Nomination Form: Hollywood Boulevard Commercial and Entertainment District." Per the map key, a red building outline indicates a "significant or contributing" structure, and a blue building outline indicates a "visually non-contributing" structure. The large upsidedown number 30 at the southwest corner of the intersection refers to the street address range for the block and is not a part of the building number scheme.

A close review of the National Register nomination form reveals that there are several discrepancies in how some individual properties relevant to the Project Site are documented between the narrative inventory and the accompanying map. These discrepancies include differences in building numbers, historical versus current street addresses, and most significantly, determinations of contributing or non-contributing status. Information provided in the National Register nomination form and accompanying map for properties relevant to the Project Site is documented in the following Table 3.

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Upon review of the National Register nomination, HRG noted that the information for several properties – namely, those numbered 73, 74, and 75 in the nomination – appeared to overlap. In order to verify the information and designation assigned to each property, HRG mapped each property in the City of Los Angeles's (Zone Information and Map Access System ZIMAS) using the address provided in the nomination, and then compared the parcel found in ZIMAS to the parcel identified for that building in the nomination map. The following discrepancies were noted:

- Building #75 in the narrative, when mapped to the accompanying address, is not assigned a building number on the map. The corresponding building outline suggests that #76 may have been intended to apply to both this building as well as the building immediately to the east.
- Building #74 in the narrative, when mapped to the accompanying address, is assigned the number 75 on the map.
- Building #73 in the narrative, when mapped to the accompanying address, is assigned the number 74 on the map.
- Building #75 on the map corresponds to the building presently located at 6626-6628 Hollywood Boulevard. This address is associated with Building #74 in the nomination narrative. This building is noted on the map as a noncontributing building with a blue outline, but described in the narrative (as Building #74) as a contributing building.
- Building #74 on the map corresponds to the building presently located at 6630-6636 Hollywood Boulevard. This address is associated with Building #73 in the nomination narrative. This building represents an addition to the Cherokee Building, but is described in the narrative (as Building #73) as the Cherokee Building.
- Building #73 on the map corresponds to the building presently located at 6638-6648½ Hollywood Boulevard. This address is not included in the nomination narrative. This building represents the central core of the Cherokee Building, but is not individually noted as such in the narrative. Although it is possible that the use of the 6630 Hollywood Boulevard address was intended to apply to both Building #73 and #74 on the map, this appears unlikely as they are distinguished on the map as separate structures.

In an effort to clarify any discrepancies in determinations of contributing or noncontributing status, findings included in the nomination were also compared with how the same buildings were recorded in inventories maintained by the State of California (now known as the Built Environment Resource Directory or BERD) and whether those buildings were recorded as contributing or non-contributing buildings within the District. The following was noted:

- The building at 6624 Hollywood Boulevard "[d]etermined ineligible for [the National Register]" in 1985, the same year the District was listed in the National Register. Therefore, it appears that the building was recorded as a noncontributor to the District.
- The building at 6626 Hollywood Boulevard was "[d]etermined ineligible for [the National Register]" in 1985, the same year the District was listed in the National Register. Therefore, it appears that the building was recorded as a non-contributor to the District.
- The building at 6630 Hollywood Boulevard was identified as a "Contributor to a multi-component resource like a district listed in [the National Register]" in 1985, the same year the District was listed in the National Register. Therefore, it appears that the building was recorded as a contributor to the District.
- The building at 6652 Hollywood Boulevard was identified as a "Contributor to a multi-component resource like a district listed in [the National Register]" in 1985, the same year the District was listed in the National Register. Therefore, it appears that the building was recorded as a contributor to the District.
- The building at 6658 Hollywood Boulevard was "[d]etermined ineligible for [the National Register]" in 1985, the same year the District was listed in the National Register.¹² Therefore, it appears that the building was recorded as a noncontributor to the District.

These discrepancies in documentation, along with the findings in the State of California's inventory, are summarized in the following Table 3.

⁹ For additional information, refer to Section 7.3.

¹⁰ Built Environment Resource Directory (BERD), California Office of Historic Preservation, https://ohp.parks.ca.gov/?page_id=30338 (accessed November 2020).

¹¹ Built Environment Resource Directory (BERD).

¹² Built Environment Resource Directory (BERD).

Table 3: National Register Nomination Form Documentation of Properties Relevant to the Project Site

Building Key # in Narrative	Building Key # in Map	Building Address and Name in Narrative	Building Address for Map Parcel in ZIMAS	District Status in Narrative	District Status in Map	District Status In BERD
75	No Number	6624 Hollywood Boulevard (Alexanders)	6622-6624½ Hollywood Boulevard	Non-Contributor	Non-Contributor	Non-Contributor
74	75	6626 Hollywood Boulevard (The Orient)	6626-6628 Hollywood Boulevard	Contributor	Non-Contributor	Non-Contributor
73	74	6630 Hollywood Boulevard (Cherokee Building)	6638-6648½ Hollywood Boulevard	Contributor	Contributor	Contributor
72	72	6652 Hollywood Boulevard (Shane Building)	6650-6656 Hollywood Boulevard	Contributor	Contributor	Contributor
71	71	6658 Hollywood Boulevard (Stores)	6658-6660 Hollywood Boulevard	Non-Contributor	Non-Contributor	Non-Contributor

In order to maintain clarity and consistency in the discussions and evaluations included throughout this report, HRG has established the following methodology for discussing properties relevant to the Project Site whose documentation in the National Register nomination form may include discrepancies:

- All buildings will be referenced using current address ranges noted in ZIMAS.
- Historical building names will be referenced in accordance with known historical functions and uses identified through research undertaken for this investigation.
- When building numbers are utilized, they will correspond to the buildings as they are numbered on the National Register nomination map, *not* as they are numbered in the National Register nomination narrative. The building at 6622-6624½ Hollywood Boulevard will be noted as #76.

 Where discrepancies exist between narrative and graphic documentation in the determination of contributing and non-contributing buildings, determinations will be utilized as they are indicated on the National Register nomination map and confirmed by supporting records held by the State of California. Therefore, the building at 6626-6628 Hollywood Boulevard will be treated as a non-contributor to the District.

Application of this framework is presented in the following Table 4 and delineates how buildings will be referenced throughout this report. While most buildings are referenced by their original historic names, for the purposes of this report, the building at 6630-6636 Hollywood Boulevard that was originally constructed as a unit of the Cherokee Building will be referred to as the Cherokee Building Addition to distinguish its construction from the corner unit, which is noted as the Cherokee Building. (For further information on development of the Cherokee Building, refer to Section 10.2.)

Table 4: Hollywood Commercial and Entertainment District Buildings Relevant to the Project Site

Building Key # in Map	Building Address Range	Historical Building Name	District Status
76	6622-6624½ Hollywood Boulevard	N/A	Non-Contributor No. 76
75	6626-6628 Hollywood Boulevard	The Orient	Non-Contributor No. 75
74	6630-6636 Hollywood Boulevard	Cherokee Building Addition	Contributor No. 74
73	6638-6648½ Hollywood Boulevard	Cherokee Building	Contributor No. 73
72	6650-6656 Hollywood Boulevard	Shane Building	Contributor No. 72
71	6658-6660 Hollywood Boulevard	N/A	Non-Contributor No. 71

3.0 PROJECT DESCRIPTION 20

The Project is located on two separate sites as identified below: 13

• Project Address:

- o Site 1: 1610-1638 N. Las Palmas Ave.; 1623-1645 N. Cherokee Ave.
- o Site 2: 6626-6636 W. Hollywood Blvd.; 1638-1644 N. Cherokee Ave.
- Assessor's Parcel Number:
 - o Site 1: 5547-014-005, -006, -009, -021, -022, -023, -024, -025, -044
 - o Site 2: 5547-015-001, -006, -024
- Major Cross Streets: Hollywood Blvd., Cherokee Ave., and Las Palmas Ave.
- Community Plan Area: Hollywood
- Council District: 13

The Project is located on two separate sites. Generally, the Project is a mixed use commercial and residential project contained within four existing buildings that will remain and four proposed new buildings. Two existing buildings that will remain located on Site 1 front on Las Palmas Avenue, and two existing buildings that will remain located on Site 2 front on Hollywood Boulevard. Site 1 will be improved with three new buildings and Site 2 will be improved with one new building. The Project is comprised of: approximately 67,328 square feet of restaurant/retail (24,924 square feet is existing and will remain); approximately 44,778 square feet of office (14,290 is existing and will remain); and approximately 633 multi-family residential dwelling units.

The Site 1 portion contains 78,675 square feet of lot area. The Site 1 portion of the Project involves the construction, use and maintenance of a mixed use commercial and residential project. The building fronting Cherokee Avenue (1637 N. Cherokee Avenue) will be demolished. The large surface parking lot will be removed. Two existing budlings fronting Las Palmas Avenue (1638 N. Las Palmas Avenue identified as Building 4 and 1618 N. Las Palmas Avenue identified as Building 5) will remain and contain a total of 11,333 square feet that will be used for commercial purposes (restaurant in Building 4 and office in Building 5). Building 4's existing covered patio will be demolished. Three new buildings containing a total of 393 dwelling units and commercial uses are proposed on Site 1. Building 1 will contain 46 dwelling units (45,320 square feet of floor area) and 4,392 square feet of ground floor restaurant uses. Building 1 will reach 7 stories and a height of 94 feet 1 and ½ inch to the top of the roof. Building 2 will contain and 281 dwelling units on levels 3 to 14 with roof deck

13 The following project descriptions for Sites 1 and 2 are reproduced as furnished by the Applicant. Information has been replicated where the description references details included in other parts of the submission.

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and community room on level 15 (227,144 square feet of floor area) and 30,571 square feet of restaurant and small market uses on levels 1 and 2. Building 2 will reach 15 stories and up to 182 feet 7 and 1/8 inch to the top of the roof. Building 3 will contain 66 dwelling units (48,045 square feet of floor area) and 7,689 square feet of ground floor office uses. Building 3 will reach 7 stories and a height of up to 77 feet 6 and ¼ inch to the top of the roof. Site 1 will provide 40,775 square feet of open space in the form of recreation rooms, community rooms, courtyards, roof decks and open pedestrian paseos. A 3 level below grade parking structure will be located under Buildings 1, 2 and 3. A total of 336 parking spaces are proposed within the parking structure. LAMC required bicycle parking (38 short term and 194 long term spaces) will be provided. Site 1 contains a total of 374,494 square feet of floor area (including the two structures that will remain) for an FAR of 4.76 to 1.

The Site 2 portion contains 51,058 square feet of lot area. The Site 2 portion of the Project involves the construction, use and maintenance of a mixed use commercial and residential project with appx 58,121 square feet of commercial restaurant and office uses, of which 27,881 is existing and will remain, 240 residential dwelling units (171,640 square feet of floor area), and ancillary below grade parking. The existing structures fronting Hollywood Blvd (6636 Hollywood Blvd identified as Building 7 and 6626 Hollywood Blvd identified as Building 8) will remain with commercial uses. An approximately 18 foot 6 inch rear portion of Building 7 will be demolished, and an approximately 58 foot 6 inch rear portion of Building 8 will also be demolished. After demolition, Building 7 and Building 8 will both have a depth of 124 feet 2 inches from Hollywood Boulevard. Building 7 will contain approximately 7,862 square feet of ground floor restaurant and approximately 8,462 square feet of office uses (287 square foot ground floor office lobby and 8,175 square feet of office on the second floor). Building 8 will contain approximately 11,557 square feet of restaurant uses. Building 6 will include 7,441 square feet of restaurant on the ground floor, 22,799 square feet of office on the ground floor and level 2 and 240 dwelling units (171,640 square feet) on levels 3 to 12 and community rooms with roof decks on level 13. Building 6 will reach 13 stories and a height of up to 154 feet 6 and 1/4 inches. Building 6 will contain 25,500 square feet of open space as required by the LAMC. A two level parking garage will be located under Building 6 and will contain 108 vehicle parking spaces. This portion of the Project will include 22 short term bicycle parking spaces and 144 long term bicycle parking spaces as required by the LAMC. Site 2 contains a total of 229,761 (including the two structures that will remain) for an FAR of 4.5 to 1.

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4.0 CURRENT SETTING 22

4.1 Site Location

The proposed Project Site is situated in the center of the southern portion of the Hollywood Community Plan Area (CPA), within the boundaries of the Hollywood Redevelopment Project Area (RPA). The Project Site is located on the south side of Hollywood Boulevard, between Schrader Avenue and Las Palmas Avenue, and is composed of multiple parcels across two blocks that flank North Cherokee Avenue and are bounded by Hollywood Boulevard to the north, North Schrader Boulevard to the east, West Selma Avenue to the south, and North Las Palmas Avenue to the west. The Project Site consists of two sites, Site 1 and Site 2, that are separated by North Cherokee Avenue; Site 1 is situated to the west of North Cherokee Avenue, while Site 2 is situated to the east of the same street. A map of the project location is included in the preceding Figure 1.

4.2 Setting

The Project Site is composed of multiple parcels spanning two blocks south of Hollywood Boulevard between North Schrader Avenue to the east and North Las Palmas Avenue to the west in the Hollywood RPA; it shares these blocks with commercial, retail, and restaurant operations; surface parking lots; multi-family residential properties; and institutional properties, including Selma Avenue Elementary School, Larchmont Charter School (Selma Campus), and Selma Park.

The Hollywood RPA is highly urbanized and generally built out. The area surrounding the Project Site is characterized by a mix of uses within a range of building types of varying densities, including commercial and retail operations, entertainment and tourism operations, offices, hotels, educational institutions, and single- and multi-family residences. The Project Site is located just south of Hollywood Boulevard, one of the major commercial corridors of the RPA. Adjacent development along the Hollywood Boulevard corridor includes commercial, retail, and restaurant operations. Those properties immediately adjacent to the businesses fronting Hollywood Boulevard to the north and south are largely characterized by a variety of high-density multi-family residences, surface parking lots, and multi-story parking garages.

¹⁴ Please refer to Table 2 for a list of acronyms and abbreviations utilized throughout this report.

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5.0 METHODOLOGY 23

Sources consulted as part of this investigation included primary and secondary literature regarding the history of residential and commercial development in Hollywood and the associated development of the properties comprising Sites 1 and 2 over time. Archival sources consulted included but were not limited to historical building permits, historical newspapers, historical aerial photographs, and historical maps including tract, assessor, topographical, and Sanborn Insurance Co. fire insurance maps. A site visit was also conducted by HRG staff on January 19, 2022.

Contemporary planning documents were also consulted, which included but were not limited to previous environmental and survey evaluations related to the subject properties, the 1985 nomination of the District, and contemporary survey efforts, including the 2015 SurveyLA survey of the Hollywood CPA as well as the 2020 CRA/LA survey of the Hollywood RPA. A request for documentation was also submitted to the South Coastal Central Information Center (SCCIC) in April 2019.

Topographical maps available at HistoricAerials.com were reviewed for the subject properties from the following years: 1894, 1896, 1898, 1900, 1902, 1904, 1906, 1908, 1910, 1913, 1915, 1921, 1924, 1926, 1932, 1941, 1948, 1955, 1963, 1968, 1975, 1982, 1995, 2012, 2015, and 2018.

Tract maps associated with the subject properties, available online through the Los Angeles Department of Public Works, were reviewed and included the following: Map of a Subdivision of a Portion of Rancho La Brea (1894, MR053-097); Plat of Eulalie Tract (1901, MB001-035); and Map of Eulalie Tract No. 2 (1903, MB003-084a).

Digital Sanborn Insurance Company fire insurance maps, available through the Los Angeles Public Library, were also reviewed for the subject properties from the following years: 1907, 1913, 1919, 1935, and 1950.

Historical aerial photographs available at HistoricAerials.com were reviewed for the subject properties from the following years: 1948, 1952, 1954, 1964, 1972, 1980, 1989, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2003, 2004, 2005, 2009, 2010, 2012, 2014, 2016, and 2018.

6.0 REGULATORY FRAMEWORK 24

6.1 Historic Resources Under CEQA

CEQA and the CEQA Guidelines establish a definition for historical resources for the purposes of CEQA and provide a framework for identifying significant adverse impacts. According to the CEQA Guidelines, impacts to historical resources arising from the implementation of a proposed project would be considered significant if the project would cause a substantial adverse change in the significance of a historical resource as defined by CEQA.15 A "substantial adverse change" is defined as the "demolition, destruction, relocation, or alteration such that the significance of a historical resource would be impaired."16

For purposes of CEQA, a historical resource is a resource listed in, or determined eligible for listing in, the California Register of Historical Resources.¹⁷ Historical resources included in a local register or historical resources, as defined in subdivision (k) of PRC Section 5020.1, or deemed significant pursuant to criteria set forth in subdivision (g) of PRC Section 5024.1, are presumed to be historically or culturally significant for purposes of CEQA, unless a preponderance of the evidence demonstrates that the resource is not historically or culturally significant.¹⁸ The fact that a resource is not listed in, or determined to be to be eligible for listing in, the California Register of Historical Resources, not included in a local register of historical resources, or not deemed significant pursuant to criteria set forth in subdivision (g) of PRC Section 5024.1 shall not preclude a lead agency from determining whether the resource may be a historical resource for purposes of CEQA.19

The courts have interpreted CEQA to create three categories of historical resources:

- Mandatory historical resources are resources "listed in, or determined to be eligible for listing in, the California Register of Historical Resources."
- Presumptive historical resources are resources "included in a local register of historical resources, as defined in subdivision (k) of Section 5020.1, or deemed significant pursuant to criteria set forth in subdivision (g) of Section 5024.1" of the Public

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¹⁵ CEQA Guidelines, Appendix G Environmental Checklist Form.

¹⁶ CEQA Guidelines Section 15064.5(b)(1).

¹⁷ California PRC Section 21084.1.
¹⁸ California PRC Section 21084.1.
¹⁹ California PRC Section 21084.1.

Resources Code, unless the preponderance of the evidence demonstrates that the resource is not historically or culturally significant.

• *Discretionary historical resources* are those resources that are not listed but determined to be eligible under the criteria for the California Register of Historical Resources.²⁰

CEQA Guidelines Section 15064.5 supplements PRC Section 21084.1 and essentially restates the language that applies to mandatory and presumptive resources²¹ but elaborates on the language that applies to discretionary resources by providing as follows:

- Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record. Generally a resource shall be considered by a lead agency to be historically significant if the resource meets the criteria for listing on the California Register (PRC Section 5024.1, Title 14 CCR, Section 4852);²²
- The fact that a resource is not listed in, or determined eligible for listing in, the California Register, not included in a local register of historic resources (pursuant to PRC Section 5020.1(k)), or identified in an historical resources survey (meeting the criteria of PRC Section 5024.1(g)), does not preclude a lead agency from determining that the resource may be a historical resource as defined in PRC Section 5020.1(j) or 5024.1.23

Properties formally determined eligible for listing in the National Register of Historic Places are automatically listed in the California Register. Properties designated by local municipalities can also be considered historic resources. A review of current historic eligibility for properties that are potentially affected by a project is also required under CEQA.

²⁰ League for the Protection of Oakland's Architectural and Historic Resources v. City of Oakland, 52 Cal. App. 4th 896, 906-7 (1997).

²¹ CEQA Guidelines Section 15064.5(a)(1) and (2).

²² CEQA Guidelines Section 15064.5(a)(3).

²³ CEQA Guidelines Section 15064.5(a)(4).

6.2 Historic Designations

A property may be designated as historic by National, State, and local authorities. In order for a building to qualify for listing in the National Register or the California Register, it must meet one or more identified criteria of significance. The property must also retain sufficient architectural integrity to continue to evoke the sense of place and time with which it is historically associated.

National Register of Historic Places

The National Register of Historic Places is an authoritative guide to be used by Federal, State, and local governments, private groups, and citizens to identify the Nation's cultural resources and to indicate what properties should be considered for protection from destruction or impairment.²⁴ The National Park Service administers the National Register program. Listing in the National Register assists in preservation of historic properties in several ways including: recognition that a property is of significance to the nation, the state, or the community; consideration in the planning for federal or federally assisted projects; eligibility for federal tax benefits; and qualification for Federal assistance for historic preservation, when funds are available.

To be eligible for listing and/or listed in the National Register, a resource must possess significance in American history and culture, architecture, or archaeology. Listing in the National Register is primarily honorary and does not in and of itself provide protection of a historic resource. The primary effect of listing in the National Register on private owners of historic buildings is the availability of financial and tax incentives. In addition, for projects that receive Federal funding, a clearance process must be completed in accordance with Section 106 of the National Historic Preservation Act. Furthermore, state and local regulations may apply to properties listed in the National Register.

The criteria for listing in the National Register follow established guidelines for determining the significance of properties. The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects:

- A. That are associated with events that have made a significant contribution to the broad patterns of our history; or
- B. That are associated with the lives of persons significant in our past; or

24 36CFR60, Section 60.2.

- C. That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. That have yielded, or may be likely to yield, information important in prehistory or history.²⁵

In addition to meeting any or all of the criteria listed above, properties nominated must also possess sufficient historic integrity, which is discussed in the following Section 6.6.

California Register of Historical Resources

The California Register is an authoritative guide in California used by State and local agencies, private groups, and citizens to identify the State's historic resources and to indicate what properties are to be protected, to the extent prudent and feasible, from substantial adverse change.²⁶

The criteria for eligibility for listing in the California Register are based upon National Register criteria. These criteria are:

- Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.
- 2. Associated with the lives of persons important to local, California or national history.
- 3. Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values.
- 4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation.

The California Register consists of resources that are listed automatically, such as California resources listed in the National Register of Historic Places, and those resources that must be nominated through an application and public hearing process. The California Register includes the following:

²⁵ 36CFR60, Section 60.3.

²⁶ California PRC, Section 5023.1(a).

- California properties formally determined eligible for (Category 2 in the State Inventory of Historical Resources), or listed in (Category 1 in the State Inventory), the National Register of Historic Places.
- State Historical Landmark No. 770 and all consecutively numbered state historical landmarks following No. 770. For state historical landmarks preceding No. 770, the Office of Historic Preservation (OHP) shall review their eligibility for the California Register in accordance with procedures to be adopted by the State Historical Resources Commission (commission).
- Points of historical interest which have been reviewed by the OHP and recommended for listing by the commission for inclusion in the California Register in accordance with criteria adopted by the commission.²⁷

Other resources which may be nominated for listing in the California Register include:

- Individual historic resources.
- Historic resources contributing to the significance of a historic district.
- Historic resources identified as significant in historic resources surveys, if the survey meets the criteria listed in subdivision (g).
- Historic resources and historic districts designated or listed as city or county landmarks or historic properties or districts pursuant to any city or county ordinance, if the criteria for designation or listing under the ordinance have been determined by the office to be consistent with California Register criteria.
- Local landmarks or historic properties designated under any municipal or county ordinance.28

City of Los Angeles Historic-Cultural Monuments

The City of Los Angeles Cultural Heritage Ordinance, enacted in 1962, allows for the designation of buildings and sites as individual local landmarks in the City of Los Angeles. These landmarks are known as "Historic-Cultural Monuments."

Section 22.171.7 of Article 1, Chapter 9, Division 22 of the City of Los Angeles Administrative Code defines a Historic-Cultural Monument as "any site (including

- ²⁷ California PRC, Section 5023.1(d). ²⁸ California PRC, Section 5023.1(e).

significant trees or other plant life located on the site), building or structure of particular historic or cultural significance to the City of Los Angeles." A proposed Monument may be designated by the City Council upon the recommendation of the Cultural Heritage Commission if it meets at least one of the following criteria:

- 1. Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community;
- 2. Is associated with the lives of historic personages important to national, state, city, or local history; or
- 3. Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.

Designation recognizes the unique architectural value of certain structures and helps to protect their distinctive qualities. Any interested individual or group may submit nominations for Historic-Cultural Monument status. Buildings may be eligible for Historic-Cultural Monument status if they retain their historic design and materials. Those that are intact examples of past architectural styles or that have historical associations may meet the criteria listed in the Cultural Heritage Ordinance.

6.3 SurveyLA

The Project Site is located within the City of Los Angeles, which has been subject to a citywide historic resources survey known as SurveyLA. SurveyLA, the Los Angeles Historic Resources Survey, is the City's comprehensive program to identify and document potential historic resources throughout the City of Los Angeles. SurveyLA is intended to provide baseline information on historic resources to inform planning decisions and support City policy goals and processes.²⁹

As part of SurveyLA, the Office of Historic Resources has developed a Historic Context Statement (HCS) to provide a framework for identifying and evaluating potential historic resources within the City of Los Angeles. The HCS utilizes the Multiple Property Documentation (MPD) format developed by the National Park Service for the National

²⁹ SurveyLA Los Angeles Historic Resources Survey, "Field Survey Results Master Report," August 2016, https://planning.lacity.org/odocument/c118f301-cc39-4ede-af5a-3e5ec901e7be/SurveyLA Master Report.pdf (accessed November 2020). Resources identified through SurveyLA are not designated resources; designation is a separate process that requires public hearings and property owner notification.

Register of Historic Places and complies with the standards and guidelines set forth by the National Park Service and the California Office of Historic Resources.³⁰ This approach organizes the themes, trends, and patterns of history shared by properties into historic contexts; identifies and describes historic resources or property types that represent the contexts; and provides specific standards to guide the evaluation of significance. The SurveyLA HCS is organized into nine broad historical contexts, which are specific to Los Angeles and focus on the development of the City during the period dating from 1780 to 1980, and further subdivided into themes and sub-themes that reflect the various historical trends and patterns of events associated with each context.³¹

The Project Site falls within the boundaries of the Hollywood RPA, which is located in the Hollywood CPA. The area comprising the Project Site was surveyed most recently as part of the CRA/LA survey of the Hollywood RPA in 2020.32

6.4 Hollywood Community Plan Area

The Project Site is located within the planning boundary of the Hollywood CPA, adopted in December 1988. The Hollywood Community Plan is one of thirty-five Community Plans that comprise the Land Use Element of the City of Los Angeles' General Plan. The General Plan is the City's fundamental policy document, directing the City's future growth and development.

The Hollywood Community Plan does not specifically address historic resources; however, a stated objective of the 1988 Plan is to "encourage the protection and enhancement of the varied and distinctive residential character of the Community..." In addition, Housing Policy in the Community Plan version "encourages the protection and enhancement of well-defined residential neighborhoods in Hollywood through (1) application of Historic Preservation Overlay Zones where appropriate, and/or (2) preparation of neighborhood preservation plans which further refine and tailor development standards to neighborhood character." ³³

³⁰ SurveyLA Los Angeles Historic Resources Survey, "Los Angeles Citywide Historic Context Statement: Context Outline, Revised January 2020," https://planning.lacity.org/odocument/fbb3582b-b6b0-4fb7-b27a-dbabacd760aa/SurveyLA_HistoricContextStatementOutline_July2018.pdf (accessed November 2020.
³¹ SurveyLA Los Angeles Historic Resources Survey, "Los Angeles Citywide Historic Context Statement: Context

Outline, Revised January 2020."

^{32 &}quot;Historic Resources Survey Report: Hollywood Redevelopment Plan Area," prepared for the City of Los Angeles Department of City Planning Office of Historic Resources by Architectural Resources Group, GPA Consulting, and Historic Resources Group, July 28, 2020, https://planning.lacity.org/odocument/74350ef7-7041-4c77-b5bb-6e3ca4e77dac/HollywoodRDP_HistoricResourcesSurveyReport_REV013020.pdf (accessed February 2022).

³³ "Hollywood Community Plan," December 13, 1988, https://planning.lacity.org/odocument/78322462-6303-410a-ae8d-8435483c3b41/Hollywood_Community_Plan.pdf (accessed July 2022).

The Plan also reiterates that it is "the City's policy that the Hollywood Community Plan incorporate the sites designated on the Cultural and Historical Monuments Element of the General Plan." 34

6.5 Hollywood Redevelopment Project Area

The Project Site is contained within the Hollywood RPA, which is generally bounded by Franklin Avenue on the north, Serrano Avenue on the east, Santa Monica Boulevard and Fountain Avenue on the south, and La Brea Avenue on the west. The Hollywood Redevelopment Project will expire in 2028. The Hollywood RPA was established in 1984 by the Community Redevelopment Agency (CRA). The CRA was dissolved on February 6, 2012, and administration of the Hollywood RPA was subsequently transferred to the CRA/LA, a Designated Local Authority (DLA) and successor to the CRA. Administration of the Hollywood RPA has since been transferred to the City Planning Department under Ordinance No. 186325.

The Hollywood Redevelopment Project's goals include "the retention, restoration and appropriate reuse of existing buildings, groupings of buildings, and other physical features especially those having significant historic and/or architectural value and ensure that new development is sensitive to these features through land use and development criteria." ³⁵ Policies and guidelines for the preservation, rehabilitation, and retention of historic properties are discussed in Section 511 of the Redevelopment Plan. ³⁶

As part of its responsibilities in implementing the Hollywood Redevelopment Plan, the CRA compiled historic survey data on properties within the Hollywood RPA. Property evaluations from historic surveys in 1986, 1997, 2003, and 2010 were compiled and made available on the CRA website. The area comprising the Project Site was surveyed most recently in 2020 as part of the CRA/LA survey of the Hollywood RPA.³⁷

³⁴ "Hollywood Community Plan," HO-3.

^{35 &}quot;Hollywood Redevelopment Plan," July 12, 2003; amended May 20, 2003, https://planning.lacity.org/odocument/a73c7fe3-f197-47e4-8276-8a0126cd533c/HollywoodRedevelopmentPlan.pdf (accessed July 2022), 3...

³⁶ The CRA released draft Urban Design Guidelines for the Hollywood Boulevard District and Franklin Avenue Design District areas in the autumn of 2011 to guide development within the Hollywood Redevelopment Plan area. These guidelines "encourage preservation, restoration, and appropriate reuse of historically or architecturally significant structures." To date, these guidelines have not been formally adopted.

^{37 &}quot;Historic Resources Survey Report: Hollywood Redevelopment Plan Area."

6.6 Historic Significance and Integrity

Historic Significance and Periods of Significance

The definition of *historic significance* used by the California Office of Historic Preservation (OHP) in its administration of the California Register is based upon the following definition used by the National Park Service for the National Register.³⁸

Historic significance is [defined as] the importance of a property to the history, architecture, archaeology, engineering, or culture of a community, State, or the nation. It is achieved in several ways:

- Association with important events, activities or patterns
- Association with important persons
- Distinctive physical characteristics of design, construction, or form
- Potential to yield important information

A property may be significant individually or as part of a grouping of properties.

In addition to the above criteria, significance is defined by the area of history in which the property made important contributions and by the period of time when these contributions were made.³⁹ The National Park Service defines this period of time as the *period of significance*.

The *period of significance* is the length of time when a property was associated with important events, activities or persons, or attained the characteristics which qualify it for...listing. The period of significance usually begins with the date when significant activities or events began giving the property its historic significance; this is often a date of construction.⁴⁰

The period of significance usually begins with the date when significant activities or events began giving the property its historic significance; this is often a date of construction.⁴¹ The period of significance can be as brief as a single year; many,

³⁸ U. S. Department of the Interior, National Park Service, *National Register Bulletin 16A: How to Complete the National Register Nomination Form* (Washington, DC: 1997), https://www.nps.gov/subjects/nationalregister/upload/NRB16A-complete.pdf (accessed May 2022).

³⁹ National Register Bulletin 16A: How to Complete the National Register Nomination Form.

⁴⁰ National Register Bulletin 16A: How to Complete the National Register Nomination Form.

⁴¹ National Register Bulletin 16A: How to Complete the National Register Nomination Form.

however, span many years and consist of beginning and closing dates." 42 Identification and definition of the period is based on "specific events directly related to the significance of the property," for example, the date of construction, years of ownership, or length of operation as a particular entity. 43

Integrity

Historic integrity is the ability of a property to convey its significance and is defined as the "authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's historic period." 44 The National Park Service defines seven aspects of integrity: location, design, setting, materials, workmanship, feeling, and association. These qualities are defined as follows:

- *Location* is the place where the historic property was constructed or the place where the historic event took place.
- *Design* is the combination of elements that create the form, plan, space, structure, and style of a property.
- Setting is the physical environment of a historic property.
- Materials are the physical elements that were combined or deposited during a
 particular period of time and in a particular pattern or configuration to form a
 historic property.
- Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.
- *Feeling* is a property's expression of the aesthetic or historic sense of a particular period of time.
- Association is the direct link between an important historic event or person and a historic property.⁴⁵

⁴² National Register Bulletin 16A: How to Complete the National Register Nomination Form.

⁴³ National Register Bulletin 16A: How to Complete the National Register Nomination Form.

⁴⁴ National Register Bulletin 16A: How to Complete the National Register Nomination Form.

⁴⁵ U. S. Department of the Interior, National Park Service, *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation*, by the staff of the National Register of Historic Places, finalized by Patrick W. Andrus, edited by Rebecca H. Shrimpton (Washington, DC: 1990; revised for Internet, 2002), https://www.nps.gov/subjects/nationalregister/upload/NRB-15_web508.pdf (accessed May 2022).

While it is not necessary for a property to retain all seven aspects of integrity, or indeed, "all its historic physical features or characteristics," 46 the National Park Service notes that the property must retain "the essential physical features that enable it to convey its historic identity. The essential physical features are those features that define both *why* a property is significant and *when* it was significant." 47

Character-Defining Features

Every historic building is unique, with its own identity and its own distinctive character. Character-defining features are those visual aspects and physical features or elements, constructed during the property's period of significance, that give the building its historic character and contribute to the integrity of the property. Character-defining features should be considered in the planning and design of a project to preserve them to the maximum extent possible. Character-defining features can identify the building as an example of a specific building type, usually related to the building's function; they can exemplify the use of specific materials or methods of construction, or embody a historical period or architectural style; and they can convey the sense of time and place in buildings associated with significant events or people.

6.7 Historic Districts

Portions of the Project Site are located within or situated immediately adjacent to the Hollywood Boulevard Commercial and Entertainment District. Standard preservation practice evaluates collections of buildings from similar time periods and historic contexts as *historic districts*. The National Park Service defines a historic district as "a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development." A historic district derives its significance as a single unified entity.

According to the National Park Service, "a district can comprise both features that lack individual distinction and individually distinctive features that serve as focal points. It may even be considered eligible if all of the components lack individual distinction, provided that the grouping achieves significance as a whole within its historic context. In either case, the majority of the components that add to the district's historic character, even if they are individually undistinguished, must possess integrity, as must the district

- ⁴⁶ National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation.
- ⁴⁷ National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation.
- 48 National Register Bulletin 15. How to Apply the National Register Criteria for Evaluation.

as a whole." Some examples of districts include business districts, college campuses, large estates, farms, industrial complexes, residential areas and rural villages.49

Resources that have been found to contribute to the historic identity of a district are referred to as *contributors*. Properties located within the district boundaries that do not contribute to its significance are identified as *non-contributors*.

⁴⁹ National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation.

7.0 PREVIOUS EVALUATIONS 36

In order to determine whether the properties located within or adjacent to the Project Site have been subject to previous historic resource evaluation and/or designation, HRG consulted several sources related to the status of historic resources in Los Angeles. These sources included both online and physical repositories such as ZIMAS, HistoricPlacesLA (HPLA), and the State of California's Built Environment Resources Directory (BERD). These repositories, the scope of their data, and resultant findings are discussed in greater detail below.

Please note that while Site 1 and Site 2 are both composed of multiple parcels, a number of those parcels contained within are improved with surface parking lots. The following discussion of previous evaluations is limited to extant buildings only and therefore will not include a discussion of every parcel comprising the Project Site.

7.1 Zone Information and Map Access System (ZIMAS)

The Zone Information and Map Access System, more commonly known as ZIMAS, is an online portal developed by the City of Los Angeles Department of City Planning to provide digital access to zoning-related information for specific properties. While ZIMAS does not include records of previous historic resource *evaluations* for specific properties, such as those evaluations undertaken as part of citywide historic resources surveys, it does identify prior historic *designations* associated with a specific property that have been awarded at the local, state, or federal level.

A review of ZIMAS identified the following designated resources:

One property within the Project Site is currently designated at the local level.

1. 1618 North Las Palmas Avenue is currently designated as Los Angeles Historic-Cultural Monument No. 1114 (Redwine Building).

One resource in the vicinity of the Project Site is currently designated at the local level.

1. Hollywood Boulevard between Gower Street and La Brea Avenue, and on Vine Street between Sunset Boulevard and Yucca Street, is designated as Los Angeles Historic-Cultural Monument No. 194 (Hollywood Walk of Fame).

⁵⁰ ZIMAS can be accessed at http://zimas.lacity.org/. Designation information, if applicable, may be found by searching for a specific property and then clicking on the dropdown menu for "Planning & Zoning." Designation status will be noted under "Historic Preservation Review."

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One historic district currently designated at the national level includes properties situated both within and adjacent to the Project Site. Those properties fronting Hollywood Boulevard to the north and south between North Argyle Avenue to the east and North La Brea Avenue to the west have been designated collectively as the Hollywood Boulevard Commercial and Entertainment District. Note that as there have been discrepancies in historical street addresses utilized over time, current street addresses listed in ZIMAS have been used for the corresponding parcels depicted on the map included with the nomination for the Hollywood Boulevard Commercial and Entertainment District. For further information, refer to Section 2.5.

Two properties contained within the Project Site are located within the boundary of the District.

- 1. 6626-6628 Hollywood Boulevard is designated as Non-Contributor No. 75 to the Hollywood Boulevard Commercial and Entertainment District.⁵¹
- 2. The Cherokee Building Addition at 6630-6636 Hollywood Boulevard is designated as Contributor No. 74 to the Hollywood Boulevard Commercial and Entertainment District.⁵²

Four properties in the vicinity of the Project Site are located within the boundary of the District.

- 1. 6622-6624½ Hollywood Boulevard is designated as Non-Contributor No. 76 to the Hollywood Boulevard Commercial and Entertainment District.
- 2. The Cherokee Building at 6638-6648½ Hollywood Boulevard is designated as Contributor No. 73 to the Hollywood Boulevard Commercial and Entertainment District.

⁵² In the nomination narrative, Contributor No. 74 is given an address of 6626 Hollywood Boulevard, but the building's location on the map corresponds to the parcel at 6630-6636 Hollywood Boulevard. For further information, refer to Section 2.5.

⁵¹ Note that historical names and street numbers assigned to these buildings in the nomination narrative do not correspond to the parcels assigned the same building numbers on the map included with the nomination. In the nomination narrative, Non-Contributor No. 75 is given an address of 6624 Hollywood Boulevard and is noted as the site of Alexanders. Contributor No. 74 is given an address of 6626 Hollywood Boulevard and is noted as the site of The Orient. The Orient, which remains in operation today, is located at 6626 Hollywood Boulevard, but its location at that address corresponds to the parcel assigned to Non-Contributor No. 75 on the map. For further information, refer to Section 2.5.

- 3. The Shane Building at 6650-6656 Hollywood Boulevard is designated as Contributor No. 72 to the Hollywood Boulevard Commercial and Entertainment District.
- 4. 6658-6660 Hollywood Boulevard is designated as Non-Contributor No. 71 to the Hollywood Boulevard Commercial and Entertainment District.

7.2 HistoricPlacesLA (HPLA)

HistoricPlacesLA is the City of Los Angeles's online historic resource inventory and management system. The website includes information collected for SurveyLA and other historic resources surveys. Also included are Los Angeles Historic-Cultural Monuments, Historic Preservation Overlay Zones, and properties listed in the National Register of Historic Places and California Register of Historical Resources. Most significantly, HistoricPlacesLA includes information on properties identified as eligible for designation through SurveyLA, the Los Angeles Historic Resources Survey, and equivalent surveys utilizing SurveyLA methodology. 54

A review of HistoricPlacesLA identified the following resources recorded through survey evaluation:

One property in the vicinity of the Project Site was recorded as part of the CRA/LA survey of the Hollywood RPA.

1. 1608 North Las Palmas Avenue was surveyed as a potential individual resource in 2020. At the time, surveyors noted that the property had previously been taken under consideration in 2018 for designation as a Los Angeles Historic-Cultural Monument due to its apparent significance under Criterion A/1/1 as a rare remaining example of an intact 1910s duplex in Hollywood. However, the City Council subsequently declined to approve the nomination. The property

⁵³ "Historic Resources Surveys: HistoricPlacesLA," https://planning.lacity.org/preservation-design/historic-resources-survey (accessed November 2020).

⁵⁴ HistoricPlacesLA, "About the Data," http://historicplacesla.org/about_data (accessed November 2020). Please note that as of this writing, a "significant percentage," but not all, designated Los Angeles Historic-Cultural Monuments are listed in HPLA. Until such time as the data for all designated resources has been updated, refer to ZIMAS for confirmation of prior historic designation.

was assigned a status code of QQQ, or "may be eligible; additional research needed," as part of the CRA/LA survey of the Hollywood RPA in 2020.55

One property in the vicinity of the Project site was recorded as part of the CRA/LA survey of the Hollywood RPA.

- 1. The buildings at 1625-1647 North Las Palmas Avenue were surveyed as a potential individual historic resource in 2020.56 At the time, the property was assigned the following status codes:
 - 3CS, or "appears eligible for the California Register as an individual property through survey evaluation" 57
 - 5S3, or "appears to be individually eligible for local listing or designation through SurveyLA or other survey evaluation" 58

The status codes were assigned in 2020 as part of the CRA/LA survey of the Hollywood RPA. Surveyors indicated that the property was eligible under Criteria A/1/1 and C/3/3 and noted the following: "Rare, remnant example of early commercial development located along a former streetcar line in Hollywood. Due to alterations, including door replacement, the building may not retain sufficient integrity for listing in the National Register." 59

7.3 Built Environment Resource Directory (BERD)

The Built Environment Resources Directory (BERD) files provide information, organized by county, regarding non-archaeological resources included in the inventory of the California Office of Historic Preservation (OHP). 60 The BERD inventory contains information only for cultural resources that have been processed through the OHP. This includes resources reviewed for eligibility to the National Register of Historic Places and

55 "2020 Appendix A – Individual Resources," in "Historic Resources Survey: Hollywood Redevelopment Project Area," January 28, 2020, https://planning.lacity.org/odocument/ac6c03d6-42c1-4207-baa7-aa537fb9229f/Appx_A_Individual_Resources.pdf (accessed February 2022). For a listing of additional status codes specific to SurveyLA, see HistoricPlacesLA, "California Historical Resource Status Codes and SurveyLA Status Codes," https://historicplacesla.org/about_codes (accessed February 2022).

56 "2020 Appendix A – Individual Resources," in "Historic Resources Survey: Hollywood Redevelopment Project Area."

57 "2020 Appendix A – Individual Resources," in "Historic Resources Survey: Hollywood Redevelopment Project Area."

59 "2020 Appendix A – Individual Resources," in "Historic Resources Survey: Hollywood Redevelopment Project Area."

159 "2020 Appendix A – Individual Resources," in "Historic Resources Survey: Hollywood Redevelopment Project Area."

159 "2020 Appendix A – Individual Resources," in "Historic Resources Survey: Hollywood Redevelopment Project Area."

159 "2020 Appendix A – Individual Resources," in "Historic Resources Survey: Hollywood Redevelopment Project Area."

159 "2020 Appendix A – Individual Resources," in "Historic Resources Survey: Hollywood Redevelopment Project Area."

159 "2020 Appendix A – Individual Resources," in "Historic Resources Survey: Hollywood Redevelopment Project Area."

150 "2020 Appendix A – Individual Resources," in "Historic Resources Survey: Hollywood Redevelopment Project Area."

150 "2020 Appendix A – Individual Resources," in "Historic Resources Survey: Hollywood Redevelopment Project Area."

150 "2020 Appendix A – Individual Resources," in "Historic Resources Survey: Hollywood Redevelopment Project Area."

150 "2020 Appendix A – Individual Resources," in "Historic Resources Survey: Hollywood Redevel

the California Historical Landmarks programs through federal and state environmental compliance law, and resources nominated under federal and state registration programs. The BERD replaces the previous Historic Resources Inventory (HRI).

A review of the Built Environment Resources Directory identified the following resources. Please note that while ZIMAS addresses have been utilized for consistency elsewhere in this report, in this instance addresses are noted as they appear in the BERD. Addresses are listed in the BERD as they were documented at the time of survey or evaluation and may reflect historical street addresses that are inconsistent with contemporary numbering. As assessor parcel numbers are not included in the BERD, it is not possible to confirm which address(es) correspond to a particular parcel.

A review of the BERD identified the following resources:

Three properties contained within the Project Site are currently included in the BERD.

- 1618 North Las Palmas Avenue, noted as the UMS Building in the BERD, was assigned a status code of 2S4, or "Individually determined eligible for NR pursuant to Section 106 without review by SHPO. Listed in the CR," in 2015.61
- 6626 Hollywood Boulevard, noted as The Orient in the BERD, was assigned a status code of 6X, or "Determined ineligible for NR by the SHRC or the Keeper," in 1985.
- 6630 Hollywood Boulevard, noted as the Cherokee Building in the BERD, was assigned a status code of 1D, or "Contributor to a multi-component resource like a district listed in the NR by the Keeper. Listed in the CR," in 1985.

Four properties in the vicinity of the Project Site are currently included in the BERD.

- 6624 Hollywood Boulevard, noted as Alexanders in the BERD, was assigned a status code of 6X, or "Determined ineligible for NR by the SHRC or the Keeper," in 1985.
- 2. 6652 Hollywood Boulevard, noted as the Shane Building, was assigned a status code of 1D, or "Contributor to a multi-component resource like a district listed in the NR by the Keeper. Listed in the CR," in 1985.

⁶¹ Definitions for historical resource status codes noted in the BERD can be found at California Office of Historic Preservation, "California Historical Resource Status Codes, Current as of 3/1/2020," https://ohp.parks.ca.gov/pages/1068/files/Resource-Status-Codes.pdf (accessed November 2020).

- 3. 6658 Hollywood Boulevard was assigned a status code of 6U, or "Determined ineligible for NR pursuant to Section 106 without review by Office of Historic Preservation (OHP)," in 1996. The building had previously been assigned a status code of 6X in 1985.
- 4. 1608 North Las Palmas Avenue was assigned a status code of 2S4, or "Individually determined eligible for NR pursuant to Section 106 without review by SHPO. Listed in the CR," in 2015.

7.4 Summary of Findings

Based on a review of the above sources, the following previous evaluations and/or designations have been identified for properties comprising the Project Site, as well as those properties in the vicinity of the Project Site.

Note that as there have been discrepancies in historical street addresses utilized over time, current street addresses listed in ZIMAS have been used for the corresponding parcels depicted on the map included with the nomination for the Hollywood Boulevard Commercial and Entertainment District.

Properties Comprising the Project Site

- 1. **1641-1645** North Cherokee Avenue (Site 1): Not listed in the National Register of Historic Places or in the California Register of Historical Resources and is not designated as a Los Angeles Historic-Cultural Monument. It has not been identified as an eligible resource in any previous survey evaluations.
- 2. The Redwine Building at 1618 North Las Palmas Avenue (Site 1): Designated as Los Angeles Historic-Cultural Monument No. 1114.
- 3. **1638** North Las Palmas Avenue (Site 1): Not listed in the National Register of Historic Places or in the California Register of Historical Resources and is not designated as a Los Angeles Historic-Cultural Monument. It has not been identified as an eligible resource in any previous survey evaluations.
- 4. **1638 North Cherokee Avenue (Site 2):** Not listed in the National Register of Historic Places or in the California Register of Historical Resources and is not

- designated as a Los Angeles Historic-Cultural Monument. It has not been identified as an eligible resource in any previous survey evaluations. 62
- 5. **1642-1648** North Cherokee Avenue (Site 2): Not listed in the National Register of Historic Places or in the California Register of Historical Resources and is not designated as a Los Angeles Historic-Cultural Monument. It has not been identified as an eligible resource in any previous survey evaluations.
- 6. **6626-6628 Hollywood Boulevard (Site 2):** Listed in the National Register as a non-contributor (No. 75) to the Hollywood Boulevard Commercial and Entertainment District.
- 7. The Cherokee Building Addition at 6630-6636 Hollywood Boulevard (Site 2): Listed in the National Register as a contributor (No. 74) to the Hollywood Boulevard Commercial and Entertainment District.

Properties in the Vicinity of the Project Site

- 8. **6622-6624**½ **Hollywood Boulevard**: Listed in the National Register as Non-Contributor No. 76 to the Hollywood Boulevard Commercial and Entertainment District.
- The Cherokee Building at 6638-6648½ Hollywood Boulevard: Listed in the National Register as Non-Contributor No. 73 to the Hollywood Boulevard Commercial and Entertainment District.
- The Shane Building at 6650-6656 Hollywood Boulevard: Listed in the National Register as Contributor No. 72 to the Hollywood Boulevard Commercial and Entertainment District.
- 11. **6658-6660 Hollywood Boulevard:** Listed in the National Register as Non-Contributor No. 71 to the Hollywood Boulevard Commercial and Entertainment District.

⁶² The parcel address range in ZIMAS for this parcel is 1638-1644 North Cherokee Avenue. Note that due to the split lot a portion of the building is flagged in ZIMAS as part of the Cherokee Building to the north and is therefore noted as a Contributor to the Hollywood Boulevard Commercial and Entertainment District. However, the map included with the National Register nomination form confirms that the buildings at 1638 and 1642-1648 North Cherokee Avenue are outside the boundaries of the District.

- 12. The Hollywood Walk of Fame at Hollywood Boulevard between Gower Street and La Brea Avenue and Vine Street between Sunset Boulevard and Yucca Street: Designated as Los Angeles Historic-Cultural Monument No. 194.
- 13. 1608 North Las Palmas Avenue: Previously taken under consideration in 2018 for designation as a Los Angeles Historic-Cultural Monument due to its apparent significance as a rare remaining example of an intact 1910s duplex in Hollywood. However, the City Council subsequently declined to approve the nomination. The property was subsequently surveyed as an individual resource as part of the CRA/LA survey of the Hollywood RPA in 2020 and was assigned a status code of QQQ, or "may be eligible; additional research needed," at that time.⁶³
- 14. **1625-1647** North Las Palmas Avenue: Surveyed as part of the CRA/LA survey of the Hollywood RPA in 2020 and assigned status codes of 3CS, or "appears eligible for the California Register as an individual property through survey evaluation," and 5S3, or "appears to be individually eligible for local listing or designation through SurveyLA or other survey evaluation." ⁶⁴

⁶³ "2020 Appendix A – Individual Resources," in "Historic Resources Survey: Hollywood Redevelopment Project Area." For further information regarding designation efforts, see Los Angeles Department of City Planning, "Talbot-Wood Double Dwelling," CHC-2018-1038-HCM, https://planning.lacity.org/StaffRpt/CHC/2018/5-17-2018/ltem%2005%20Talbot-Wood%20Double%20Dwelling.pdf (accessed April 2022).

⁶⁴ Note that the property at 1625-1647 North Las Palmas Avenue is comprised of two adjoining buildings, but it appears that the buildings were mistakenly surveyed as a single structure. This is confirmed by building permits #1923LA03361 (1637-1647 North Las Palmas Avenue) and #1936LA32202 (1625-1635 North Las Palmas Avenue).

MAP KEY NO.	LOCATION	APN	BUILDING NAME AND/OR ADDRESS	PREVIOUS EVALUATION OR DESIGNATION
1	Site 1	5547-014-009	1641-1645 North Cherokee Avenue	None
2	Site 1	5547-014-024	Redwine Building 1618 North Las Palmas Avenue	Los Angeles Historic-Cultural Monument No. 1114
3	Site 1	5547-014-044	1638 North Las Palmas Avenue	None
4	Site 2	5547-015-026	1638 North Cherokee Avenue	None
5	Site 2	5547-015-026	1642-1648 North Cherokee Avenue	None
6	Site 2	5547-015-001 5547-015-004	The Orient 6626-6628 Hollywood Boulevard	Hollywood Boulevard Commercial and Entertainment District Non-Contributor No. 75
7	Site 2	5547-015-026	Cherokee Building Addition 6630-6636 Hollywood Boulevard	Hollywood Boulevard Commercial and Entertainment District Contributor No. 74
8	Vicinity	5547-015-028	6622-6624½ Hollywood Boulevard	Hollywood Boulevard Commercial and Entertainment District Non-Contributor No. 76
9	Vicinity	5547-015-031	Cherokee Building 6638-6648½ Hollywood Boulevard	Hollywood Boulevard Commercial and Entertainment District Contributor No. 73
10	Vicinity	5547-014-010	Shane Building 6650-6656 Hollywood Boulevard	Hollywood Boulevard Commercial and Entertainment District Contributor No. 72
11	Vicinity	5547-014-011	6658-6660 Hollywood Boulevard	Hollywood Boulevard Commercial and Entertainment District Non-Contributor No. 71
12	Vicinity	Multiple	Hollywood Walk of Fame Hollywood Boulevard between Gower Street and La Brea Avenue and Vine Street between Sunset Boulevard and Yucca Street	Los Angeles Historic-Cultural Monument No. 194
13	Vicinity	5547-014-027	1608 North Las Palmas Avenue	QQQ (may be eligible; additional research needed)
14	Vicinity	5547-014-042	1625-1647 North Las Palmas Avenue	3CS (appears eligible for the California Register as an individual property through survey evaluation); 5S3 (appears to be individually eligible for local listing or designation through SurveyLA or other survey evaluation)

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8.1 Description of the Surrounding Area

The Project Site is located in the central portion of Hollywood, within the boundaries of the Hollywood Redevelopment Project Area (RPA). The Hollywood RPA is located within the Hollywood CPA. ⁶⁵ Located approximately six miles to the northwest of Downtown Los Angeles, the RPA encompasses 1,107 acres and is irregular in shape. Its boundaries are generally defined by Franklin Avenue on the north, Fountain Avenue and Santa Monica Boulevard on the south, Serrano Avenue on the east, and La Brea Avenue on the west.

The area is generally flat, but several of the streets along its north end exhibit some modest changes in elevation as they begin their ascent into the Hollywood Hills. Since the area is heavily urbanized, there are no natural features of note. Rather, the area is shaped and defined by human-made features. Notably, the area is bisected by the Hollywood Freeway/US 101, which generally runs north-south but charts a somewhat meandering course through the RPA, a result of its routing through previously established neighborhoods. The freeway includes a combination of above-grade and below-grade sections, and its associated overpasses, underpasses, and ramps create visual impacts on adjacent neighborhoods and a discernible division between east and west. The area is also served by the B (Red) Line, a heavy rail subway that is operated by the Metropolitan Transportation Authority (MTA, or Metro). The B (Red) Line operates entirely below ground. Infrastructure associated with its operation is found adjacent to the station stops at Hollywood/Western, Hollywood/Vine, and Hollywood/Highland.

Various land uses and associated property types are represented within the area. Very generally speaking, commercial development is concentrated in the center of the area and along major vehicular thoroughfares, while residential uses are located on the periphery. The majority of commercial development is located along the Hollywood and Sunset Boulevard corridors, and also along most of the major north-south streets that intersect them. Hollywood Boulevard has historically served as the community's preeminent shopping and entertainment district, and a large portion of the boulevard, between Argyle and Sycamore avenues, is a National Register-designed historic district. There has also been a considerable amount of new, high-rise commercial development in the interstitial zone between Hollywood and Sunset boulevards, particularly along Selma Avenue and Vine Street, that has changed the overall scale and character of the

⁶⁵ Description of the surrounding area has been excerpted and adapted from "Historic Resources Survey Report: Hollywood Redevelopment Plan Area."

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community's commercial core. Smaller, neighborhood-oriented commercial nodes are strung along Santa Monica Boulevard, Western Avenue, and other major streets that were historically serviced by streetcar routes in the first half of the twentieth century.

The blocks to the north of the Hollywood Boulevard commercial corridor are primarily developed with multi-family residences that were constructed at various points between the 1920s and the present-day. Given their adjacency to the affluent neighborhoods of the Hollywood Hills, many of these multi-family dwellings were developed for upper-middle-income households, and many are visually prominent edifices that are a testament to the glamour and allure of Hollywood during its heyday. The blocks to the south of Sunset Boulevard, and in the eastern section of the RPA, are also residential in character, but the dwellings in this area are generally smaller and more modestly appointed than those located to the north. These southern and eastern neighborhoods are developed with an eclectic mix of small, one-story bungalows; low-density multi-family properties including duplexes, fourplexes, bungalow courts, and courtyard apartments; the occasional multi-story apartment house; and a limited amount of post-World War II infill development. Four of these residential neighborhoods (Afton Square, Selma-La Baig, Serrano, Vista del Mar-Carlos) are listed in the California Register.

Public and private institutional uses include churches, schools, and government facilities and are interspersed throughout the area. There is a locus of government buildings, including the Hollywood Community City Hall and police and fire services, near the intersection of Wilcox and Fountain avenues. Small pocket parks are located at various points throughout the RPA, but this area of Hollywood is very heavily urbanized and has a dearth of open space compared to other areas within the City of Los Angeles. There is also a very limited amount of industrial development in the area, which typically bear some association with the entertainment industry. Two large industrial properties that are used for motion picture, television, and radio production are located in the center of the area, along Sunset Boulevard (Sunset Bronson Studios, Sunset Gower Studios). A smattering of other industrial uses can also be found on, and adjacent to the Santa Monica Boulevard corridor, in an area that was historically developed with various back-of-house support facilities for the entertainment industry.

Circulation within Hollywood generally adheres to the rectilinear grid along which the flat portions of Hollywood are oriented. However, there are some irregularities in the street grid across individual neighborhoods, a result of the patchwork of individual subdivisions that were platted and developed in the area over time. Some streets that once carried through traffic now abruptly terminate in cul-de-sacs where they meet the Hollywood Freeway. Yucca Street, once a through street, features traffic calming devices that impede the flow of through traffic.

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Major east-west streets within Hollywood are (from north to south): Franklin Avenue, Hollywood Boulevard, Sunset Boulevard, Fountain Avenue, and Santa Monica Boulevard. Major north-south streets within the RPA are (from east to west): Western Avenue, Wilton Place, Bronson Avenue, Gower Street, Vine Street, Cahuenga Boulevard, Highland Avenue, and La Brea Avenue.

8.2 History of the Surrounding Area

The Hollywood RPA encompasses some of the earliest residential neighborhoods in Hollywood, as well as Hollywood's commercial core, centered along Hollywood Boulevard. 66

While it is generally acknowledged that Hollywood came of age with the dawn of motion pictures, the community was well established and flourishing prior to the establishment of its most famous industry. However, the arrival of several filmmakers who were entranced by Hollywood's bucolic setting and pastoral character signaled the transformation of the town into a bustling hub of commercial and industrial activity which most of its original settlers would scarcely recognize. As film historian John Bengtson has observed, "Hollywood's agricultural economy succumbed almost irresistibly to urban encroachment, hastened in part by the construction of [Charlie] Chaplin's own studio upon a former lemon grove."

It was the construction of such studios that would eventually come to define the character of Hollywood as it is understood today. The motion picture industry played – and continues to play – a significant role in the economic and cultural development of Hollywood and Los Angeles. Indeed, it is difficult to overstate the impact of the industry's advancement on the concurrent development of Hollywood. An examination of the contemporaneous development of towns in Southern California that were initially settled during the same period as Hollywood, illustrates that the establishment of the motion picture industry in this location played a critical role in the rise of Hollywood as a singular community, one with an identity that encompasses both a place and a concept.

As the birthplace of one of the most popular and widely disseminated forms of entertainment, Hollywood became more than the sum of its parts. It transcended the conventional identity of an industry town as a geographic concentration of similar physical facilities to become a tangible symbol of the collective cultural impact of

⁶⁶ Discussion of the history of the surrounding area has been excerpted and adapted from "Historic Resources Survey Report: Hollywood Redevelopment Plan Area."

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entertainment. For many Americans, their first glimpse of Southern California came from the silver screen. Consequently, motion pictures – and even the publicity that surrounded them – played an influential role in shaping the American public's perception of Southern California and in defining the character and identity of Hollywood and Los Angeles. With so many motion picture companies filming in Los Angeles, and with each company producing such a high volume of pictures, Los Angeles soon became – as film historian Kevin Brownlow once declared – "the most photographed town in the world."

The widespread exposure and favorable promotion the City received through its repeated appearances on film contributed to the growth of the local motion picture industry, to be sure, but it also contributed to the growth of Los Angeles as a whole. Indeed, for all the boosterism of the Los Angeles Times and the City's Chamber of Commerce, there was no greater promoter of the city than the medium Hollywood had helped to create. Film succeeded where promotional pamphlets fell short, displaying the beauty of the Southern California landscape in all its natural glory to audiences all over the country. At the same time, the accompanying publicity surrounding the industry's newfound stars and how they lived, worked, and played became synonymous with what it meant to live a successful "Hollywood" lifestyle, and symbolized what living in Los Angeles could be like if one were lucky enough to "make it big." Audiences responded, and soon moviegoers and moviemakers alike were flocking to Los Angeles. The City's economy, population, and tourism were all defined by its continued presence on the silver screen – which originated in Hollywood, right in the City's own backyard.

In many ways and through many mediums, the development of the entertainment industry in Hollywood has contributed significantly to the development of Southern California, with both tangible and intangible results: to the built environment of Los Angeles, as well as to the perception of the City's character and identity. Historian John Chase has described the relationship between "Hollywood, the concept, and Los Angeles, the place," as a "symbiotic" one. "There is no such thing as a simple, direct cause-and-effect with regard to movies and Los Angeles," Chase writes. "Rather the two are involved in a continuous dialogue in which each shapes the other."

Over the course of the twentieth century, other new forms of entertainment which were then in their infancy also found their footing in Hollywood and flourished; film, radio, television, and sound recording all evolved into major forms of nationwide communication and entertainment under the Southern California sun. In doing so, these endeavors transformed the landscape of Los Angeles, and Hollywood in particular, from a sea of citrus groves into a bustling hub of commercial and industrial activity related to the entertainment industry. These new mediums also transformed the identity of

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Southern California from that of a bucolic agricultural region set within the rugged environs of the "Wild West" to that of an influential incubator of popular culture.

Early Development

The area that became Hollywood was originally part of two Spanish land grants: Rancho La Brea and Rancho Los Feliz. The ranchos were strategically oriented along the Cahuenga Pass to the north, and the growing city of Los Angeles to the south. The Cahuenga Pass, a major transportation corridor, encompassed part of the Camino Real del Rey, the principal coastal passageway, which had been used continuously as a trail facilitating commerce, livestock transport, and travel since the earliest Spanish exploration.

In 1886, real estate developer Harvey Henderson Wilcox combined acreage from four adjoining parcels to create a 120-acre tract that he subdivided into lots for agricultural, residential, and commercial development. The new community that Wilcox dubbed "Hollywood" is located within the Hollywood CRA area, and was bounded by present-day Sunset Boulevard to the south, Whitley Avenue to the west, Franklin Avenue and Hollywood Boulevard to the north, and Gower Street to the east. Wilcox and his wife, Daeida, became prominent citizens of the fledgling community; Daeida Wilcox was one of the driving forces of commercial and institutional development in Hollywood following Harvey Wilcox's death in 1891.

In the nineteenth and early twentieth centuries, Hollywood was principally characterized by expansive fields and orchards, sporadically interrupted by large homes built by wealthy landowners, accessed by unpaved streets. Farmers, many of whom were European immigrants, experimented in cultivating a wide variety of exotic fruits, vegetables, and flowers. A freight rail line was first constructed in 1887-1888, linking Hollywood and the neighboring community of Colegrove to downtown Los Angeles. The Sackett Hotel, Hollywood's first hotel, was constructed in 1888 at the southwest corner of Hollywood and Cahuenga Boulevards. In addition to eighteen hotel rooms on the second floor, the hotel also contained a ground-floor general store, parlor, and kitchen. The intersection would become an early Hollywood commercial center.

In 1900, the Cahuenga Valley Improvement Association was established to guide real estate development in the area, just as the first electric train track was completed along Prospect Avenue (present-day Hollywood Boulevard). Other streetcar lines soon followed, including along La Brea Avenue, Santa Monica Boulevard, Highland Avenue, Vine Street, Western Avenue, and Fountain Avenue. Development during this period included the two-story George Hoover residence (1901; demolished) at the northwest corner of Hollywood Boulevard and Vine Street, and the H.J. Bartlett residence at the

southeast corner of Argyle Avenue and Larquier Avenue (Yucca Street; demolished). In 1901, Colonel Robert Northram purchased a grove of orange trees south of Hollywood Boulevard between Vine Street and Ivar Street, and constructed a Mission Revival-style home surrounded by extensive gardens (demolished). A Methodist Church (1903; demolished) was constructed on the southeast corner of Hollywood Boulevard and Vine Street.

In 1903, the City of Hollywood incorporated with a population of 700 people. In 1904, gas lines were laid, the streets were numbered, and a single track of the Los Angeles Pacific Railroad was placed perpendicular to the electric track already on Prospect Avenue. As the area became increasingly developed, churches, clubs, and schools were built in proximity to the grand single-family residences lining Hollywood Boulevard and nearby streets. By 1909, like many neighboring communities, Hollywood had experienced immense growth, and by 1909 the population had reached 4,000 people.

Though dwarfed by the neighboring city of Los Angeles, Hollywood quickly began to experience water shortages, drainage issues, and sewage problems due to its rapid growth. Additionally, the taxes required to support Hollywood's public schools were much higher than those imposed on residents of Los Angeles. Less than ten years after incorporation, Hollywood reconsidered its status as an independent city. In February 1910, Hollywood was consolidated into the City of Los Angeles to take advantage the City's established sewer system and the anticipated new water supply created by the Los Angeles Aqueduct, then under construction.

Consolidation with Los Angeles spurred modest growth, although Hollywood remained a relatively distant and sleepy outpost of the more urbanized Los Angeles. Overall, the area remained low-density, with much of the land undeveloped. Although now formally part of the City of Los Angeles, Hollywood continued to maintain its own identity, which would soon be inextricably linked to the growth of the motion picture industry. Hollywood was no longer a small independent city struggling to deal with infrastructural problems, but a thriving suburb with a rapidly growing population.

Commercial Development

As the 1920s approached, it was clear to Hollywood's leading land and business owners that there was a great deal of money to be made through real estate development. It was decided that Hollywood Boulevard would be reborn as a first-class shopping and business district. The local Hollywood Chamber of Commerce was formed, and quickly boasted 2,517 members. Activities focused on bringing major businesses including bank branches and upscale retailers to Hollywood. To further that goal, better street connections to the more established communities south of Hollywood were required. A

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group of Hollywood landowners and businessmen quickly formed the "Vine Street Improvement District" to widen, grade, and pave Vine Street between Hollywood and Wilshire Boulevards. Vine Street opened as a major avenue in 1922 and the intersection of Hollywood and Vine became a nexus of commercial development.

New development followed at a breathtaking pace as developers competed to maximize the potential of their property holdings. A 1905 ordinance (amended in 1911) prohibited the construction of buildings in Los Angeles taller than 150 feet, though an exception allowed for uninhabited rooftop elements. A single permitted variance for the construction of Los Angeles City Hall in 1926 ensured that 454-foot City Hall would dominate Los Angeles downtown skyline for decades. Hollywood developers competed to maximize the potential of their property holdings with building constructed to the allowable height. The result was collection of "limit- height" buildings punctuating central Hollywood, with a majority clustering at the intersection of Hollywood and Vine. Examples include the Security Trust and Savings Building (1921; National Register, Historic-Cultural Monument No. 334)) at the northeast corner of Hollywood and Cahuenga boulevards; the Knickerbocker Hotel (1923) on the east side of Ivar Avenue just north of Hollywood Boulevard; the Guaranty Building (1923; National Register) at the northeast corner of Hollywood Boulevard and Ivar Avenue; the Taft Building (1923; Historic-Cultural Monument No. 666) at the southeast corner of Hollywood Boulevard and Vine Street; the Hollywood Plaza Hotel (1924) on the west side of Vine Street south of Hollywood Boulevard; and the B.H. Dyas Department Store (later the Broadway Department Store; Historic-Cultural Monument No. 664) constructed in 1927 at the southwest corner of Hollywood and Vine.

By the mid-1920s, Hollywood Boulevard had transformed into a tightly developed commercial corridor with most blocks containing one- and two-story storefront buildings with taller, more impressive buildings located at corners. Two of the more distinctive and fanciful examples of construction along Hollywood Boulevard during this period include the Egyptian Theatre (6706- 6712 Hollywood Boulevard, Los Angeles Historic-Cultural Monument No. 584), which opened in 1922, and the Chinese Theatre (6911-6927 Hollywood Boulevard, Los Angeles Historic-Cultural Monument No. 55), which opened in 1927. Both were developed by theater impresario Sid Grauman and represent excellent examples of the Exotic Revival styles of architecture which were popularized during the 1920s.

By the end of the 1920s, Vine Street at its intersection with Hollywood Boulevard became concentrated with buildings constructed to the height limit. In 1929, the Los Angeles Times reported that, "Skyscraper construction at the Hollywood Boulevard-Vine Street intersection and immediately adjacent thereto, in the past five years, has

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exceeded that of any similar area in Los Angeles and has surpassed the limit-height building record of any district of its size outside of metropolitan areas in the United States." A road improvement project, championed by the Hollywood Chamber of Commerce, was implemented for street upgrades in key locations to move traffic more efficiently throughout Hollywood. Dubbed the "Five-Finger Plan," street improvements included widening, grading, and paving for key street locations, with an emphasis on further developing Vine Street. G.R. Dexter, President of the Bank of Hollywood, noted the "...completion of the street widening and opening involved in the project will develop Vine Street into the most heavily traveled thoroughfare in Los Angeles. With Yucca Street converted into a major artery leading into Cahuenga Avenue, the traffic between the San Fernando Valley cities and Los Angeles will be routed through Vine Street increasing the thoroughfare's daily traffic to record figures."

The focus on increasing traffic to Vine Street via Yucca Street spurred development interest in extending the commercial core of Hollywood and Vine north to include Yucca. The most impressive project that was realized was a height-limit office tower (today referred to as the Yucca-Vine Tower) constructed for Mountain States Life Insurance at the northwest corner of Yucca and Vine streets. Constructed in 1928, the Art Deco building was designed by architects H.L. Gogerty and Carl Jules Weyl, who were also responsible for designing the Hollywood Playhouse just south on Vine Street. Two modest commercial buildings, also designed by H.L. Gogerty in an Art Deco style, were constructed near Yucca and Vine. These were a two-story commercial building (1930), today referred to as the "Gogerty Building," at the southeast corner of Yucca Street and Vine Street; and a two-story commercial building constructed in 1932 on the south side of Yucca Street between Vine Street and Ivar Avenue. By the time the second building on Yucca Street was completed, however, the country was mired in an economic depression. Gogerty's early 1930s designs marked the end of commercial expansion to Yucca as development in Hollywood slowed to a crawl.

During the Great Depression, the glamorous image of Hollywood as a national fashion and entertainment destination began to fade. This was compounded by a problem that first emerged in the 1920s: a lack of parking options. Between the 1920s and 1940, Hollywood's commercial district experienced little in the way of physical growth, but much in the way of increased activity, reinforcing Hollywood's role as a hub between Los Angeles and adjacent communities.

Although parking was an increasingly prescient problem, Hollywood was not entirely abandoned as a retail center. Retailers instead attempted to refashion the district into a more modern shopping district. As a result, many stores along Hollywood Boulevard

were remodeled in the 1930s. However, as wealthy residents left the area, many of Hollywood's upscale retail establishments followed.

In 1939, the east-west axis along portions of Sunset and Santa Monica Boulevards became increasingly important with the extension of Route 66 from downtown Los Angeles to the Pacific Ocean. With increased traffic came the potential for increased revenue, but only if the more parking could be provided. In 1940, the Chamber of Commerce introduced "The Hollywood Plan," which proposed developing parking lots south of Hollywood Boulevard between Gower Street and Highland Avenue. Although the plan was published in Architectural Record and may have influenced parking schemes elsewhere, it was never implemented beyond its first phase, which allowed for three hours of free parking in any existing lot with a one-dollar purchase at any store on Hollywood Boulevard. The lack of parking became a major factor in the erosion of Hollywood's economic vitality by the 1950s.

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9.0 PROJECT SITE DESCRIPTION 54

9.1 Description of Site 1

Site 1 is situated to the south of Hollywood Boulevard. It is irregular in plan and is bounded to the north by those parcels fronting Hollywood Boulevard, by North Cherokee Avenue to the east, multi-family residential properties and a surface parking lot to the south, and North Las Palmas Avenue to the west.

Site 1 is composed of nine parcels represented by the following Assessor Parcel Numbers (APNs):

- 5547-014-005
- 5547-014-006
- 5547-014-009*
- 5547-014-021
- 5547-014-022
- 5547-014-023
- 5547-014-024*
- 5547-014-025
- 5547-014-044*

Development within Site 1 is characterized by a mix of surface parking lots and commercial development. Six of the nine parcels comprising the site are improved with surface parking lots paved with asphalt; the majority of these parcels were converted from other uses to surface parking under permit #1964LA71761. The three remaining parcels (noted above with an asterisk) are improved with three commercial buildings, which are described in greater individual detail below. Building permit tables for each building on Sites 1 and 2 are included in the appendices.

1641-1645 North Cherokee Avenue (APN #5547-014-009)



Google StreetView, November 2021.

The property at 1641-1645 North Cherokee Avenue has been developed on Lot 14 of the original Eulalie Tract. The building was first constructed in 1922; no architect is listed on the building permit.

The building occupies the majority of the parcel, fronting North Cherokee Avenue to the east and extending to the lot line to the north and south. The building is set at the sidewalk with no setback.

The building has a rectangular plan and simple one-story massing. The roof is flat and is of rolled asphalt with a parapet. The building is of brick masonry construction, with the primary (east) façade clad in smooth cement plaster with a low brick foundation wall. Façades are unadorned. The main entrance is located on the east façade fronting North Cherokee Avenue and consists of a recessed central entrance set at grade and enclosed with a metal security gate. Fenestration is limited to the primary (east) façade and consists of contemporary metal windows covered with metal security grilles.

Alterations

The building has been subject to alterations since its initial construction in 1922. Openings were added to the rear façade for additional ventilation and lighting in 1928. A portion of the parapet was removed in 1953. The building was converted from use as a barber shop to a restaurant in 1972. Fire damage was repaired in 1973 and 1975, and earthquake damage was repaired in 1994. Visual observation suggests that undocumented alterations have also been made to the primary (east) façade, and original storefronts were infilled sometime after 1950. It is also anticipated that a number of interior modifications have been made as commercial tenants and the building's associated use have changed over time.



Historic Resources Group, February 2022.

Redwine Building – 1618 North Las Palmas Avenue (APN #5547-014-024)

The property at 1618 North Las Palmas Avenue was designated Los Angeles Historic-Cultural Monument No. 1114 in 2016.67

The property at 1618 North Las Palmas Avenue has been developed on Lot 7 of Eulalie Tract No. 2. It is currently designated as Los Angeles Historic-Cultural Monument No. 1114. The building was designed in the Art Deco

style by architect Richard D. King and constructed in 1931.

⁶⁷ "Historic-Cultural Monument Nomination Form: Redwine Building," in Los Angeles Department of City Planning, "Recommendation Report: Historic-Cultural Monument Application for the Redwine Building," CHC-2015-4247-HCM, Hearing Date: February 4, 2016, https://clkrep.lacity.org/onlinedocs/2016/16-0265_misc_03-09-2016.pdf (accessed February 2022).

The building occupies the western half of the parcel and is set at the sidewalk fronting North Las Palmas Avenue to the west. The remainder of the parcel is improved with a surface parking lot paved in asphalt.

Exterior

The building has a generally rectangular plan and simple two-story massing with a two-story tower at the northwest corner. The roof is flat with a parapet and is of rolled asphalt with skylights and a stair house; the corner tower is distinguished by a stepped pyramidal roof topped with a flagpole. The building is of brick masonry construction finished in cement plaster.

The primary (west) façade fronting North Las Palmas Avenue is asymmetrically composed. The southern portion is occupied by groups of recessed windows at the first and second floor framed by monolithic vertical piers. Windows at the first floor are accented by a continuous bulkhead of colored ceramic tile and topped by a molded belt course. Window openings at the second floor are each topped by a molded transom panel. Fenestration on the primary façade consists of steel casement windows with divided lights and solid transom panels. All windows are obscured by metal security grilles.

The primary entrance is situated at the northern end of the primary (west) façade, within the tower. The entrance is set at grade and consists of a recessed door set within a continuous molded stepped surround that extends to the second-floor window above, and topped by a cast stone paneled transom depicting a stylized representation of the Scales of Justice and other accoutrements of the legal profession. (The building's original owner, Hiram G. Redwine, was an attorney.) The primary entrance door consists of a contemporary single metal slab door with an etched-glass transom; both the door and transom are shielded by metal security grilles.

The secondary north, east, and south façades are utilitarian in nature and asymmetrically composed. Two secondary entrances are located at the rear of the building, on the east façade. One entrance is set at grade, while the other is accessed via a flight of concrete steps with a metal handrail. Both entrances are sheltered by projecting awnings and consist of single doors set behind metal security gates. Fenestration consists of recessed single and paired metal casement windows with divided lights and utilitarian metal security grilles.

Interior

The building's interior plan is asymmetrically composed with a side entrance hall situated to the north of a central office block. The entrance hall features a dog-legged

wood staircase leading to the second floor. Walls are finished in textured cement plaster with a stepped ceiling in textured cement plaster.

The first-floor interior is largely open in plan, with several secondary spaces defined by contemporary glass and drywall partitions. Walls are of exposed brick and are unfinished; ceilings are unfinished and exhibit exposed framing. Floors are of polished cement. Bathrooms are situated at the rear (east end) of the first floor and are finished with contemporary materials and fixtures. Interior doors on the first floor are varied and include both period examples of wood slab doors with metal hardware and molded trim, as well as contemporary examples of wood particle-core slab doors with metal hardware and trim.

The second-floor interior plan is composed of a central rectangular conference room, which is accessed directly from the entrance hall and is flanked to the south and west by an outer band of offices. The conference room is accented by built-in wood bookcases on all four sides; walls are finished in textured cement plaster with a stepped ceiling in textured cement plaster. Wall finishes in individual offices are varied; walls in some rooms are finished in textured cement plaster, others are finished in textured cement plaster with wood wainscot and chair rail. Interior doors on the second floor are varied in design and include period examples of wood one-panel doors with a central wood panel, metal hardware, and molded trim, as well as period examples of wood one-panel walls with a central panel of textured obscure glass, metal hardware, and molded trim. A second quarter-turn wood staircase which leads to the rooftop penthouse is situated at the rear (east end) of the second floor.

Alterations

The building has been subject to alterations since its initial construction in 1931. 68 A separate detached garage was originally constructed to accompany the office building, but it was subsequently removed in the 1950s. Fire damage to the building was repaired in 1936. Interior alterations were made in 1937. A portion of the parapet was modified in 1955. Interior alterations were made in 1977. Seismic strengthening work was undertaken in 1990. Additional interior modifications have been made as commercial tenants have changed over time. Most recently, the building's interior was remodeled in 2020-2021 for tenant improvements. As part of that work, existing first-floor interior partitions, existing plaster wall finish, existing carpet and flooring, and existing non-

⁶⁸ The following discussions regarding alterations and character-defining features are not included in the Historic-Cultural Monument nomination and instead reflect observations and research by Historic Resources Group (HRG) as of February 2022.

historic dropped ceiling were removed, and existing first-floor interior spaces were reconfigured. In addition, two new interior accent partitions were added to the second-floor conference room. Visual observation suggests that the primary entrance door has been removed and replaced with a metal slab door. Some interior doors have also been added and/or replaced.

Character-Defining Features

A number of exterior character-defining features remain extant and include the following:

- Rectangular plan and simple two-story massing
- Two-story corner tower with stepped pyramidal roof and flagpole
- Flat roof of rolled asphalt with a parapet, skylights, and stair house
- Brick masonry construction finished in cement plaster.
- Asymmetrical façade composition
- Primary façade composition of groups of recessed windows framed by monolithic vertical piers, with first-floor windows accented by a tiled bulkhead and topped by a molded belt course, and second-floor windows topped by decorative molded transom panels
- Fenestration consisting of steel casement windows with divided lights and solid transom panels and metal security grilles
- Primary entrance located within the corner tower, set at grade and consisting of a recessed door set within a continuous molded stepped surround that extends to the second-floor window above
- Cast stone paneled transom depicting a stylized representation of symbols associated with the legal profession
- Primary entrance door consisting of a single door topped by an etched-glass transom
- Fenestration on secondary façades consisting of recessed single and paired metal casement windows with divided lights and utilitarian metal security grilles



Historic Resources Group, February 2022.

The property at 1638 North Las Palmas Avenue has been developed on Lot 3 of Eulalie Tract No. 2.

The property is improved with three buildings: a commercial building fronting North Las Palmas Avenue to the west that was initially constructed on the lot in 1925; a residence that was relocated to the lot in 1996 and is situated behind (to the east) the commercial building; and a storage building situated at the rear of the lot, behind (to the east) of the residence.

Only the commercial building is visible from the public right-of-way. The remainder of the property is accessed via a metal pedestrian gate to the south of the commercial building, which leads to a walkway screened with shrubbery along the southern property line. The residence is not visible from the public right-of-way and could not be accessed at the time of this writing; as a result, the description below is limited to the commercial building fronting North Las Palmas Avenue.

The commercial building was first constructed in 1925; no architect is listed on the building permit. The commercial building is situated in the western portion of the lot, fronting North Las Palmas Avenue to the west and sharing a party wall with the neighboring building to the north. It exhibits elements of the Mediterranean Revival style and has a rectangular plan and simple one-story massing. It has a flat roof of rolled asphalt with a parapet and a false front topped with clay tile coping. The building is of wood frame construction clad in a combination of smooth and textured cement plaster. The primary (west) façade is composed of three bays separated by piers rising to a continuous paneled frieze and cornice. Two of the three bays are covered with metal rollup security gates; the northernmost bay is infilled and obscured by a metal utility box.

Alterations

The building has been subject to alterations since its initial construction in 1925. The storefront was altered in 1928, and again in 1945 and 1946. A fireplace and washroom were also added in 1946. Termite and fungus damage was repaired in 1950. A new 12x12 storage shed was constructed in 1953. Fire damage was repaired in 1959. An additional 9x9 storage building was added that same year. In 1961, a new window and two new doors were added to the exterior. In 1963, the building was converted into a

bar, storage room, and offices. Remodeling efforts in 1966 included the enlargement of two existing openings. Interior remodeling also took place in 1968. In 1995, a new eight-foot-high block wall was added. In 1996, a new shed for alcohol storage was added. That same year, a three-unit apartment house was relocated to the property, established on a new foundation, and connected to the existing commercial building by a breezeway; together, the two buildings were converted for use as a restaurant and office. Gate posts were also added in 1996. In 2001, the storefront was restructured; the existing door was removed, and two rollup metal doors were installed. Interior remodeling was undertaken in 2010 and 2011. The outdoor dining patio was remodeled in 2011, and architectural features and a patio cover were added. Additional alterations confirmed through visual investigation include the replacement of original cement plaster with new textured plaster on the primary (west) façade. It is also anticipated that additional interior modifications have been made as commercial tenants have changed over time.

9.2 Description of Site 2

Site 2 is situated to the south of Hollywood Boulevard, to the east of Site 1 and North Cherokee Avenue. It is L-shaped in plan and bounded by the Cherokee Building and Hollywood Boulevard to the north, adjacent commercial development and a surface parking lot to the east, Selma Avenue Elementary School and the Larchmont Charter School (Selma Campus) to the south, and North Cherokee Avenue to the west.

Site 2 is composed of three parcels represented by the following APNs:

- 5547-015-001
- 5547-015-004
- 5547-015-026

Development within Site 2 is characterized by a mix of commercial development and surface parking lots. The three parcels are improved with four commercial buildings, which are described in greater individual detail below.



Historic Resources Group, February 2022.

The property at 1638 North Cherokee Avenue has been developed on Lot 3 of the original Eulalie Tract. The building was designed by architect William Dalziel and constructed in 1977.

The building is situated in the center of the lot, fronting North Cherokee Avenue to the west and sharing a party wall with the neighboring building to the north. Vehicular access is provided via a paved alley immediately to the south, which leads to a surface parking area to

the rear (east) of the building. The rear parking area is enclosed by a metal chain link fence.

The building is set at the sidewalk with no setback. It has a rectangular plan and simple massing. It is one and one-half stories in height and has a flat roof of rolled asphalt with a parapet. The building is of expressed concrete block construction. Façades are unadorned. The primary (west) façade fronting North Cherokee Avenue is divided into three bays separated by piers. The primary entrance is located on the west façade and consists of a central storefront entrance set at grade. The primary entrance doors consist of a pair of metal security doors surrounded by a metal grille. The entrance is flanked by a pair of fixed metal windows with metal security grilles; all three elements are topped by projecting fabric awnings. Secondary entrances are located on the south façade fronting the alley; these include a pedestrian entrance set at grade and consisting of a single flush painted metal door; a painted metal rollup door that provides access to the loading dock; and another pedestrian entrance to the east that is set at grade and fronted by a metal security gate and fence. Fenestration is limited and consists of metal fixed, sliding, and double-hung windows; most are covered with security grilles.

Alterations

The building has been subject to alterations since its initial construction in 1977. A support structure for mechanical equipment was added to the roof in 1986. The building was converted from a retail operation to a photo studio in 1989. At that time new openings were made in the existing concrete block exterior wall. Minor patching, painting, and repair work took place in 1992. The roof was partially replaced in 1995. The building was converted to a beauty salon in 2010, and additional interior modifications were made. It is also anticipated that additional interior modifications have been made as commercial tenants have changed over time.



Historic Resources Group, February 2022.

The property at 1642-1648 North Cherokee Avenue has been developed on Lot 2 and a portion of Lot 3 of the original Eulalie Tract. The building was designed by architect Gordon B. Kaufmann and constructed in 1929.

The building occupies the majority of the lot, fronting North Cherokee Avenue to the west and sharing party walls with neighboring buildings to the north and south. Vehicular access is provided via a paved alley adjacent to the neighboring building to the south,

which leads to a paved surface parking area to the rear (east) of both buildings. The rear parking area is enclosed by a metal chain link fence.

The building is set at the sidewalk with no setback. It exhibits a commercial vernacular style and has a rectangular plan and simple massing. It is one and one-half stories in height with a flat roof of rolled asphalt with a parapet. The building is of expressed brick masonry construction. The primary (west) façade fronting North Cherokee Avenue is composed of four storefronts, which are visually articulated as two double-fronted buildings.

The northern pair of storefronts at 1646-1648 North Cherokee Avenue is finished in brick masonry with stepped brick corbels. The façade is asymmetrically composed. The northernmost storefront at 1648 Cherokee is sheltered by a fabric awning and consists of a central recessed entrance set at grade and flanked by squared display windows with solid bulkheads. Entrance doors consist of a pair of fully-glazed metal doors with transom. The southern storefront at 1646 Cherokee is topped by a brick lintel and consists of a central recessed entrance set at grade and flanked by squared fully-glazed display windows with framed bulkheads. Entrance doors consist of a pair of fully-glazed metal doors with transom. Both storefronts are covered by folding metal security gates.

The southern pair of storefronts at 1642-1644 North Cherokee Avenue is finished in brick masonry. The façade is symmetrically composed, with each storefront topped by a blind arch of brick masonry with brick imposts. Both storefronts consist of a central recessed entrance set at grade and flanked by squared fully-glazed display windows with framed bulkheads. Entrance doors consist of a pair of fully-glazed metal doors with transom. Both storefronts are covered by folding metal security gates.

Alterations

The building has been subject to alterations since its initial construction in 1929. In 1931, the existing storefront was replaced with a new storefront, which included the installation of new wiring, marble terrazzo, bulkheads, front door, trim, and new paint. The roof was replaced in 1944 and 1955. A portion of the parapet was altered in 1956. The building was converted into a bar in 1959. New doors were added in 1961. The building was converted into a beer tavern in 1962. Interior renovations were undertaken in 1965. Seismic work was undertaken in 1983 and 1985; a subsequent permit was filed to complete the 1985 work under Division 88 requirements in 1992. Further interior modifications were made and a bathroom was added in 1985. Patching, painting, and miscellaneous repairs were undertaken in 1993. The roof was replaced in 1995 and 2013. It is also anticipated that additional interior modifications have been made as commercial tenants have changed over time.

<u>The Orient – 6626-6628 Hollywood Boulevard (APNs #5547-015-001 and #5547-015-004)</u>



Google StreetView, November 2021.

The property at 6626-6628 Hollywood Boulevard has been developed on Lot 1 of the original Eulalie Tract. It is currently listed in the National Register of Historic Places as Non-Contributor No. 75 to the Hollywood Boulevard Commercial and Entertainment District. The building was designed by architect Norman W. Alpaugh and constructed in 1927.

The building occupies the entirety of the lot, fronting Hollywood Boulevard to the north and sharing party walls with

neighboring buildings to the east and west. It is set at the sidewalk with no setback.

The building was originally designed in the Mediterranean Revival style, similar to that of the neighboring Cherokee Building to the west; however, the building has since undergone numerous alterations and no longer reflects the same Period Revival aesthetic. The building has a rectangular plan and simple massing. It is one and one-half stories in height with a subterranean basement and has a flat roof of rolled asphalt with a parapet. The building is of reinforced masonry construction.

The primary (north) façade fronting Hollywood Boulevard is composed of two storefronts: the eastern storefront at 6626 Hollywood is presently occupied by Outfitter

Wig, and the western storefront at 6628 Hollywood is occupied by The Orient. 9 Both storefronts consist of single-width arcaded storefronts set at grade with recessed vaulted central entrances flanked by squared display windows. Storefronts are clad in panels framed in metal and enclosed by rollup metal security doors. Entrance doors consist of paired fully-glazed metal doors with transoms. Storefront windows consist of metal windows with solid panel bulkheads.

Alterations

The building has been subject to alterations since its initial construction in 1927. In 1928, the existing storefront was remodeled, the building was extended with an addition to the rear that doubled the building's initial depth from 90 feet to 182 feet, and a new cellar was added. In 1934, the existing storefront was altered to move the entrance doors further back. The roof was replaced in 1945. The existing storefront was replaced and additional interior alterations were undertaken in 1946, and new heating, ventilation, and electrical components were installed. Another addition was also constructed in 1946. The existing storefront was removed in 1946 and remodeled in 1947. Additional interior renovations and electrical work were also undertaken in 1947, and a new cooling tower was installed on the roof. In 1955, a new elevator shaft, elevator openings, and loading dock were added. The storefront was also remodeled that year. In 1956, a portion of the parapet was altered. Wall anchors were installed in 1983, and seismic work was undertaken in 1986 and 1987. A drop ceiling was installed in 1988. Miscellaneous cleaning, painting, and repair work was undertaken in 1993. A new bathroom was added in 1996. It is also anticipated that additional interior modifications have been made as commercial tenants have changed over time.

Although the building has been subject to a number of storefront conversions since its original construction as a Mediterranean Revival-style building in 1927, it should be noted that the subsequent iteration of the primary (north) façade fronting Hollywood Boulevard, which was remodeled most recently in 1955 to create new storefronts for the newly-opened The Orient, Inc., remains remarkably intact today and reflects many qualities and materials associated with trends and innovations in 1940s and 1950s commercial storefront design.

⁶⁹ Visual observation of the building was obscured at the time of site investigation due to the deployment of metal security gates. As a result, not all materials could be identified.

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<u>Cherokee Building Addition – 6630-6636 Hollywood Boulevard (APN #5547-015-026)</u>



Historic Resources Group, February 2022.

The property at 6630-6636 Hollywood Boulevard has been developed on Lot 1 of the original Eulalie Tract. It is currently listed in the National Register of Historic Places as Contributor No. 74 to the Hollywood Boulevard Commercial and Entertainment District. The building was designed by architect Norman W. Alpaugh and constructed in 1927.

The building occupies the majority of the lot, fronting Hollywood Boulevard to the north and sharing party walls with

neighboring buildings to the east and west. It is set at the sidewalk with no setback.

The building was originally designed in the Churrigueresque style; however, the building has since undergone numerous alterations and no longer reflects most of the character-defining features of the style. Today, the building exhibits elements of several architectural styles, including Mediterranean Revival, Art Deco, and Streamline Moderne, and reflects the changes undertaken as part of subsequent tenant improvements over time. The building has a rectangular plan and simple massing consisting of two volumes. It is two stories in height and has a flat roof of rolled asphalt with a gabled parapet with clay tile coping and a penthouse. The building is of concrete and brick masonry construction finished in smooth cement plaster.

The primary (north) façade is asymmetrically composed and is articulated as two volumes. The ground floor is comprised primarily of four storefronts, with two storefronts occupying each volume. The eastern pair of storefronts has been combined to create a single double-width storefront set at grade. It is framed by a molded lintel and a single corbel and accented by a molded band course. The storefront is flush with the façade and consists of a fully-glazed contemporary curtain wall with a side entrance consisting of a fully-glazed contemporary door with transom and sidelights. The western pair of storefronts are symmetrically composed and consist of single-width open-front storefronts set at grade; enclosure is provided via metal roll-up security doors. Storefronts are topped by fully-glazed arched transoms and accented by plaster medallions. A pedestrian entrance leading to the building's second-floor offices is situated at the western end of the ground floor. It consists of a recessed entrance set at grade and sheltered by a projecting demilune canopy finished in smooth cement plaster.

The entrance is tiled in two colors of marble set in a distinctive geometric pattern. The entrance door consists of a single flush metal door topped by a transom with divided lights.

The second story is characterized by a continuous molded band course and sill course. Fenestration at the second story is recessed and accented by either vertical or horizontal grooves, and consists of contemporary fixed metal windows.

Alterations

The building has been subject to alterations since its initial construction in 1927. A waste bin was rebuilt in 1930. The existing storefront was replaced in 1931 and again in 1935, 1937, 1940, and 1941. A new brick addition was also constructed at the rear of the building in 1941 (this addition was subsequently removed sometime after 1980). In 1945, the three existing storefronts in the building were combined and converted to a single shop, and the storefront was also remodeled. The roof was replaced in 1951. A portion of the parapet was altered in 1956. The building was converted from a music store into a supermarket in 1959 and the storefront was remodeled. A concrete ramp at the rear entrance as well as a machine and equipment room were added that same year. The loading dock was extended in 1960, and Perma Stone was added to the existing storefronts. The roof was replaced and fire damage was repaired that same year. In 1966, the building was converted from a supermarket to a sporting goods store. In 1990, the building's storefront was remodeled, and the building's interior was remodeled and modified for the installation of a freight elevator. The storefront was further altered in 1991 and 1992. Miscellaneous painting and repairs were undertaken in 1993. It is also anticipated that additional interior modifications have been made as commercial tenants have changed over time.

Character-Defining Features

Exterior character-defining features remain extant and include the following:

- Rectangular plan, two-story height, and simple massing consisting of multiple volumes
- Flat roof with gabled parapet with clay tile coping and a penthouse
- Concrete and brick masonry construction finished in smooth cement plaster
- Asymmetrical composition of the primary (north) façade, with four ground-floor storefronts organized in two pairs
- Arched storefront transoms
- Molded decorative band course, sill course, and medallions
- Recessed pedestrian entrance at western end of the ground floor with marble tile set in a geometric pattern

HISTORIC RESOURCES TECHNICAL REPORT

10.0 PROJECT SITE DEVELOPMENT HISTORY

Early Ownership and Land Use

The land comprising Sites 1 and 2 was first recorded in 1894 by Ida Hancock as part of a subdivision of a portion of the Rancho La Brea. Ida Hancock (1843-1913) was the widow of Henry Hancock (1822-1883), an attorney and civil engineer who is known today for conducting some of the earliest land surveys of the City of Los Angeles.

Rancho La Brea originated as a land grant awarded to Antonio José Rocha and Nemisio Dominguez by the Mexican government in 1828. Dominguez transferred his share of the rancho to Rocha, who subsequently died in 1837, leaving behind his wife, two sons, and a daughter. Following the passage of the California Land Act in 1851, Rocha's family sought to prove their claim to the Rancho La Brea, as was now required by law. Though their claim was eventually confirmed, the expenses associated with the ongoing legal battle compelled the Rocha family to sell off most of the rancho land to pay their debts while they awaited confirmation of their claim. Consequently, Henry Hancock and his brother, John, ultimately purchased most of the rancho, with Henry Hancock acquiring about two-thirds of the land – including the present-day Project Site – by 1870.

Following Henry Hancock's death in 1883, ownership of the Rancho La Brea passed to Henry's wife, Ida. During the 1890s, Ida Hancock began to subdivide portions of her land with great success, including a number of tracts in Hollywood.⁷⁰ One of these subdivisions, identified only as "Map of subdivision of a portion of Rancho La Brea" (MR053-097), was recorded in 1894. This land changed hands at least twice in the years that followed; eventually, James B. and Laura C. Dunlap sold Lot 2 and part of Lot 3 of this subdivision to Joseph F. Grass in 1896.⁷¹ This land includes the acreage comprising the present-day Project Site.

Joseph Grass set about cultivating the land and established an expansive lemon grove on the acreage. However, Grass may have been drawn by greener pastures, as multiple newspaper advertisements published in the *Los Angeles Times* and the *Los Angeles Herald* throughout the spring of 1898 indicate that he wanted to dispose of the entire operation, including his cow.⁷² Ultimately, Grass sold a portion of the property to

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⁷º Hadley Meares, "The Lady of La Brea: Madame Ida Hancock Ross, Los Angeles' Forgotten Matriarch," KCET, February 23, 2016, https://www.kcet.org/history-society/the-lady-of-la-brea-madame-ida-hancock-ross-los-angeles-forgotten-matriarch (accessed February 2022).

^{71 &}quot;Real Estate Transfers," Los Angeles Herald, December 30, 1896.

⁷² Classified advertisements, Los Angeles Times, April 10, 1898, pages 5 and 7. Advertisements continued through May.

Security Savings Bank in September 1898,73 but retained the remainder of the land, subsequently dividing it into two separate tracts: the Eulalie Tract (MB001-035), which was recorded in 1901; and the Eulalie Tract No. 2 (MB003-084a), was recorded in 1903. Both tracts were named after Joseph Grass's wife, Eulalie Pinta Grass. The Eulalie Tract represented the eastern portion of the acreage and was subdivided to create lots flanking Eulalie Avenue (now Cherokee Avenue) between Prospect Avenue (now Hollywood Boulevard) to the north and present-day Selma Avenue to the south. Eulalie Tract No. 2 was situated immediately to the west of the Eulalie Tract, occupying the western portion of the acreage, and was subdivided to create lots flanking Palm Avenue (now Las Palmas Avenue) between Hollywood Boulevard and Selma Avenue.74

Although the land in both tracts was ostensibly subdivided into lots for sale – and indeed "villa lots" were advertised for \$50075 – the Grass family ultimately retained much of the land south of Hollywood Boulevard between North Cherokee Avenue and the present-day site of Grauman's Egyptian Theatre until well into the 1920s, opting to develop the acreage with several residences and commercial buildings for investment purposes. The land fronting North Las Palmas Avenue to the west was retained by the family for their personal use, and several residences and commercial investment properties were constructed there.

Further subdivisions and subsequent development efforts at Site 1 and Site 2 are discussed below. Individual site development histories are also included for those properties that are not currently designated as historical resources and will therefore be subject to evaluation as part of this investigation. Commercial tenant chronologies for these buildings are included in the appendices.

10.1 Development of Site 1 Properties

Site 1 represents Lots 12, 13, and a portion of Lot 14 of the original Eulalie Tract, as well as Lots 3, 4, 5, 6, and 7 and a portion of Lots 8, 9, and 10 of Eulalie Tract No. 2. The reporting of real estate transactions associated with the development of these lots is incomplete, but available records indicate that the Grass family frequently traded lots amongst themselves over time. It is likely that the family retained the majority of the lots

^{73 &}quot;Mortgages, \$1000 and Over," Los Angeles Herald, September 28, 1898.

⁷⁴ Copies of tract maps are included in the appendices.

⁷⁵ Classified advertisement, Los Angeles Times, September 22, 1901, page 7.

⁷⁶ "Rites Tomorrow for Mrs. Eulalie Grass, Hollywood Pioneer," *Hollywood Daily Citizen*, February 1, 1928; and "Building Notes," *Los Angeles Times*, February 5, 1905.

into the 1920s, with Lots fronting Cherokee released for development before those lots fronting Las Palmas, which was closer to their personal property.

1641-1645 North Cherokee Avenue (APN #5547-014-009)

The building at 1641-1645 North Cherokee Avenue was constructed in 1922 for owner Walter R. Gage under permit #1922LA06906.

The property was first improved by the Grass family in 1912, when they constructed a residence that was to be used as an income property. The house was relocated in May 1921, in advance of the construction of the current building. In March 1922, permits were filed for the construction of the present building by Walter R. Gage. Gage was a well-known musician and piano dealer who co-founded the first music store in Hollywood around 1914. When that business dissolved, Gage opened the Walter R. Gage Music Company in a brick storefront at 6614 Hollywood Boulevard, which Gage commissioned in 1917. Though modest, the structure was a mark of Gage's confidence in the community and in Hollywood Boulevard – which, in 1917, had yet to evolve into the commercial and cultural juggernaut it is known as today. That confidence netted Gage the affection of the local press, which would later credit Gage as "one of the first men who had faith in Hollywood."

Although Gage eventually removed his music business from the Hollywood Boulevard building and returned to selling pianos out of his home on Highland Avenue, 82 he retained the building as an investment property. Gage was a shrewd real estate investor, who was able to forecast Hollywood's potential early on. When he acquired the property at 1641-1645 North Cherokee Avenue and announced the construction of a new store for his piano business in 1922, it was not a necessary move, but newspapers noted that "frontage now on Cherokee...is higher than it was ten years ago on Hollywood Boulevard." 83 It was reported that the store would handle multiple piano

⁷⁷ See building permit #1912LA03891.

⁷⁸ See building permit #1921LA10014.

^{79 &}quot;Hollywood Music Company," The Tidings, December 18, 1914.

⁸⁰ "In Hollywood," *Los Angeles Times*, May 13, 1917. This building remains extant today and is a non-contributor to the Hollywood Boulevard Commercial and Entertainment District, although the construction date noted for the building is inaccurate.

^{81 &}quot;Veteran Piano Dealer Will Open New Store," Hollywood Daily Citizen June 7, 1922.

^{82 &}quot;Music Dealers Guests," Hollywood Daily Citizen, November 23, 1921.

^{83 &}quot;Veteran Piano Dealer Will Open New Store," Hollywood Daily Citizen June 7, 1922.

lines, and "in the rear of the new establishment will be a complete tuning and repairing plant, where will be done the rebuilding, refinishing, polishing and tuning of pianos." 84

The Gage Piano House opened in June 1922, and for a short time appears to have been the only tenant of the building. However, city directory records indicate that by at least 1923, Gage had begun to take on additional commercial tenants; namely, the Hollywood Advertising Club and the local *Holly Leaves* newspaper. By 1927 Gage had begun to share the Piano House storefront with his former business partner in the Hollywood Music Company, Oscar Doolittle, who now operated the Hollywood Radio Exchange. By 1928, Gage was subdividing the space even further, and a third business – the Café de France – opened in November 1928.85 Gage gave up his own storefront to the café, leaving Doolittle in the neighboring storefront, and relocated his piano sales business back home.86

Whether it was a prescient move on Gage's part or simply luck, it was likely a fortuitous decision. The stock market crash that occurred less than a year later in the autumn of 1929 likely would not have allowed ideal market conditions for piano sales to continue unaffected. The ensuing economic depression saw a change in tenancy for all three storefronts, and the nature of commercial operations in the building began to shift as well. While early operations were largely composed of retail businesses and administrative offices, after 1930 the building housed primarily service-related businesses, including several barbers; food and beverage establishments; and alternative spiritual organizations, including the Truth Center of Hollywood and the Hollywood Unity Metaphysical Center. Tenants rarely remained for longer than five years; the most enduring operation was that of the Hollywood Barber College, which operated here from around 1956 to around 1968.

Walter Gage retained ownership of the building throughout his life; following his passing in 1949, the property passed to his wife, Margaret C. Gage, who subsequently died in 1962. It is likely that the building did not remain in the family after her passing, as subsequent building permits reflect other owner names. Tenants in more recent years are less frequently documented; from 1993 to 1996, the building served as the home of My Friend's Place, a nonprofit that provides assistance to homeless youth.

^{84 &}quot;Veteran Piano Dealer Will Open New Store," Hollywood Daily Citizen June 7, 1922.

⁸⁵ Display advertisement, Hollywood Citizen-News, November 28, 1928.

⁸⁶ Gage's piano sales are advertised using the Highland Avenue address associated with his own residence beginning in 1928.

1638 North Las Palmas Avenue (APN #5547-014-044)

The property at 1638 North Las Palmas Avenue is currently improved with two principal buildings: a commercial building fronting North Las Palmas Avenue, which is located in the western portion of the lot, and a residence, which is situated to the rear of the commercial building and located in the central portion of the lot.

Development of the Commercial Building at 1638 North Las Palmas Avenue

The building at 1638 North Las Palmas Avenue was constructed in 1925 for owner W. A. Prince under permit #1925LA39717.

The property was first improved by Elsie S. Talbott in 1916, when she constructed a residence on the property that was to be used as a servants' quarters for her own home, which was located at the southern end of the block.87 The servants' quarters at 1638 North Las Palmas Avenue was relocated to the rear of the lot in 192588 to accommodate construction of the present commercial building by owner William A. Prince.89 Prince was the vice president of the newly-established Community Finance Corporation of Hollywood, which was formed to "fill a gap between building and loan companies and the ordinary commercial bank" 90 by making loans "which the ordinary bank does not cater to and is not prepared to handle, namely small loans repaid in weekly, semi-monthly, or monthly payments." 91 Prince's building – then nearing completion – served as the headquarters for the Community Finance Corporation of Hollywood when it opened on February 3, 1926.92

The business seemingly started off well enough – a dividend was even paid to stockholders after the first quarter.⁹³ Within six months, however, the Community Finance Corporation of Hollywood had disappeared – whether the corporation had shut down or reorganized is unclear, but advertising and newspaper reporting ceased in May 1926. The next documented tenant to occupy the building was no more successful: like its predecessor, the Las Palmas Garden Café was also a short-lived venture; having opened by June 1927, it disappeared before August was out. ⁹⁴ Perhaps

⁸⁷ See building permit #1916LA04843 for construction of the original residence at 1638 North Las Palmas Avenue.

⁸⁸ See building permit #1925LA35943 for relocation of the original residence.

⁸⁹ "Building Permit Total \$345,975," *Hollywood Daily Citizen*, November 21, 1925. Although no architect is noted either in the article or on the building permit, the article does note that Prince hired builder Albert Newhouse to oversee construction of the new commercial building.

^{90 &}quot;H. J. Ernster is Firm President," Hollywood Daily Citizen, January 9, 1926.

^{91 &}quot;Industrial Loan Firm Announced," Hollywood Daily Citizen, January 30, 1926.

⁹² Display advertisement, Hollywood Daily Citizen, February 2, 1926.

^{93 &}quot;Finance Firm Gives Dividend," Hollywood Daily Citizen, May 8, 1926.

^{94 &}quot;Realtors To Hear Of Owens Valley," Hollywood Daily Citizen, June 21, 1927.

unsurprisingly, after back-to-back failures, the building was listed for sale in March 1928,95 after which it was occupied by a series of more reliable grocers, who remained throughout the 1930s and early 1940s.

In 1945, a new tenant set the course for operations in the building for the next fifty years. After a failed attempt to open a dance hall in Long Beach, of oil executive Leland "Lee" F. Healy – who was nicknamed "Shanty" – opened a restaurant known as Tavern Shanty Healy. Known for its corned beef and its "Bohemian atmosphere," of Tavern Shanty Healy apparently flourished for a few short years, but flamed out in 1949 when Healy and his tavern were forced to declare bankruptcy. The restaurant – including its liquor license – and everything in it was subsequently sold at auction.

The following year, a new restaurant known as the House of Ivy opened at 1638 North Las Palmas Avenue. Building permit records and newspaper articles reveal that the restaurant was developed by a group of co-owners who included, at various points, Ellen Forte, Neal Patler, Earl King, and Harry Sanoff. Advertising for the House of Ivy appearing in local newspapers from 1950 through 1955 emphasized the restaurant's proximity to the adjacent Las Palmas Theatre, offering free parking for theatregoers and inviting patrons to dine late after the show. The restaurant was even sufficiently popular to have its own radio show, the "House of Ivy Show," which was recorded at the restaurant and aired on KXLA at midnight on Thursdays, Fridays, and Saturdays.99

After June 1955, mainstream advertisement of the House of Ivy in newspapers such as the *Los Angeles Times* ceased, and it is possible that the House of Ivy may have closed for a time. There are no listings for the restaurant in the Los Angeles street directories published in 1957, 1958, and 1959. Research compiled by author Martin Turnbull suggest that the House of Ivy was "very popular" in the 1950s and 1960s, but one source notes that the property was on Cahuenga; relocation appears unlikely in the

⁹⁵ Classified advertisement, Los Angeles Times, March 18, 1928.

⁹⁶ "Dance Hall Applicant Loses, Even After Telling Life Story," Long Beach Sun, August 23, 1944.

^{97 &}quot;Hedda Hopper Looking at Hollywood," Los Angeles Times, November 12, 1946.

⁹⁸ Display advertisement, *Los Angeles Times*, July 24, 1949. Interestingly, the advertisement for the bankruptcy auction notes that Tavern Shanty Healy had been in business for twelve years, but no prior address was identified during this investigation.

⁹⁹ Ray Hewitt, "The Spotlighter," Los Angeles Daily News, June 17, 1953.

context of research conducted as part of this investigation, but the reference does call into question the accuracy of material assembled by Turnbull.¹⁰⁰

The restaurant resurfaced briefly in January 1959, when the building caught fire three times in a week in a series of suspected arson attempts, but it is unclear whether the restaurant was operating at the time. ¹⁰¹ A subsequent article that appeared in the *Los Angeles Times* in May of that year indicated the owners of the House of Ivy had filed a lawsuit against the Board of Police Commissioners challenging the validity of a city ordinance requiring bars using live entertainment to obtain special police permits; however, a Superior Court judge ruled that the City had full authority to regulate live entertainment permits. ¹⁰² Interestingly, none of the published references to the restaurant during this period include its name; only the name of the owners' corporation is noted, along with the address. This trend continues through subsequent applications for café entertainment permits filed in 1960 and 1961. ¹⁰³

After the absence of the restaurant's listing in Los Angeles street directories in the late 1950s, the House of Ivy reappeared in city directory listings in 1960, 1961, 1962, 1963, and 1964. A separate coffee shop was also listed at 1638½ Las Palmas in 1963 and 1964. A classified advertisement suggests that the building was put up for sale in 1965. 104 However, this investigation revealed little information regarding the subsequent operation of the building. Widespread newspaper advertising for or even discussion of the House of Ivy never resumed after 1955, and the last city directory in which the restaurant is listed was published in 1964. However, it appears likely that the House of Ivy may have continued to operate as an LGBT establishment; although no timeframe is given for its association, a later *Los Angeles Times* article from 1993 stated that the House of Ivy was "one of L.A.'s first restaurants catering to a gay clientele." 105 Travel guides and city directories catering to the LGBT community continued to advertise the House of Ivy through 1973. The same publications listed the Galleon Room at this

Martin Turnbull, "Hollywood Places – A to D," MartinTurnbull.com, https://martinturnbull.com/hollywood-places/ (accessed March 2022). Cited works discussing the House of Ivy include David Ehrenstein, Open Secret: Gay Hollywood – 1928-1998 (New York: William Morrow & Company, 1998); William J. Mann, Behind the Screen: How Gays and Lesbians Shaped Hollywood, 1910-1969 (New York: Penguin Books, 2002); and Stuart Timmons and Lillian Faderman, Gay L.A.: A History of Sexual Outlaws, Power Politics, and Lipstick Lesbians (New York: Basic Books, 2006).
101 "Fire at Ivy Café Blamed On Arsonist," Hollywood Citizen-News, January 2, 1959. The restaurant's name is incorrectly noted in the article as the "Halls of Ivy."

¹⁰² "Special Permit for Bar Shows Held Necessary," Los Angeles Times, May 27, 1959; and "City Regulation of Bars Upheld," Hollywood Citizen-News, May 27, 1959.

¹⁰³ "Public Notices (Citizen-News – 35916) Notice of Application for Permit to Conduct Café Entertainment," *Hollywood Citizen-News*, November 29, 1960; and "Seek Café Permit," *Hollywood Citizen-News*, May 5, 1961. ¹⁰⁴ Classified advertisement, *Los Angeles Times*, January 6, 1965, page 8.

¹⁰⁵ "Une Petite Party," Los Angeles Times, November 22, 1999.

address in 1972 and 1973, and also the House of Joy at this location in 1975. 106 Neither the Galleon Room nor the House of Joy was ever advertised or featured in Los Angeles newspapers during this period, nor were they included in city directories. Historical photographs held in the ONE National Gay & Lesbian Archives at the University of Southern California Libraries also confirm the presence of another restaurant – the House of Chili – was operating at this location around the same time as the Galleon Room. 107

After 1975, the only recorded information regarding operations in the building appears in directories of affiliates and offices of Japanese firms in the United States. These directories note that Jun Fujimori established the Akizu Restaurant on the site in 1975, and it remained in operation as late as 1989. A single directory listing for the same restaurant at this address in 1987 appears to confirm this information; however, no additional documentation related to Jun Fujimori or Akizu Restaurant could be found, and no information related to subsequent activities in the early 1990s was identified.

In 1996, French model and fashion designer Michele Lamy opened Les Deux Cafés at the site, and the restaurant quickly became known for its celebrity clientele. It subsequently closed in 2004, only to reopen in 2006 as a nightclub which later closed permanently in 2010.

Following the closure of the nightclub, the building has most recently housed Liaison Restaurant & Lounge, a special events venue that opened in 2017.

Development of the Residence at 1638 North Las Palmas Avenue

In 1996, as part of the development of Les Deux Cafés, a multi-family residence was relocated to the site at 1638 North Las Palmas Avenue, to be situated behind the commercial building fronting North Las Palmas Avenue to the west. The residence was originally located at 6663-6667 West Selma Avenue, where it was first constructed in 1916 as a two-story duplex for Elsie S. Talbott by architect Howard W. Wood. 109 Although building permits for the residence at this location do not record any

¹⁰⁶ See also "Galleon Room," ONE Archives at the USC Libraries, https://one.usc.edu/archive-location/galleon-room (accessed March 2022); "House of Ivy," ONE Archives at the USC Libraries, https://one.usc.edu/archive-location/house-ivy (accessed March 2022); and "House of Joy," ONE Archives at the USC Libraries, https://one.usc.edu/archive-location/house-ivy (accessed March 2022).

¹⁰⁷ Archival photographs are included in the appendices.

^{108 1989-1990} Directory: Japanese-Affiliated Companies in USA & Canada (Japan External Trade Organization, 1989), https://www.google.com/books/edition/Directory_Japanese_affiliated_Companies/12vpAAAAMAA]?hl=en&gbpv=0 (accessed March 2022).

¹⁰⁹ See building permit #1916LA03030 for original construction of the residence at 6663-6667 West Selma Avenue.

subsequent alterations, Sanborn maps indicate that the building contained three dwelling units as early as 1919. The building was later relocated from its original site at 6663-6667 West Selma Avenue to the site at 1638 North Las Palmas Avenue in 1996110 and was subsequently converted for use as a restaurant.111

10.2 Development of Site 2 Properties

Site 2 represents Lot 1, a portion of Lot 2, and Lot 3 of the original Eulalie Tract. After the Eulalie Tract was opened up for sale, these lots were purchased by the Roman Catholic church in 1904. 112 The diocese had recently declared a new independent parish was to be established in the swiftly-growing community of Hollywood, and purchased the site in order to erect a new, more centrally-located church. The Church of the Blessed Sacrament, designed by the architectural firm of Maginnis, Walsh, and Sullivan of Boston, was dedicated and opened to the public in October 1904. The church continued to serve the Catholic community surrounding Hollywood for nearly twenty years, during which time facilities grew to include a parish community hall, a parochial school building, and a rectory.

By the early 1920s, however, the church's growing congregation far outpaced its existing facilities. The church began to make plans to relocate, purchasing another property along Cherokee Avenue between Selma Avenue and Sunset Boulevard. The church's existing property on Hollywood Boulevard was sold in October 1922 to Charles Widrig, head of the Suburban Realty Company for a reported \$300,000.113 Widrig stated at the time that he had no definite plans for the property and that he did not plan to build on the land for at least several years. The land apparently changed hands in the meantime, as it was owned by a completely different group – a syndicate headed by Joe Toplitzky and Marco Hellman – by the close of 1926.114

In December 1926, John W. Proctor and Selah Chamberlain, partners in the firm of Proctor & Chamberlain, purchased the property at the southeast corner of Hollywood Boulevard and Cherokee Avenue from Toplitzky and Hellman for a reported \$450,000.115 Proctor & Chamberlain announced general plans to improve the property with a commercial building featuring both stores and offices at the time, but it was not until the following spring that details were made known. In April 1927, the Los Angeles

¹¹⁰ See building permits #1996LA51112 and #1996LA51157 for relocation information.

¹¹¹ See building permit #1996LA55567.

^{112 &}quot;The New Church at Hollywood: Preparations for the Coming Dedication," The Tidings, October 21, 1904.

^{113 &}quot;Easterner Purchases Corner of Hollywood and Cherokee Avenue," Hollywood Daily Citizen, October 21, 1922.

^{114 &}quot;\$450,000 Sale On Boulevard," Hollywood Daily Citizen, December 9, 1926.
115 "\$450,000 Sale On Boulevard," Hollywood Daily Citizen, December 9, 1926.

Times announced Proctor & Chamberlain's commission of a design for a two-story store and office building to be designed in "a combination of Spanish and Italian" styles by architect Norman W. Alpaugh. 116

The main body of the Cherokee Building was constructed in two parts, with permits filed under #1927LA04584 for the portion fronting Hollywood Boulevard, and under #1927LA04585 for the Cherokee Avenue frontage. (Although this unit of the Cherokee Building is outside the boundaries of the Project Site, its development is discussed here to inform discussion of the development of the Project Site.) Construction commenced in May 1927,¹¹⁷ and the building opened in November 1927. Notably, the architectural renderings published in local newspapers depicted a building that apparently grew in size and scope over the course of construction; its initial extent as depicted in April 1927 is smaller than the building depicted at the time of its completion, suggesting that additional units may have been designed to augment the original extent.

The opening of the Cherokee Building was hailed as something of a milestone in commercial development in Hollywood, with the *Hollywood Daily Citizen* noting that:

Particular significance is attached to the formal of the Cherokee Building...inasmuch as this new development is located midway between Vine Street and Highland Avenue and therefore represents a substantial connecting link between these two sections. The completion of this splendid business block...is further indication that the remarkable "big business" developments which have taken place in both the Vine Street and the Highland Avenue districts during the past few years, and particularly the past few months, are having a tendency to tie these two sections more closely together than ever before, rather than to separate them into two divergent factions of growth.¹¹⁸

The Cherokee Building became a focal point of commercial development along Hollywood Boulevard throughout the late 1920s and into the 1930s, housing many neighborhood businesses that served the local community. Much of the commercial development in this area was either directly associated with or at least influenced by the

^{**}For Hollywood Boulevard," Los Angeles Times, April 3, 1927; and "Contract Let for Two-Story Store Building," Los Angeles Times, April 24, 1927.

¹¹⁷ "Start New Building," Los Angeles Times, May 8, 1927.

¹¹⁸ "Cherokee Building Links Vine, Highland," Hollywood Daily Citizen, November 11, 1927.

operation of the Cherokee Building, as is demonstrated by the development patterns exhibited at the following buildings comprising Site 2.

1638 North Cherokee Avenue (APN #5547-015-026)

The building at 1638 North Cherokee Avenue was designed by architect William Dalziel and constructed in 1977 under permits #1977LA39539 and #1977LA49365. It was developed on the site of a building (now demolished) that was originally constructed as an addition to the building at 1642-1648 North Cherokee Avenue in 1930 under permit #1930LA17280. The 1977 building designed by Dalziel utilized the same building footprint and exhibited nearly identical dimensions to that of the original 1930 building on the site which, like its neighbor, had been designed by Gordon B. Kaufmann.

Upon its completion in 1978, the building became the home of Hollywood Central Hardware, a longtime Hollywood concern that had inhabited the previous building on the site since 1937. ¹¹⁹ Hollywood Central Hardware closed in the mid-1980s, and by 1987 had been replaced by a new tenant: Armistead Camera Rentals, a motion picture camera rental business. The building was most recently occupied by RC Vintage Rentals, a prop rental company.

1642-1648 North Cherokee Avenue (APN #5547-015-026)

The building at 1642-1648 North Cherokee Avenue was designed by architect Gordon B. Kaufmann and constructed in 1929 under permit #1929LA07458.

Plans for the building at 1642-1648 North Cherokee Avenue were conceived as early as 1927, with the opening of the adjacent Cherokee Building. At the time of the building's opening, the area immediately south of the Cherokee Building was improved with a landscaped courtyard, which served as a patio entrance for some of the first-floor shops in the building. The remaining portion of the site served as a car park. A. C. Hastings, resident manager of Coldwell, Cornwall & Banker, announced that "work would be started very shortly on an addition improvement for the Cherokee Avenue frontage owned by Chamberlain and Proctor which is directly in the rear of the new Cherokee Building." ¹²⁰ Hastings went on to note that plans had been drawn up and

¹¹⁹ "2 Firms Take New Quarters," *Hollywood Citizen-News*, March 2, 1937; and "Local Hardware Firm Moves Into Larger Quarters," *Hollywood Citizen-News*, March 6, 1937.

¹²⁰ "Hastings Brings Many New Firms," Hollywood Daily Citizen, November 11, 1927.

construction would commence as soon as the widening and paving of Cherokee Avenue was completed, explaining that:

Coldwell, Cornwall and Banker control the entire south block between Cherokee and Hudson to a depth of 280 feet...and it is the rear 140 feet facing on Cherokee Avenue on which the second improvement is to be erected. These plans call for a one story structure similar in architecture to the Cherokee Building which it will be adjacent to...²¹

Although Cherokee Avenue was subsequently paved in 1928, the anticipated widening of the road did not take place. Construction activity seemed to stall, however, until the car park to the south of the Cherokee Building was put up for sale in December 1928.¹²² It is likely that Chamberlain & Proctor purchased this land, as they went on to proceed with their original plans in 1929 and announced the construction of an "addition" to the Cherokee Building that would become the building at 1642-1648 North Cherokee Avenue.

Chamberlain & Proctor, owners of the Cherokee building...have commenced the erection of a one story addition to the building along the Cherokee Avenue frontage. The new building, which will have a frontage of 60 feet and a depth of 75 feet, will be divided into four stores, one store having an 18 foot frontage, two being 15 feet wide and one 12 feet wide. Following the Mediterranean influence, the building will be most distinctive and attractive.

Gordon B. Kaufmann is the architect and Bavin & Butch are the contractors. The management of the building and all leasing arrangement are under the direction of Coldwell, Cornwall & Banker.¹²³

Notably, although the building is described as an "addition" to the Cherokee Building, its development differs on several important points: first, the building was planned and erected as a single-story structure, rather than two stories, like the Cherokee Building. Second, although Norman Alpaugh, the architect of the Cherokee Building, continued to maintain a relationship with Chamberlain & Proctor and returned to make several modifications to the Cherokee Building in 1928, he was not selected as the architect for

¹²¹ "Hastings Brings Many New Firms," Hollywood Daily Citizen, November 11, 1927.

¹²² "Auto park for sale in heart of Hollywood...," classified advertisement for 1642 N. Cherokee, *Los Angeles Times*, December 22, 1928.

¹²³ "Addition To Cherokee Building Is Under Way," Hollywood Daily Citizen, March 23, 1929.

a building that was promoted as an addition to the complex. Although the reasons for the changes in the company's building program are not known, the result was that the construction of the building at 1642-1648 Cherokee bore little resemblance to the neighboring Cherokee Building.

Construction commenced in 1929 under permit #1929LA07458 and the building appears to have been opened for lease in 1930. The initial complement of tenants included the Truth Center of Hollywood (which would occupy several different buildings on Cherokee over the years), a Maytag service center, and a delicatessen. Subsequent tenants occupying the building throughout the 1930s included a jeweler, a beauty shop, scalp dermatologist, a sporting goods store, a gift shop, a tailor, and a clothes cleaner. The building continued to serve a variety of commercial tenants in the following decades; the most enduring tenant – although it also appears to be the least-documented – is the Eagle Woolen Co, which appears in city directory listings from 1934 through 1956. The business does not appear to have been documented in local publications and, aside from sharing a storefront at times with tailors and dry cleaners, offers little information about the nature of operations.

Although few tenants are documented at the property throughout the 1960s, directory listings in the 1970s are more thorough. Based on directory listings, one operation known as Aunt Charley's Living Room Tavern appears to have opened around 1960 and continued to operate at this location until around 1964. The business is not advertised or otherwise documented in local newspapers or other contemporary mainstream publications. However, records held at the ONE Archives suggest that Aunt Charley's may have been associated with LGBT social life. According to archival records, the restaurant appeared in several annual gay guides from 1964 through 1966. The restaurant appears to have ceased operations by the end of the 1960s. The building also housed the Artist Recording Studio from the mid-1960s through the early 1970s. Most recently, it has been home to R C Vintage Studio Rentals.

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¹²⁴ "Aunt Charley's Living Room," ONE Archives at the USC Libraries, https://one.usc.edu/archive-location/aunt-charleys-living-room (accessed March 2022).

¹²⁵ Per records held in the ONE Archives, the restaurant may also have been cited in a 1968 publication on gay social life.

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11.1 Identification of Historic Contexts

Two of the seven buildings within the boundary of the Project Site have been previously designated as historic resources. They are:

- Redwine Building, 1618 North Las Palmas Avenue (Site 1) HCM No. 1114
- Cherokee Building Addition, 6630-6636 Hollywood Boulevard (Site 2) –
 Contributor, Hollywood Boulevard Commercial and Entertainment District

In addition, the building at 6626-6628 Hollywood Boulevard in Site 2 has been listed as a Non-Contributor to the Hollywood Boulevard Commercial and Entertainment District.

As previously discussed in Section 7.0, the four remaining buildings within the boundary of the Project Site have not been previously evaluated for their eligibility as individual historic resources and therefore require examination under a relevant historic context. These properties are:

- 1641-1645 North Cherokee Avenue (Site 1)
- 1638 North Las Palmas Avenue (Site 1)
- 1638 North Cherokee Avenue (Site 2)
- 1642-1648 North Cherokee Avenue (Site 2)

SurveyLA, the Los Angeles Historic Resources Survey has developed a Historic Context Statement (HCS) that provides a framework for evaluating potential historic resources in the City of Los Angeles. The SurveyLA HCS is organized into nine broad historical contexts, which are specific to Los Angeles and focus on the development of the City during the period dating from 1780 to 1980, and further subdivided into themes and sub-themes that reflect the various historical trends and patterns of events associated with each context.¹²⁶

The following SurveyLA contexts, themes, and sub-themes (where applicable) have been identified for their relationship to one or more of the four properties within the Project Site that have not been previously evaluated. The following section lists the properties that will be examined under a particular context, and then includes an excerpt of the relevant discussion associated with that particular context and theme.

¹²⁶ SurveyLA Los Angeles Historic Resources Survey, "Los Angeles Citywide Historic Context Statement: Context Outline, Revised January 2020."

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Hollywood Central

HISTORIC RESOURCES GROUP

One of the four properties, 1638 North Cheroke Avenue, does not possess historical associations with any particular context and theme due to its comparatively recent construction. This property is discussed in the final section.

11.2 Context: Commercial Development, 1859-1980

Based on their date of construction and location in Hollywood as well as research conducted as part of this investigation, three of the four properties on the Project Site possess historical associations with streetcar-related commercial development. They are:

- 1641-1645 North Cherokee Avenue (Site 1)
- 1638 North Las Palmas Avenue (Site 1)
- 1642-1648 North Cherokee Avenue (Site 2)

As a result, the following SurveyLA historic context and theme have been identified for their association with the history and development of these properties:

- Context: Commercial Development, 1859-1980
 - Sub-Context: (No Sub-Context)
 - Theme: Neighborhood Commercial Development, 1880-1980
 - □ Sub-Theme: Streetcar Commercial Development, 1880-1934

Relevant discussions from the historic context statement associated with this context and theme have been excerpted below.

Theme: Neighborhood Commercial Development, 1880-1980

For its first thirty-five years under Anglo-American rule, Los Angeles was essentially a small town. Residents numbered 1610 in 1850. 127 This increased to 4,385 by 1860, to 5,728 by 1870, and to 11,183 by 1880. There were no geographically separate neighborhoods with their own business districts. Commerce of all sorts concentrated around the Old Plaza and the newer business district to the south, and most residents lived within walking distance of this commercial core. Within this walking city, however, distinct neighborhoods emerged that were determined by the economic and ethnic composition of the residents. As the Anglo-American population moved south, the

127 The following discussion has been excerpted and adapted from SurveyLA Los Angeles Historic Resources Survey, "Los Angeles Citywide Historic Context Statement: Context: Commercial Development, 1859-1980, Theme: Neighborhood Commercial Development, 1880-1980," prepared for the City of Los Angeles Department of City Planning Office of Historic Resources by Daniel Prosser, August 2017, https://planning.lacity.org/odocument/7653581a-e554-43eb-840f-2b0e2916eccc/NeighborhoodCommercialDevelopment_1880-1980.pdf (accessed February 2022).

blocks around the Old Plaza were left to others. The district around the Plaza Church became home for Mexican Americans, while the section to the east and southeast, including North Los Angeles Street, became Chinatown. The retail businesses along these blocks were neighborhood businesses, in that they provided services for a distinct group living nearby.

At the same time, along the edges of the walking city, there were settlements that combined scattered homes with an occasional commercial establishment. This establishment typically served as a sort of general store such as one would find in rural settlements of the day. The pattern of a single freestanding commercial building, sitting among dwellings, is one that survived well into the twentieth century.

The Streetcar Era, 1885-1920

The rise of neighborhoods as something spatially separate from the central city, complete with its own commercial district, was a product of the streetcar. The streetcar allowed residents to disperse and, in the process, seek shops and services closer to their new homes.

Los Angeles began developing public transit as early as 1874. A horse-drawn streetcar line began service that year along a two-and-one-half-mile route that went from the Plaza south along Main and Spring Streets to Sixth. It was followed by a number of other short and unconnected routes. By 1876 a horse-drawn car line had been extended north along Spring Street (then known as San Fernando Road), across the Los Angeles River, and into Lincoln Heights (then known as East Los Angeles) along North Broadway (then known as Downey Avenue). By 1880 a second horse car line also crossed the river and ran along Aliso Avenue to serve Boyle Heights. But, before the population boom of the late 1880s, there was simply not enough demand to justify widespread construction of lines such as these.

This changed with the influx of newcomers. In the decade between 1880 and 1890 Los Angeles grew from 11,183 to 50,395. The result was an increase in both the number and reach of the horse car lines, as well as the installation of cable cars and experiments with crude electrically-powered transit. The creation of these early lines set a pattern that would be followed by the electric trolleys in the decades to come. Developers of horse and cable routes first built their lines into vacant land. They then subdivided the land into home sites. They understood that a neighborhood commercial district was necessary for a residential subdivision to be successful, and laid out narrow lots along the streets containing the car lines. These plots were marketed to investors who would build storefronts and business blocks.

Beginning in the mid-1890s the streetcar system experienced two changes that greatly extended its reach. The first was the perfection of an electrically-driven streetcar, making use of overhead wires that fed the car's motors through the use of a top-mounted pole, or trolley. As these electric cars, or trolleys as they were popularly known, became more dependable, they replaced the earlier horse-drawn and cable cars, and gave the city a device that allowed for faster and cleaner mass transit. The second change was the consolidation of the streetcar lines into a coordinated network. Through a number of changes in ownership, the various routes by 1911 had become two complementary companies. The narrow-gauge Los Angeles Railway extended into all parts of the city except for the northwest. The standard-gauge Pacific Electric, primarily an interurban system, served the northwest part of the city via Glendale Boulevard to Echo Park and via Sunset to Santa Monica and Hollywood Boulevards. The Los Angeles Railway, or LARY, carried almost ninety percent of the riders within the city limits. The Pacific Electric, or PE, transported the remainder.

By 1914 the development of the network was basically complete. The area within five miles of Downtown was covered with a web of streetcar routes. Important for the emergence of neighborhood commercial districts were the points where lines crossed. This was particularly true for the Vermont line, which extended from south of Imperial Highway to north of Melrose, and crossed all the important east-west lines of the LARY.

The expansion of the streetcar network led to differentiation between neighborhood and Downtown commerce. The streetcar increased the distance between residential districts and the central city, and, at the same time, made access to the central city easier. The result was that major retailers, such as department stores, built large-scale establishments Downtown to serve the specialized needs of customers, while neighborhood stores increasingly limited their stock to everyday requirements and were content with smaller, less impressive, structures. The neighborhood shopping districts based on trolley service took on the look of small towns. Interspersed among the attached storefronts and business blocks were the occasional freestanding institutional building that predated the coming of the train. The trolley car dominated the street, with only the occasional wagon to add congestion.

The Period of Transition, 1920-1945

During the 1920s, Los Angeles became a city of metropolitan scale. Its population grew from 576,673 in 1920 to 1,238,048 in 1930. It managed further to increase its size during the economically difficult years of the 1930s, and numbered 1,504,277 residents in 1940.

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Serving this population by 1920 were at least ten outlying commercial districts, each containing eighty or more businesses. The typical neighborhood commercial district of the 1920s contained between forty and sixty businesses. It continued the architectural pattern from the period before 1920, but with fewer multi-story blocks and more single-story storefront rows. Perhaps the most important change, in terms of tenants, was the growing prevalence of chains, particularly drug and grocery stores. During the 1920s these chains preferred renting space in storefront blocks, rather than construct their own iconic buildings. This would change.

These neighborhood commercial districts were for the most part streetcar commercial development, products of the expansion of the trolley network in the pre-war years. By the end of the 1920s, however, they had begun to give way to business districts dependent instead upon the automobile. This early arterial development at first followed the pattern of corridor-like lines of shops and business blocks characteristic of streetcar development. By the late 1920s, however, different relationships to the street, in attempting to deal with the automobile, had emerged. The automobile had become a common presence on the streets of Los Angeles as early as 1910. But it was in the decade after the First World War of 1917 and 1918 that car ownership in Los Angeles became the norm. At the same time, the trolley system began to decline as a means of transportation. Neither the Los Angeles Railway nor the Pacific Electric expanded its system significantly after 1913 and ridership per capita of both systems fell after the mid-1920s once auto ownership became common.

The increasing presence of the car after the First World War required Los Angeles to improve its street system. Before the war some major thoroughfares had been upgraded for auto use. These routes were generally thirty to fifty feet wide and topped by some kind of firm surface. But these improvements were soon overwhelmed by the increase in car ownership. In 1924 community leaders hired the firm of landscape architect Frederick Law Olmsted to prepare a survey of existing conditions and make recommendations for improvement. This study, entitled *A Major Traffic Street Plan for Los Angeles*, covered what was then the extent of settlement. The plan called for the improvement of arterial streets for through traffic. These arterials were to be widened and, where necessary, relocated to eliminate intersections through which they did not directly connect. The plan realistically identified these arterials to be those streets that were already being heavily used for automobile traffic, and thereby made implementation of its recommendations more likely. The City accepted the plan and during the next six years carried out many of its recommendations.

The improved arterials resulting from these improvements were designated as locations for commerce through the City's zoning power. The first comprehensive zoning

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ordinance, drafted in 1925, accepted the common corridor or linear arrangement. Both thoroughfares with streetcar service, such as Santa Monica Boulevard and Vermont Avenue, and arterials without trolley lines, such as Beverly Boulevard, were classified "C-Zone – Commercial-Business Uses." This led to an abundance of commercially-zoned land that permitted the spread of linear neighborhood shopping districts along streets served by the automobile alone.

During much of the 1920s, the architecture of the older streetcar and the newer autodominated arterial corridors was essentially the same. The most common form of building for both was the storefront. It consisted of neutral commercial space to be rented. A storefront building provided a location for retail purposes that could change over time, with each tenant adapting the space to fit the needs of the merchandise through minor interior alterations and exterior signs. The neutral-space storefront building could be single- or multi-storied. Single-story buildings were typically called storefront blocks and consisted of rows of shops facing the street. Each storefront contained an entrance and a show window. Multi-storied buildings were known as business blocks and combined storefronts on the first floor with rental space above. This rental space generally consisted of offices for professionals such as physicians, dentists, and lawyers, although it could also contain apartments or meeting space.

The single-story storefront block was more common, although along some of the more heavily trafficked routes and at intersections the multi-story business block could be found. The single-story form was particularly popular along the newer arterial shopping streets that had no streetcar lines and depended exclusively upon the automobile. It could contain as few as two units, but many had around six units and a few as many as ten. The goal of the owner was to have a mix of tenants that would provide a steady income. Owners often used real estate brokers to find them. Ideally a drug or grocery store, often the outlet of a chain, would move in, as a means of attracting a steady flow of customers to make the rest of the spaces attractive. The neutral nature of the individual storefronts made them suitable for such a variety. Owners were willing to combine storefronts for tenants, such as chain grocery stores, which required larger spaces.

Construction after the First World War was almost universally of masonry. Brick and terra cotta were common, and employed in a pier-and-spandrel mode, which allowed for an open storefront. The style could be considered a sort of commercial vernacular, with the pier-and-spandrel structure providing a rhythm to the line of similar-sized storefronts. On to this were grafted ornamental details in a variety of styles. Inevitably, however, the signs of the merchants overwhelmed the architecture.

There were those buildings that, while working within the storefront and business block format, broke with the commercial vernacular. This was particularly the case in the newer, and often more prosperous, shopping districts which were dependent upon the automobile rather than the streetcar. More elegant forms and adventurous massing were employed. Early arterial commercial development along corridors such as Beverly Boulevard was in particular characterized by this development.

While the linear or corridor format continued to dominate, there were innovations. One such trend was the emergence of the neighborhood downtown or village. This was the concept of a distinct commercial district separate from nearby business corridors. In some cases it was a product of an area's earlier existence as a separate city that consolidated with Los Angeles. In others, it was a matter of local businessmen branding what was a somewhat isolated linear arrangement as a distinct entity.

The Triumph of the Automobile, 1945-1980

Widespread resumption of neighborhood commercial construction had to wait until the end of the Second World War in 1945. But the basis for it, the creation of the freeway system and the resulting opening of land for larger building plots, actually began before the war. The result, by the late 1940s, was the availability of ample space, particularly in the San Fernando Valley, to create new neighborhood commercial forms friendly to the automobile.

Significant for other parts of Los Angeles was the beginning of the freeway system. The Automobile Club of Southern California submitted a proposal for a network of expressways in the 1930s, and the idea was adopted by both the city and the state. By 1942 a segment of the Hollywood Freeway (U.S. 101), passing through the Cahuenga Pass, and the entire Arroyo Seco Parkway (California 110) to Pasadena had been completed. The two decades after the war, from 1943 to 1965, saw most of the original Auto Club plan carried out.

Sub-Theme: Streetcar Commercial Development, 1880-1934

The Streetcar Commercial Development sub-theme consists of buildings in a commercial corridor setting that are located along or near streetcar lines. 128 It includes

128 The following discussion has been excerpted and adapted from SurveyLA Los Angeles Historic Resources Survey, "Los Angeles Citywide Historic Context Statement: Context: Commercial Development, 1859-1980, Theme: Neighborhood Commercial Development, 1880-1980."

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individual buildings as well as historic districts. Their defining characteristic is their relationship to a specific mode of transportation, the streetcar.

The period of significance begins in 1880, when creation of a streetcar system began. It ends in 1934, by which time the streetcar had been replaced by the automobile as the most common mode of transportation. During its period of greatest popularity, from 1900 to 1930, Los Angeles had one of the most extensive streetcar networks of any city in the county. There are relatively few intact examples of streetcar-oriented neighborhood commercial architecture left, particularly in concentrations dense enough to qualify as districts.

Streetcar commercial development is most commonly characterized by a dense fabric of attached retail buildings, with storefronts placed directly on the sidewalk. The significant characteristic is this pedestrian orientation, with no accommodation for the automobile. The most important architectural feature is the storefront. It commonly contains a show window, with a recessed entrance placed either to the side or in the center and flanked by windows.

Making use of the storefront are a number of specific building types. They include the single-story storefront block, consisting of one or more storefronts, and the multi-story mixed-use building, consisting of a storefront or storefronts on the ground floor and offices, meeting space, or residential units above. Those containing offices or meeting spaces were commonly known as commercial or business blocks. Those with residential units, particularly single bay entities, were early versions of today's live/work buildings, with the upper floor often inhabited by the proprietor of the business below.

The commercial vernacular may have been the most common style during the 1920s, but both the storefront and the business block used other modes. Most popular was the Spanish Colonial Revival style. It was particularly useful for single-story storefront blocks. Multi-story business blocks often employed a more monumental Renaissance Revival style, similar to that used in the commercial structures being built in the Downtown business district during the 1920s. An example is the two-story Nicholas Priester Building from 1924. It is located on the northwest corner of Santa Monica Boulevard and Vermont Avenue in Hollywood, along the Santa Monica line of the Pacific Electric's local service. The Priester Building is an elegant essay in a restrained Renaissance Revival, with uniformly arched show windows on the first floor, cleanly cut rectangular windows on the second, and a delicately scaled bracketed cornice. Also during the 1920s, designers were experimenting with non-historicist forms, such as Art Deco.

11.3 Properties Not Associated With a Particular Historic Context

The building at 1638 North Cherokee Avenue (Site 2) was designed by William Dalziel and constructed in 1977. Its construction replaced an earlier building with the same footprint that had been erected in 1930.

Although the present building replaced an earlier structure on the same site that may have reflected relevant patterns of commercial development, the historical context for *this* building's development in its place in 1977 would, after nearly fifty years, naturally have differed from that of its predecessor. Given its relatively recent construction, the building at 1638 North Cherokee Avenue falls well outside the period of significance associated with any relevant historic context and theme related to commercial development, and does not allow for the building to possess historical associations with important patterns and trends in commercial development. In addition, research did not identify any other important historical associations with events, trends, or individuals, and the building is not architecturally distinguished such that it warrants examination under other historic contexts related to architectural qualities or merit in architectural design and/or craftsmanship.

For these reasons, the property at 1638 North Cherokee Avenue does not appear to be associated with a particular historic context and does not warrant evaluation as a potential individual historic resource. Therefore, the property does not meet the requirements for consideration as an individually eligible historical resource for the purposes of CEQA.

As previously outlined in Section 11, three properties within the boundary of the Project Site have not been previously evaluated for their eligibility as individual historic resources and require evaluation as part of this exercise in order to determine if the properties meet the requirements for consideration as individually eligible historical resources for the purposes of CEQA. These three properties are:

- 1641-1645 North Cherokee Avenue (Site 1)
- 1638 North Las Palmas Avenue (Site 2)
- 1642-1648 North Cherokee Avenue (Site 2)

As noted in Section 11.1, one relevant historic context has been identified for its association with the historical development of these properties. Historic contexts developed as part of SurveyLA not only identify contexts and themes within which a property may be significant, but also include *eligibility standards*, which are specific physical and associative characteristics a property must possess to convey its significance. SurveyLA historic context statements also include lists of *character-defining* or *associative features*, which are the physical and associative qualities a property must possess in order to be an important example of its type, ¹³⁰ and *integrity considerations*, which provide information regarding potential alterations to help guide decision-making regarding integrity aspects.

In the following section, eligibility standards, character-defining/associative features, and integrity considerations are presented for the evaluation of properties under the relevant context and theme, along with a list of properties evaluated under that context. Subsequent sections present evaluations of these three buildings for their potential significance under this context, and for their consequent ability to meet the requirements for consideration as individually eligible historical resources for the purposes of CEQA.

12.1 SurveyLA Eligibility Standards – Context: Commercial Development, 1859-1980; Theme: Streetcar Commercial Development, 1880-1934

The following context and theme have been identified as part of this study for their association with the history and development of three of the buildings present on the Project Site:

¹²⁹ SurveyLA Los Angeles Historic Resources Survey, "Field Survey Results Master Report."

¹³⁰ SurveyLA Los Angeles Historic Resources Survey, "Field Survey Results Master Report."

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- Context: Commercial Development, 1859-1980
 - o Sub-Context: (No Sub-Context)
 - Theme: Neighborhood Commercial Development, 1880-1980
 - □ Sub-Theme: Streetcar Commercial Development, 1880-1934

Properties evaluated under this context and theme include the following:

- 1641-1645 North Cherokee Avenue (Site 1)
- 1638 North Las Palmas Avenue (Site 2)
- 1642-1648 North Cherokee Avenue (Site 2)

Eligibility standards, character-defining/associative features, and integrity considerations for the Streetcar Commercial Development theme are discussed below.

Period of Significance

The period of significance begins in 1880, when creation of a streetcar system began. It ends in 1934, by which time the streetcar had been supplanted by the automobile as the most common mode of transportation.

Criteria

National Register: A/CCalifornia Register: 1/3

• Local: 1/3

Eligibility Standards

The Streetcar Commercial Development sub-theme includes the following eligibility standards:

- Was constructed/developed during the period of significance (1880-1934)
- Located on or within two city blocks of a historic streetcar route
- Represents an important example of a one-story, mixed use, or intact grouping (historic district) of commercial properties oriented to streetcar or interurban service
- Demonstrates a lack of designed automobile accommodations
- Contains design and site layout features that reflect trends in neighborhood commercial design and a pedestrian orientation as was typical of streetcardependent commercial development

Character-Defining/Associative Features

The following character-defining/associative features are also identified in the historic context statement:

- Retains most of the essential character defining features from the period of significance
- May accommodate one or multiple tenants
- Typically one to four stories in height
- Set to the sidewalk limit
- May be located on a prominent corner
- Lack of dedicated parking as part of the original design
- One or multiple storefronts which open directly to the sidewalk
- Storefronts with large display windows; may have awnings or arcades
- Associated with activities typical of neighborhood economic and social life

Integrity Considerations

- Should retain integrity of location, design, materials, feeling, and association
- Window and storefront openings remain intact
- Applied decoration is mostly intact: some decoration may be missing
- Relationship to sidewalk is maintained
- Setting may have changed (surrounding buildings and land uses)
- Original use may have changed
- Storefront signage may have changed

12.2 Evaluations of Eligibility

1641-1645 North Cherokee Avenue (Site 1) (APN #5547-014-009)

The building at 1641-1645 North Cherokee Avenue was constructed in 1922. No architect was identified as part of this investigation.

Although the building dates from the period of significance associated with the Streetcar Commercial Development historic context, the building has been substantially altered. Changes undertaken over time have included the infill of all storefronts and the conversion of the building from a commercial retail building to a restaurant. As a result, the building no longer reflects its historic origins as a commercial storefront building and does not retain sufficient integrity to convey any significance associated with this context. This investigation did not otherwise identify any associations with important historical events or trends that have made a significant contribution to social, historic, or cultural heritage at the national, state, or local level. Therefore, evidence does not suggest that the building possesses sufficient significance under Criterion A/1/1.

In addition, this investigation did not identify any associations with the lives of individuals or groups important to national, state, or local history to suggest that the building possesses sufficient significance under Criterion B/2/2. Further, as the building is not a distinctive example of a type, period, or method of construction, is not the work of a master architect or builder, and does not possess high artistic values, the building does not possess sufficient significance under Criterion C/3/3.

For the reasons noted above, the property at 1641-1645 North Cherokee Avenue is not eligible for listing as an individual historic resource in the National Register of Historic Places or the California Register of Historical Resources, or for local designation as a Los Angeles Historic-Cultural Monument. Therefore the property does not meet the requirements for consideration as an individually eligible historical resource for the purposes of CEQA.

1638 North Las Palmas Avenue (Site 1) (APN #5547-014-044)

This section evaluates the building at 1638 North Las Palmas Avenue under the Streetcar Commercial Development context.

The property at 1638 North Las Palmas Avenue is currently improved with two principal buildings: a commercial building fronting North Las Palmas Avenue, which is located in the western portion of the lot, and a residence, which is situated to the rear of the commercial building and located in the central portion of the lot. The commercial building was constructed in 1925. No architect was identified as part of this investigation. The residence is not visible from the public right-of-way and could not be accessed at the time of this writing; as a result, the residence was not evaluated as part of this exercise; the evaluation below is limited to the commercial building fronting North Las Palmas Avenue.

Although the building dates from the period of significance associated with the Streetcar Commercial Development historic context, the building has been altered such that it no longer represents a meaningful example of streetcar commercial development in Hollywood. While the building exhibits some basic character-defining features of the property type, including its one-story height, zero setback, and lack of dedicated parking, subsequent alterations have enclosed the building's storefronts and reoriented commercial activity to the interior of the lot. These alterations have diminished the building's ability to convey its original pedestrian orientation, one of the most essential elements of streetcar commercial design and development. As a result, the building no longer reflects its historic origins as a commercial storefront building and does not retain sufficient integrity to convey any significance associated with the Streetcar Commercial Development context.

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In addition, this investigation did not identify any associations with the lives of individuals or groups important to national, state, or local history to suggest that the building possesses sufficient significance under Criterion B/2/2. Further, as the building is not a distinctive example of a type, period, or method of construction, is not the work of a master architect or builder, and does not possess high artistic values, the building does not possess sufficient significance under Criterion C/3/3.

For the reasons noted above, the property at 1638 North Las Palmas Avenue does not appear eligible for listing as an individual historic resource in the National Register of Historic Places or the California Register of Historical Resources, or for local designation as a Los Angeles Historic-Cultural Monument. Therefore the property does not meet the requirements for consideration as an individually eligible historical resource for the purposes of CEQA.

1642-1648 North Cherokee Avenue (Site 2) (APN #5547-015-026)

The building at 1642-1648 North Cherokee Avenue was designed by Gordon B. Kaufmann and constructed in 1929. Although the building dates from the period of significance associated with the Streetcar Commercial Development historic context, the building has been altered such that it no longer represents a meaningful or important example of commercial development in Hollywood. Although the building has retained its original plan and form, all of the storefronts have been replaced with contemporary materials, and little physical evidence remains to convey the building's historical association with streetcar commercial development. As a result, the building does not appear significant under Criterion A/1/1 for under the Streetcar Commercial Development context.

In addition, this investigation did not identify any associations with the lives of individuals or groups important to national, state, or local history to suggest that the building possesses sufficient significance under Criterion B/2/2.

Further, as noted above the building is not a distinctive example of a type, period, or method of construction, and does not possess high artistic values, the building does not possess sufficient significance under Criterion C/3/3. Although Gordon B. Kaufmann was clearly a skilled architect who worked frequently in Los Angeles and has been previously recognized as a master practitioner, the National Park Service emphasizes that a property is not eligible simply because it was designed by a prominent architect; rather, the building must express a particular phase, aspect, idea, or theme in his or her

craft.¹³¹ The building at 1642-1648 North Cherokee Avenue represents a modest one-story commercial building that was designed as an ancillary structure to compliment the neighboring Cherokee Building to the north. It is not representative of the most distinctive and imposing buildings conceived during the most productive or recognized period of Kaufmann's career, and does not exemplify the architectural merit that has been recognized through the previous designation of other examples of Kaufmann's work. Further, the building does not represent a distinctive example of a type, period, or method of construction, and does not possess high artistic values. As a result, the building does not possess sufficient significance under Criterion C/3/3.

For the reasons noted above, the property at 1642-1648 North Cherokee Avenue does not appear eligible for listing as an individual historic resource in the National Register of Historic Places or the California Register of Historical Resources, or for local designation as a Los Angeles Historic-Cultural Monument. Therefore the property does not meet the requirements for consideration as an individually eligible historical resource for the purposes of CEQA.

12.3 Summary of Evaluations

Based on visual observation of the subject properties, review of primary and secondary sources, and an analysis of the eligibility criteria for listing in the National Register of Historic Places and the California Register of Historical Resources as well the criteria for local designation as a Los Angeles Historic-Cultural Monument, HRG has assessed the four buildings within the Project Site that have not been previously evaluated and has made the following determination:

These four buildings do not appear to be associated with important historical events, trends, or individuals; do not embody the distinctive characteristics of a particular building type or architectural style; and do not reflect the work of a master architect. For these reasons, these buildings do not appear to be eligible as individual historic resources. Therefore, they do not meet the requirements for consideration as individually eligible historical resources for the purposes of CEQA. A summary of these evaluations is provided in the following Table 6.

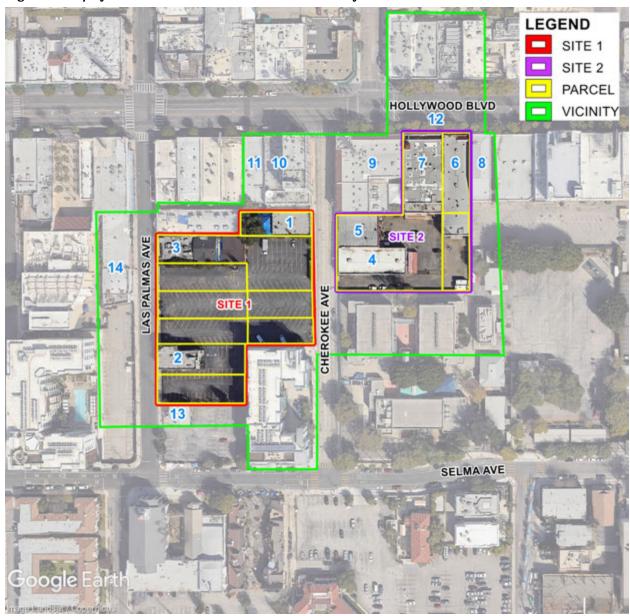
¹³¹ National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation.

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MAP KEY NO.	LOCATION	APN	BUILDING NAME AND/OR ADDRESS	YEAR BUILT	HISTORICAL RESOURCE STATUS
1	Site 1	5547-014-009	1641-1645 North Cherokee Avenue	1922	Appears ineligible for designation as a historic resource. Not considered a historical resource under CEQA.
2	Site 1	5547-014-024	Redwine Building 1618 North Las Palmas Avenue	1931	Los Angeles Historic-Cultural Monument No. 1114. Considered a historical resource under CEQA.
3	Site 1	5547-014-044	1638 North Las Palmas Avenue	1925	Appears ineligible for designation as a historic resource. Not considered a historical resource under CEQA.
4	Site 2	5547-015-026	1638 North Cherokee Avenue	1977	Appears ineligible for designation as a historic resource. Not considered a historical resource under CEQA.
5	Site 2	5547-015-026	1642-1648 North Cherokee Avenue	1929	Appears ineligible for designation as a historic resource. Not considered a historical resource under CEQA.
6	Site 2	5547-015-001 5547-015-004	The Orient 6626-6628 Hollywood Boulevard	1927	Hollywood Boulevard Commercial and Entertainment District Non-Contributor No. 75. The District is considered a historical resource under CEQA.
7	Site 2	5547-015-026	Cherokee Building Addition 6630-6636 Hollywood Boulevard	1927	Hollywood Boulevard Commercial and Entertainment District Contributor No. 74. The District is considered a historical resource under CEQA.
8	Vicinity	5547-015-028	6622-6624½ Hollywood Boulevard	1917	Hollywood Boulevard Commercial and Entertainment District Non-Contributor No. 76. The District is considered a historical resource under CEQA.

MAP KEY NO.	LOCATION	APN	BUILDING NAME AND/OR ADDRESS	YEAR BUILT	HISTORICAL RESOURCE STATUS
9	Vicinity	5547-015-031	Cherokee Building 6638-6648½ Hollywood Boulevard	1927	Hollywood Boulevard Commercial and Entertainment District Contributor No. 73. The District is considered a historical resource under CEQA.
10	Vicinity	5547-014-010	Shane Building 6650-6656 Hollywood Boulevard	1929	Hollywood Boulevard Commercial and Entertainment District Contributor No. 72. The District is considered a historical resource under CEQA.
11	Vicinity	5547-014-011	6658-6660 Hollywood Boulevard	1913	Hollywood Boulevard Commercial and Entertainment District Non-Contributor No. 71. The District is considered a historical resource under CEQA.
12	Vicinity	Multiple	Hollywood Walk of Fame Hollywood Boulevard between Gower Street and La Brea Avenue and Vine Street between Sunset Boulevard and Yucca Street	1960- present	Los Angeles Historic-Cultural Monument No. 194. Considered a historical resource under CEQA.
13	Vicinity	5547-014-027	1608 North Las Palmas Avenue	1916	Assigned a status code of QQQ (may be eligible; additional research needed) during survey. Treated as a historical resource under CEQA.
14	Vicinity	5547-014-042	1625-1647 North Las Palmas Avenue	1923 (1637- 1647); 1936 (1625- 1635)	Assigned status codes of 3CS (appears eligible for the California Register as an individual property through survey evaluation) 5S3 (appears to be individually eligible for local listing or designation through SurveyLA or other survey evaluation) during survey. Treated as a historical resource under CEQA.

Figure 5: Map of Historical Resources Relevant to the Project Site



The proposed Project would develop a mixed-use commercial and residential project across Sites 1 and 2. As proposed, the Project includes the demolition of three existing buildings; the retention of four additional existing buildings, two of which will be partially demolished at the rear of those buildings; and the construction of four new buildings. Potential impacts to historic resources arising from development activity associated with the proposed Project are discussed in the following sections.

13.1 Significance Thresholds

The analyses discussed in the sections below are informed by National, State, and local guidelines.

Thresholds of Significance

According to Appendix G, Environmental Checklist Form of the 2022 CEQA Statute & Guidelines, cultural resource impacts resulting from the implementation of the proposed project would be considered significant if a project would:

• Cause a substantial adverse change in the significance of a historical resource defined in the 2022 CEQA Statute & Guidelines, section 15064.5.133

CEQA Thresholds

The 2022 CEQA Statute & Guidelines indicate that a project would normally have a significant impact on historical resources if it would result in a substantial adverse change in the significance of a historical resource. A substantial adverse change in significance occurs if the project involves "physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired." ¹³⁴

The Guidelines go on to state that "[t]he significance of an historic resource is materially impaired when a project... [d]emolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of

¹³² A detailed project description is included in Section 3.0. A copy of the project description as submitted is included in the appendices.

¹³³ CEQA Statute & Guidelines, Appendix G.

¹³⁴ CEQA Statute & Guidelines, section 15064.5(b).

Historical Resources... local register of historic resources... or its identification in a historic resources survey." 135

13.2 Scope of Construction Activity

In order to determine whether potential impacts exist to historical resources in the vicinity, HRG conducted a review of Project materials furnished by the Applicant. These materials included a description of the Project, which is excerpted in Section 3.0 of this report, and plans for the development of Sites 1 and 2, which are depicted in the preceding Figures 2 and 3. The project description as submitted and full sets of plans for both Sites 1 and 2 are included in the appendices of this report. Specific plan sheets relevant to each analysis are noted where applicable. The discussion below is intended to place each element of construction activity associated with the proposed Project within a specific spatial and geographical context, in order to understand how proposed construction activity may impact surrounding historical resources. Those buildings situated within the boundary of the Project Site are distinguished by a site location noted in parentheses, while buildings in the vicinity of the Project Site are noted by their address only.

Proposed Demolition

The Project proposes to demolish three buildings across Sites 1 and 2. None of these buildings are considered historical resources under CEQA. These buildings include:

- 1. The building at 1641-1645 North Cherokee Avenue (Site 1), which is located at the northeastern corner of the Site 1, immediately to the south of the building at the Shane Building at 6650-6656 Hollywood Boulevard;
- 2. The building at 1638 North Cherokee Avenue (Site 2), which is situated along the western boundary of the southern portion of Site 2, immediately to the south of the building at 1642-1648 North Cherokee Avenue (Site 2); and
- 3. The building at 1642-1648 North Cherokee Avenue (Site 2), which is situated along the western boundary of the southern portion of Site 2, immediately to the south of the Cherokee Building at 6638-6648½ Hollywood Boulevard.

135 CEQA Statute & Guidelines, section 15064.5(b)(2).

Proposed Retention and Alteration

The Project also proposes to retain four buildings across Sites 1 and 2. Two of the buildings are considered to be historical resources under CEQA. These buildings include:

- 1. The building at 1618 North Las Palmas Avenue (Site 1), which is situated along the western boundary of Site 1, will be retained as part of the Project and will continue to operate as a commercial office building. The building will be retained intact and no aspect of the building will be altered as part of the Project.
- 2. The Cherokee Building Addition at 6630-6636 Hollywood Boulevard (Site 2), is located at the northern edge of Site 2, immediately to the west of the building at 6626-6628 Hollywood Boulevard (Site 2) and immediately to the east of the Cherokee Building at 6638-6648½ Hollywood Boulevard. The Project proposes to convert the existing commercial retail building into a restaurant. As part of this effort, the Project would demolish the rear portion (18'10" in depth) of the building to accommodate interior alterations as well as the construction of a new outdoor dining patio. Interiors will also be remodeled to accommodate new restaurant operations. However, a substantial majority of the building envelope will remain, and the building's primary (north) façade fronting Hollywood Boulevard will be retained as-is and will not be subject to alterations as part of the Project.

Proposed New Construction

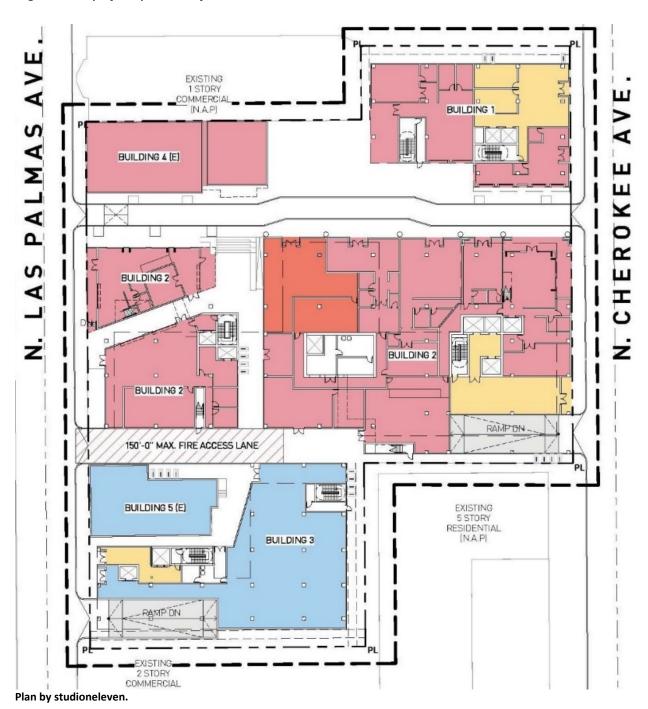
The Project also proposes to construct four new additional buildings across Sites 1 and 2. These new buildings include:

- 1. Building 1 (Site 1) will be located at the northeastern corner of Site 1, immediately to the south of those buildings at 6650-6656 Hollywood Boulevard (Shane Building) and 6658-6660 Hollywood Boulevard. It will be seven stories, or 94 feet, in height.
- 2. Building 2 (Site 1) will occupy the central portion of Site 1, and will be situated immediately to the south of the building at 1638 North Las Palmas Avenue (Site 1) and immediately to the north of 1618 North Las Palmas Avenue (Redwine Building, Site 1). It will be fifteen stories, or 182 feet, in height.
- 3. Building 3 (Site 1) will be located in the southern portion of Site 1, immediately to the east and south of the building at 1618 North Las Palmas Avenue (Redwine Building, Site 1), and immediately to the north of the building at 1608 North Las Palmas Avenue. It will be seven stories, or 77 feet, in height.

4. Building 6 (Site 2) will be located in the southern portion of Site 2, immediately to the south of the buildings at 6626-6628 Hollywood Boulevard (Site 2), 6630-6636 Hollywood Boulevard (Cherokee Building Addition, Site 2), and 6638-6648½ Hollywood Boulevard (Cherokee Building). It will be thirteen stories, or 154 feet, in height.

The Project also proposes to construct new subterranean parking garages on both Site 1 and Site 2.

- 1. The Site 1 parking garage will be situated under Buildings 1, 2, and 3 and will be three levels in depth with 336 parking spaces.
- 2. The Site 2 parking garage will be situated directly under Building 6 and will be two levels in depth with 108 parking spaces.





13.3 Potential Impacts to Historical Resources Within the Project Site

This investigation identified two buildings within the boundaries of the Project Site that are either listed as an individual historic resource or may be eligible for listing as an individual historic resource. These are:

- 1. The Redwine Building at 1618 North Las Palmas Avenue (Site 1), which is designated as Los Angeles Historic-Cultural Monument No. 1114; and
- The Cherokee Building Addition at 6630-6636 Hollywood Boulevard (Site 2), which is listed in the National Register as a Contributor to the Hollywood Boulevard Commercial and Entertainment District.

Potential impacts to these buildings resulting from development activity associated with the proposed Project are discussed in detail below. Building numbers for each building as identified on the Project plans are included in parentheses.

Potential Impacts to the Redwine Building – 1618 North Las Palmas Avenue (Site 1, Building 5) (APN #5547-014-024)

The property at 1618 North Las Palmas Avenue is designated as Los Angeles Historic-Cultural Monument No. 1114.

The Redwine Building at 1618 North Las Palmas Avenue is located at the western edge of Site 1 of the Project Site. 136 The Project proposes to retain the building and maintain its current function and use as a commercial office building.

The Project does not include the demolition, relocation, rehabilitation, alteration, or conversion of the Redwine Building. The building will remain unchanged and in its original location after implementation of the Project, and will continue to retain the character-defining features that convey its significance as an Art Deco office building. The building's interior will also remain intact and will not be altered as part of the Project.

As proposed, the Project would retain the Redwine Building without alteration but will construct two new buildings and a new subterranean parking garage in the vicinity. Building 2 will occupy the central portion of Site 1, and will be situated immediately to the north of the Redwine Building. Building 2 will be fifteen stories, or 182 feet, in height. Building 2 will be separated from the Redwine Building to the south by a 20'6"-

¹³⁶ Materials furnished to HRG by the Applicant to facilitate the review of Site 1 are included in the appendices. Relevant drawings include those included on sheets A1.01, A1.02, A1.03, A2.04, A2.05, A3.01, and A3.06.

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wide fire lane. Building 3 will be located in the southern portion of Site 1, immediately to the east and south of the Redwine Building. Building 3 will be seven stories, or 77 feet, in height. Building 3 will be separated from the Redwine Building to the north and west by a 5'10"-wide alley to the north, and a 19'1"-wide alley to the west. In addition, a subterranean parking garage will be constructed under Buildings 1, 2, and 3 on Site 1. The parking garage will be three levels in depth with 336 parking spaces. At fifteen and seven stories in height, respectively, Buildings 2 and 3 will both be substantially taller than the Redwine Building. However, Building 2, the taller of the two buildings, is designed with a modest setback and stepped-back massing above the ground level, which help to maintain the visual presence of the Redwine Building.

The Redwine Building is significant as an excellent example of Art Deco commercial architecture as designed by noted architect Richard D. King. It retains important character-defining features that convey its historic identity as an Art Deco office building, including the building's two-story tower with stepped pyramidal roof and flagpole, asymmetrically composed façades, groups of recessed windows framed by monolithic vertical piers, molded door and window surrounds, and decorative molded transom panels. As such, the building's architectural significance makes it essential that important views showcasing its form and design details be maintained so that the distinctive architectural design of the building continues to be visible and understood. As only the primary (west) façade is articulated, it is the only façade that conveys the building's significant Art Deco design. Therefore, the most important view of the building is the view looking east from North Las Palmas Avenue toward the west façade. Buildings 2 and 3 would be constructed to the north and south of the Redwine Building, respectively, and therefore would not obscure the important view of the building looking east from North Las Palmas Avenue.

Although the Project would not obscure important views of the Redwine Building, the Project has the potential to result in other impacts associated with construction. New construction would include substantial foundation work and the construction of subterranean parking. As analyzed in more detail in a noise and vibration technical study prepared by Meridian Consultants, there is potential for these activities to cause damage to the Redwine Building due to vibration given the building's close proximity to construction activity at the Project Site. As is common in similar urban development sites, mitigation is required to prevent vibration damage to adjacent structures. Although steps would be taken during construction to help ensure vibration related damage does not occur, if such damage were to occur and to result in structural damage, based on industry practice and knowledge of construction activities in similar settings, such damage would likely be surficial and repairable. Nonetheless, the potential for damage to this historical resource due to construction related vibration is considered a significant

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impact, therefore a mitigation measure is proposed in the following Section 14.0. With implementation of this mitigation measure, impacts to the Redwine Building would be less than significant.

As previously noted in Section 6.6, historic integrity is the ability of a property to convey its historic significance through the retention of essential physical features that date from the building's period of significance and communicate the building's historic character and identity. While it is not necessary for a property to retain all seven aspects of integrity, or indeed, "all its historic physical features or characteristics," ¹⁹⁷ the National Park Service notes that the property must retain "the essential physical features that enable it to convey its historic identity. The essential physical features are those features that define both why a property is significant and when it was significant." ¹³⁸

As proposed, the Project would not demolish, relocate, convert, rehabilitate, or physically alter any aspect of the Redwine Building at 1618 North Las Palmas Avenue, nor would the Project destroy historic materials, features, or spatial relationships that characterize the building. Consequently, as explained below, the Project would not affect the integrity of *location*, *design*, *materials*, *workmanship*, *feeling*, or *association* of the Redwine Building.

- The building would remain intact in its original location and would therefore retain integrity of *location*.
- The essential physical features reflecting the building's original design, including the building's original plan, form, and massing, would remain intact, and therefore the building would continue to retain integrity of *design*.
- The building would also continue to retain all of the character-defining features
 associated with its original construction, including its original method of
 construction, roof, cladding, and fenestration. As the building is largely intact and
 retains a majority of these original construction materials, it would continue to
 retain integrity of materials.
- The building would continue to retain the physical evidence of period construction techniques, including original finishes and design elements that

¹³⁷ National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation.

¹³⁸ National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation.

- reflect the character and identity of the building as an Art Deco office building, and would therefore retain integrity of *workmanship*.
- As the building would continue to retain a majority of the character-defining features associated with its original construction, it would continue to convey the original aesthetic and historic sense of the building as an Art Deco office building. Therefore, the building would continue to retain integrity of feeling.
- Because the building would retain integrity of *location, design, materials,* workmanship, and *feeling*, it would continue to convey its historic character and
 identity as an Art Deco office building designed by Richard D. King. Therefore,
 integrity of *association* would also remain unaffected by the Project.

The only aspect of integrity that could potentially be affected by the Project is integrity of setting. Integrity of setting would be altered by the Project through the construction of new buildings that were not extant during the period of significance associated with the Redwine Building. Constructing these new buildings in the surrounding area will result in changes to the spatial relationships in the place where the Redwine Building played its historical role and add considerable height and mass to an area currently improved largely with surface parking. However, in this case, the building's larger setting has evolved since the building's initial construction in 1931 and does not currently reflect the original historic development condition. Although one other building in the vicinity - the building at 1638 North Las Palmas Avenue, which was constructed in 1925 – remains extant today, the majority of the surrounding parcels were initially improved around this time with single-family and multiple-family residential properties that were later removed, and the parcels were subsequently paved for use as surface parking lots in the 1960s. Furthermore, as the Redwine Building is significant as an example of Art Deco commercial architecture, the building's larger setting is not critical to understanding its own historical importance as an example of a particular style. Consequently, the only relevant setting features that convey the Redwine Building's historic character and identity and remain extant today are those setting features, qualities, and spatial relationships that are largely contained within the parcel in addition to the configuration of street and sidewalk fronting the building's primary (east) façade along North Las Palmas Avenue. As proposed, the Project would not alter these important setting features. Therefore, while the integrity of the building's larger setting will be altered, its most important setting features would be retained. Further, the loss of setting in and of itself would not materially impair the building's ability to convey its historic significance and identity as an Art Deco commercial office building.

In addition, according to National Park Service guidance, "to retain historic integrity a property will always possess several, and usually most, of the [seven] aspects" of

integrity." ¹³⁹ After the Project is constructed, only integrity of *setting* would have been altered by the Project, and the building will continue to retain the other six aspects of integrity: *location, design, materials, workmanship, feeling,* and *association*. Therefore, the building will continue to retain a majority of the aspects of integrity.

As all but one of the relevant aspects of integrity will be unaffected by the Project, the historic integrity of 1618 North Las Palmas Avenue will be retained. While the Project would alter the larger setting of the building at 1618 North Las Palmas Avenue, the construction of Building 2 and Building 3 will not materially impair the building such that it can no longer convey its historic significance.

After construction of the Project, the building will remain intact and will continue to convey its historic significance, and the building's designation as a Los Angeles Historic-Cultural Monument would not be threatened. With mitigation, the Project will not result in adverse impacts to the building at 1618 North Las Palmas Avenue such that the building would no longer convey its historic significance, and impacts would not rise to a significant level as defined by CEQA.

<u>Potential Impacts to the Cherokee Building Addition – 6630-6636 Hollywood Boulevard (Site 2, Building 7, Restaurant 4) (APN #5547-015-026)</u>

The property at 6630-6636 Hollywood Boulevard is previously designated as Hollywood Boulevard Commercial and Entertainment District Contributor No. 74.

The Cherokee Building Addition at 6630-6636 Hollywood Boulevard is located at the northern edge of Site 2, immediately to the west of the building at 6626-6628 Hollywood Boulevard. The Project proposes to convert the existing commercial retail building into a restaurant. As part of this effort, the Project would demolish the rear portion of the building to accommodate the construction of a new outdoor dining patio. Interiors will also be remodeled to accommodate new restaurant operations in the existing retail storefronts. Proposed alterations include the following:

- Demolition of a 18'10"-deep portion of the building represented by a secondary rear volume at the rear (south) façade
- Addition of a new rear (south) façade and associated new secondary building entrance

¹³⁹ National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation.

¹⁴⁰ Materials furnished to HRG by the Applicant to facilitate the review of Site 2 are included in the appendices. Relevant drawings include those included on sheets A1.01, A1.02, A1.03, A1.04, A1.05, A1.06, A1.07, A2.02, A2.03, A2.04, A3.01, and A3.03.

- Removal of existing interior partitions; four existing commercial storefront spaces fronting Hollywood Boulevard to be combined¹⁴¹
- Addition of new interior partitions

As proposed, the Project includes a number of alterations to the existing Cherokee Building Addition at 6630-6636 Hollywood Boulevard; namely, a 18'10"-deep portion of the building consisting of a secondary rear volume would be removed to accommodate the construction of a new outdoor dining patio at the rear of the building. This portion represents eighteen feet, or approximately thirteen percent, of the linear depth of the overall building. The extent of this demolition is depicted in Figures 8 and 9 on the following pages.

BUILDING 7

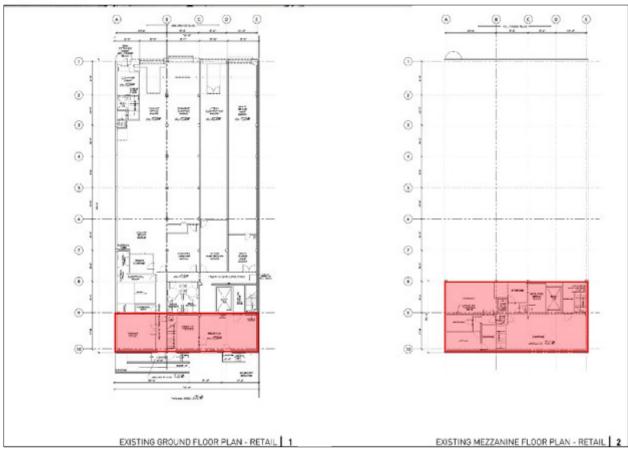
Figure 8: Location of Demolition, 6630-6636 Hollywood Boulevard (Building 7)

Plan by studioneleven. The area highlighted in red indicates the extent of demolition.

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¹⁴¹ Alterations associated with the conversion of the four commercial storefronts to a single food and beverage operation is not explicitly noted on plans provided by the Client, but can be inferred from the depiction of a single space presently occupied by four retail units.

Figure 9: Demolition Floor Plan, 6630-6636 Hollywood Boulevard (Building 7)



Plan by studioneleven. The area highlighted in red indicates the extent of demolition.

Following the removal of the building's original rear (south) façade, a new rear façade will be erected with an open storefront to connect the adjacent dining patio with the building's indoor restaurant operations. The new rear façade will be finished in brick masonry veneer with metal windows.

The proposed Project would confine exterior alterations to the rear (south) façade of the building, where a new secondary entrance would be established as part of the

construction of the new rear (south) facade. ¹⁴² A majority of the building envelope would remain following the demolition of the rear volume. Most importantly, the building's primary (north) façade fronting Hollywood Boulevard will be retained as-is and will not be subject to alterations as part of the Project, and none of the building's primary entrances will be enclosed, reoriented, or relocated. Although interior retail spaces will be combined, original storefront openings will remain unchanged and will continue to serve as primary entrances to the building. In addition, the building's primary pedestrian entrance at the northwest corner, which leads to the building's second-floor offices, will remain intact and retain its current function and use.

The National Park Service provides guidance for undertaking alterations to rear façades, stating that:

While there is usually little doubt whether the primary elevation is significant, it may be more difficult to determine when rear or secondary elevations are also important. Generally, a secondary elevation is likely to be significant if it exhibits detailing, shape or form that helps to define the building type and its historic character. In this case, alterations to a secondary façade, especially if it is highly visible, must be compatible with the building's historic character.¹⁴³

As evidenced below, the rear façade of the Cherokee Building Addition at 6630-6636 Hollywood Boulevard is unadorned and utilitarian in nature. It does not exhibit a particular type of detailing, shape, or form that helps to convey the historic character and identity of the building as a pre-World War II commercial building that contributes to the significance of the Hollywood Boulevard Commercial and Entertainment District. Indeed, the rear façade at the Cherokee Building Addition exhibits the utilitarian nature of the back-of-house activities conducted by nearly any commercial operation and is more reflective of the siting and building type as a whole than any particular association. Its design is not unique to activities conducted at the Cherokee Building Addition and does not depict character-defining features that are specific to the building's historic

¹⁴² Finishing of the new rear façade is to be determined by the client. Details related to materials, finishes, and fixtures were not available for review by HRG at the time of this writing and were not assessed for compatibility with existing historic fabric as part of this analysis.

¹⁴³ U. S. Department of the Interior, National Park Service, *ITS Number 33: Interpreting The Secretary of the Interior's Standards for Rehabilitation, Subject: Alterations to Rear Elevations*, Technical Preservation Services, National Center for Cultural Resources, July 2005, https://www.nps.gov/tps/standards/applying-rehabilitation/its-bulletins/ITS33-RearElevation-Alterations.pdf (accessed March 2022).

significance and identity as a as a pre-World War II commercial building that contributes to the significance of the District.



Rear (south) façade, 6630-6636 Hollywood Boulevard, view looking north.

Further, as a contributor to the Hollywood Boulevard Commercial and Entertainment District, the Cherokee Building Addition is not considered individually significant and does not represent an individual historic resource, though its historic qualities contribute to the character and identity of the larger historic district as a whole. The rear façade constitutes only a portion of one contributing building within a larger district, and its removal will not diminish the building's integrity such that it no longer conveys its significance as a contributor to the historic district. Further, this work will not result in a reduction in the total number of contributing resources in the District. The Hollywood Boulevard Commercial and Entertainment District will continue to retain sufficient integrity to convey its overall historic significance and will maintain its eligibility for designation as a historic district.

As proposed, the Project will also construct one new building and a new subterranean parking garage in the vicinity of the Cherokee Building Addition. Building 6 on Site 2

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will be situated to the south of the Cherokee Building Addition and separated from the site by an outdoor dining patio. Building 6 will be thirteen stories, or 154 feet, in height. In addition, a subterranean parking garage will be constructed on Site 2 under Building 6. The parking garage will be two levels in depth with 108 parking spaces.

The Cherokee Building Addition is significant under Criterion A/1/1 and C/3/3 as an example of a pre-World War II commercial building that contributes to the significance of the Hollywood Boulevard Commercial and Entertainment District. As such, the building's architectural and cultural significance makes it essential that important views showcasing its siting on Hollywood Boulevard, form, and design be maintained so that its important relationship to the Hollywood Boulevard commercial corridor continues to be visible and understood. The most important view is the view looking south from Hollywood Boulevard toward the building's primary (north) façade, which fronts Hollywood Boulevard. Building 6 will be located to the rear (south) of the Cherokee Building Addition, and will not obscure the view of the building's storefront from Hollywood Boulevard.

Although for the reasons described above, impacts to the Cherokee Building Addition associated with the design of new construction and maintaining visual access are considered less than significant, the Project has the potential to result in other impacts. New construction would include substantial foundation work and the construction of subterranean parking. As analyzed in more detail in a noise and vibration technical study prepared by Meridian Consultants, there is potential for these activities to cause damage to the Cherokee Building Addition due to vibration given the building's close proximity to construction activity at the Project Site. As is common in similar urban development sites, mitigation is required to prevent vibration damage to adjacent structures. Although steps would be taken during construction to help ensure vibration related damage does not occur, if such damage were to occur and to result in structural damage, based on industry practice and knowledge of construction activities in similar settings, such damage would likely be surficial and repairable. Nonetheless, the potential for damage to this historical resource due to construction related vibration is considered a significant impact, therefore a mitigation measure is proposed in the following Section 14.0. With implementation of this mitigation measure, impacts to the Cherokee Building Addition would be less than significant.

As proposed, the Project would not demolish, relocate, convert, rehabilitate, or physically alter any aspect of the Cherokee Building Addition such that it can no longer convey its historic significance and identity as a contributor to the Hollywood Boulevard Commercial and Entertainment District. The Project would not destroy historic materials, features, or spatial relationships that characterize the Cherokee Building

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Addition and contribute to the historic character and identity of the larger Hollywood Boulevard Commercial and Entertainment District as a whole. Consequently, as explained below, the Project would not affect the integrity of *location, materials, workmanship, feeling,* or *association* of the Cherokee Building Addition.

- The building would remain intact in its original location and would therefore retain integrity of *location*.
- The building would also continue to retain a majority of the character-defining features associated with its current existing condition, including its concrete and brick masonry construction, clay tile roof, smooth cement plaster cladding, and marble tiled entrance set in a geometric pattern. The building would therefore continue to retain integrity of *materials*.
- The building would continue to retain the physical evidence of period construction techniques, including original design elements that reflect the character and identity of the building as a pre-World War II commercial building, such as the building's concrete and brick masonry construction finished in smooth cement plaster, flat roof with gabled parapet with clay tile coping and a penthouse, and molded decorative band course, sill course, and medallions. The building would therefore retain integrity of workmanship.
- As the building would continue to retain a majority of the character-defining
 features associated with its original construction, it would continue to convey
 the original aesthetic and historic sense of the building as a pre-World War II
 commercial building in Hollywood. Therefore, the building would continue to
 retain integrity of feeling.
- Because the building would retain integrity of *location, design, materials,* workmanship, and *feeling*, it would continue to convey its historic character and
 identity as a pre-World War II commercial building in Hollywood. Therefore,
 integrity of *association* would also remain unaffected by the Project.

Only two aspects of integrity may be potentially affected by the Project: integrity of *design* and integrity of *setting*.

Integrity of *design* will be affected by the Project due to the removal of the rear portion of the building, which represents a portion of the building's original footprint. However, the rear façade is utilitarian in character and does not exhibit character-defining features that convey the building's aesthetic sense. Further, the portion to be demolished represents only a small portion of the building's original volume, and the majority of the building envelope representing its original plan, form, and massing would remain intact.

The building would continue to retain a number of character-defining features related to its original design, including its two-story height, asymmetrical façade composition with four ground-floor storefronts organized in two pairs, arched storefront transoms, recessed pedestrian entrance, and recessed window openings at the second floor.

Integrity of setting would be altered by the Project through the construction of new buildings that were not extant during the period of significance associated with the Cherokee Building Addition at 6630-6636 Hollywood Boulevard. Constructing these new buildings in the surrounding area will result in changes to the spatial relationships in the place where the Cherokee Building Addition played its historical role and add considerable height and mass to an area currently improved largely with surface parking. However, in this case, the larger setting is not critical to understanding the historical importance of the Cherokee Building Addition as a contributor to the larger Hollywood Boulevard Commercial and Entertainment District, nor is the larger setting critical to understanding the importance of the District as a whole as an example of a pre-World War II commercial corridor. Setting features important to the Hollywood Boulevard Commercial and Entertainment District are largely contained within its boundaries and experienced from inside the District. These include the configuration of streets and sidewalks fronting District buildings, the pattern of tightly-spaced buildings defining a linear commercial corridor, and the public circulation element delineated by a uniform building street wall. Therefore, while the larger setting of both the Cherokee Building Addition and the Hollywood Commercial and Entertainment District will be altered, the loss of setting in and of itself would not materially impair the District's ability as a whole to convey its historic significance and identity.

In addition, according to National Park Service guidance, "to retain historic integrity a property will always possess several, and usually most, of the [seven] aspects" of integrity." ¹⁴⁴ After the Project is constructed, only integrity of *design* and integrity of *setting* would have been altered by the Project, and the building will continue to retain five of the seven aspects of integrity: *location, materials, workmanship, feeling,* and *association*. Therefore, the building will continue to retain a majority of the aspects of integrity.

As all but two of the relevant aspects of integrity will be unaffected by the Project, the historic integrity of the Cherokee Building Addition at 6630-6636 Hollywood Boulevard will be retained. While the Project would alter the design and setting of the

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building at 6630-6636 Hollywood Boulevard, alterations to the rear of the building will not materially impair the building such that it can no longer convey its historic significance as a contributor to the District.

After construction of the Project, building's character-defining features will be retained, and the building will continue to convey its historic significance and identity as a contributor to the Hollywood Boulevard Commercial and Entertainment District. The District and its component contributing buildings will remain intact and will continue to convey their historic significance, and the District's listing in the National Register would not be threatened. With mitigation, the Project will not result in adverse impacts to the District such that it would no longer convey its historic significance, and impacts would not rise to a significant level as defined by CEQA.

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13.4 Potential Impacts to Historical Resources in the Vicinity of the Project Site

As previously noted in Section 7.5, this investigation identified five buildings in the vicinity of the Project Site that are currently considered to be historical resources under CEQA. They are:

- 1. The Cherokee Building at 6638-6648½ Hollywood Boulevard, which is designated as Contributor No. 73 to the Hollywood Boulevard Commercial and Entertainment District;
- 2. **The Shane Building at 6650-6656 Hollywood Boulevard**, which is designated as Contributor No. 72 to the Hollywood Boulevard Commercial and Entertainment District;
- 3. **The Hollywood Walk of Fame**, which is designated as Los Angeles Historic-Cultural Monument No. 194;
- 4. 1608 North Las Palmas Avenue, which was assigned a status code of QQQ, or "may be eligible; additional research needed," as part of the CRA/LA survey of the Hollywood RPA in 2020;¹⁴⁵ and
- 5. **1625-1647 North Las Palmas Avenue**, which was surveyed as part of SurveyLA in 2020 and assigned status codes of 3CS, or "appears eligible for the California Register as an individual property through survey evaluation," and 5S3, or "appears to be individually eligible for local listing or designation through SurveyLA or other survey evaluation." ¹⁴⁶

Historical resources in the vicinity of the Project Site are those historical resources located either immediately adjacent to the Project Site or immediately across the street from the Project Site. While it is understood that historical resources in the vicinity of the Project Site will remain intact following implementation of the Project and will therefore continue to convey their historic character and identity, the Project would nonetheless alter the immediate surroundings of adjacent historical resources through development of the Project footprint. In addition, historical resources in the vicinity of the Project Site may be impacted by construction activity associated with the proposed Project.

¹⁴⁶ Note that the property at 1625-1647 North Las Palmas Avenue is comprised of two adjoining buildings, but it appears that the buildings were mistakenly surveyed as a single structure. This is confirmed by building permits #1923LA03361 (1637-1647 North Las Palmas Avenue) and #1936LA32202 (1625-1635 North Las Palmas Avenue).

¹⁴⁵ "2020 Appendix A – Individual Resources."

Potential impacts to historical resources in the vicinity of the Project Site arising from development activity associated with the proposed Project are discussed in detail below. As two of the buildings are contributors to the Hollywood Boulevard Commercial and Entertainment District, impacts to the District as a whole are addressed in the following section.

Potential Impacts to the Hollywood Boulevard Commercial and Entertainment District (National Register Historic District)

The Hollywood Boulevard Commercial and Entertainment District is located immediately to the north of Sites 1 and 2 and includes those buildings fronting Hollywood Boulevard to the north and south along the 6200-7000 blocks of Hollywood Boulevard. The District includes four buildings that are also located in the vicinity of the Project Site. They are:

- 6622-6624½ Hollywood Boulevard, Non-Contributor No. 76
- The Cherokee Building at 6638-6648½ Hollywood Boulevard, Contributor No. 73
- The Shane Building at 6650-6656 Hollywood Boulevard, Contributor No. 72
- 6658-6660 Hollywood Boulevard, Non-Contributor No. 71

The Project would alter two additional buildings that are located within the District as well as within the boundary of the Project Site: the building at 6626-6628 Hollywood Boulevard (Non-Contributor No. 75), and the Cherokee Building Addition at 6630-6636 Hollywood Boulevard (Contributor No. 74). The Project proposes to convert these two existing commercial retail buildings into restaurants. As part of this work, the rear portion of each building will be removed. A 56'9"-deep portion of the building at 6626-6628 Hollywood Boulevard (Non-Contributor No. 75) will be removed, and a 18'10"-deep portion of the Cherokee Building Addition at 6630-6636 Hollywood Boulevard (Contributor No. 74) will be removed. New rear façades will be constructed for both buildings to create open storefronts connecting the new dining patio to the buildings' new interior restaurant operations. Façades will be finished in brick masonry veneer with metal windows. The existing primary (north) façades fronting Hollywood Boulevard of both buildings will be retained and will not be altered.

As discussed in Section 13.3, the alterations to the Cherokee Building Addition at 6630-6636 Hollywood Boulevard include the demolition of a 18'10"-deep portion of the building represented by a secondary rear volume in order to accommodate the construction of a new outdoor dining patio. The rear façade is utilitarian in character and does not exhibit qualities that convey the historic character and identity of the District as a pre-World War II commercial corridor. The removal of the rear façade

represents the removal of a non-character-defining portion of one contributing building within a larger district; it will not diminish the building's integrity such that it no longer exhibits the principal character-defining features that convey its significance as a contributor to the historic district, nor will it result in a reduction in the total number of contributing resources to the District. The Hollywood Boulevard Commercial and Entertainment District will continue to retain sufficient integrity to convey its overall historic significance and will maintain its eligibility for designation as a historic district at the national level.

As proposed, the Project would also demolish two existing buildings immediately adjacent to the District at 1641-1645 North Cherokee Avenue and 1642-1648 North Cherokee Avenue, and would also construct two new buildings and two subterranean parking garages immediately adjacent to the District: Building 1 on Site 1, and Building 6 on Site 2. Building 1 on Site 1 will be seven stories, or 94 feet, in height. Building 6 on Site 2 will be thirteen stories, or 154 feet, in height. In addition, a subterranean parking garage will be constructed on Site 1 under Buildings 1, 2, and 3 on Site 1. The parking garage will be three levels in depth with 336 parking spaces. A second subterranean parking garage will be constructed on Site 2 under Building 6. The parking garage will be two levels in depth with 108 parking spaces.

The Hollywood Boulevard Commercial and Entertainment District is listed in the National Register for its significance under Criterion A and Criterion C as an intact grouping of properties associated with Hollywood Boulevard's status as an important commercial and entertainment corridor during Hollywood's heyday in the first half of the 20th Century. The District is composed of a variety of property types and architectural styles lining a commercial boulevard. Taller buildings (from four to twelve stories) are normally located at corners, with one- and two-story buildings located in between. Characteristic of pre-World War II commercial areas, the District is scaled to the pedestrian. Contributing properties to the District are oriented toward the street, with architectural articulation largely confined to street facing façades. The District's historic significance is experienced primarily from the street, either by pedestrians or passing vehicles. The Project Site is immediately adjacent to the District's southern boundary between North Schrader Boulevard to the east and North Las Palmas Avenue to the west. Several contributing buildings are located in this area. The majority of the Project Site is located outside the District, with the exception of two buildings at 6626-6628 Hollywood Boulevard and 6630-6636 Hollywood Boulevard, which are located at the northeastern corner of Site 2. However, the buildings at 6626-6628 Hollywood Boulevard and 6630-6636 Hollywood Boulevard will be retained as part of the Project, with some alterations to the rear portion of each building only, and all new construction associated with the proposed Project will remain outside the District boundaries.

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The Project will construct two seven-story buildings of differing heights and one fifteen-story building on Site 1, and one thirteen-story building on Site 2. While not excessively taller than existing buildings within the District boundary, which includes buildings up to twelve stories in height, the buildings will indeed be substantially taller than existing District buildings situated along Hollywood Boulevard between North Schrader Boulevard to the east and North Las Palmas Avenue to the west, most of which are two stories in height. Building 1 and Building 2 on Site 1 and Building 6 on Site 2 are all expected to be visible looking south from Hollywood Boulevard and the cross streets within the District. Because Building 3 will be constructed immediately to the south of Building 2 on Site 1, and at seven stories is substantially shorter than Building 2's fifteen-story height, it is not likely that Building 3 will be visible from Hollywood Boulevard. However, the remaining three buildings will introduce dramatic new skyline elements as a backdrop to the more modest building heights located within in the District. The effect is demonstrated in views depicted on the cover sheets for the plans for Sites 1 and 2, which are included in the appendices.

At the ground level, the Project has been designed to maintain a distinct physical separation between the District boundary and new construction on the Project Site so that the distinctive urban form of the District is maintained and the individual contributing buildings that border the new construction continue to be understood as contributors. Two contributing resources to the District are situated in the vicinity of the Project Site: the Shane Building at 6650-6656 Hollywood Boulevard (Contributor No. 72), which is situated to the north of Site 1; and the Cherokee Building at 6638-6648½ Hollywood Boulevard (Contributor No. 73), which is situated to the west and north of Site 2.

The closest district contributor to Site 1 is the Shane Building at 6650-6656 Hollywood Boulevard. Site 1 is situated immediately to the south of the Shane Building. New construction for Building 1 in Site 1 is set back 10'2" from the northern boundary of Site 1, which abuts the southern façade of Shane Building. In this manner, the Project provides a distinct visual separation between the Shane Building and new construction associated with the proposed Project.

The closest district contributor to Site 2 is the Cherokee Building at 6638-6648½ Hollywood Boulevard. Site 2 has an L-shaped plan that wraps around the Cherokee Building, which is located at the southeast corner of Hollywood Boulevard and North Cherokee Avenue. New construction on Site 2 is set back 20'8" from the northern boundary of the western portion of Site 2, which abuts the southern façade of the Cherokee Building. In this manner, the Project provides a distinct visual separation between the Cherokee Building and new construction associated with the proposed Project.

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Despite introducing substantial new height to the skyline looking south, the new construction associated with the proposed Project will not result in significant adverse impacts to the Hollywood Boulevard Commercial and Entertainment District. For each of Site 1 and Site 2, new construction is separated from the District by an interstitial alley, creating a distinct physical separation between the District and the Project Site. Further, the area surrounding the District has been characterized by juxtapositions of varying building heights since the 150-foot height limit was removed in the late 1950s. Features important to the significance of the Hollywood Boulevard Commercial and Entertainment District are largely contained within the District boundaries and are best experienced within the District. The new construction associated with the Project will not interrupt the configuration of buildings, their spatial relationships to each other, and their relationship to the street that characterize the District as it is experienced. The pattern of tightly spaced buildings scaled to the pedestrian, a critical element of pre-World War II commercial districts, will remain intact and uninterrupted.

Although for the reasons described above, impacts to the District associated with the design of new construction and maintaining visual access are considered less than significant, the Project has the potential to result in other impacts associated with construction. New construction would include substantial foundation work and the construction of subterranean parking. As analyzed in more detail in a noise and vibration technical study prepared by Meridian Consultants, there is potential for these activities to cause damage to the buildings within the District due to vibration given the District's close proximity to construction activity at the Project Site. As is common in similar urban development sites, mitigation is required to prevent vibration damage to adjacent structures. Although steps would be taken during construction to help ensure vibration related damage does not occur, if such damage were to occur and to result in structural damage, based on industry practice and knowledge of construction activities in similar settings, such damage would likely be surficial and repairable. Nonetheless, the potential for damage to this historical resource due to construction related vibration is considered a significant impact, therefore a mitigation measure is proposed in the following Section 14.0. With implementation of this mitigation measure, impacts to the District would be less than significant.

As proposed, the Project would not demolish, relocate, convert, or rehabilitate any aspect of the Hollywood Boulevard Commercial and Entertainment District such that the District will no longer be able to convey its historic character and identity as a whole. Two of the buildings within the District – one contributor and one non-contributor – will be subject to alterations as part of the proposed Project, but the Project would not destroy any of the historic materials, planning features, or spatial relationships that characterize the District as a whole. Consequently, as explained below,

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the Project would not affect the integrity of *location, design, materials, workmanship, feeling,* or *association* of the District.

- Buildings within the District would remain intact in their original locations and would therefore retain integrity of *location*.
- Although the District will undergo some alterations, they are limited to two
 buildings within the District, one of which is a non-contributor, and will be
 strictly confined to the rear portion of each building. The majority of the
 buildings within the District will continue to retain the essential physical features
 reflecting their original design, plan, form, and massing, and would remain intact;
 therefore, the District would continue to retain integrity of design.
- Although the District will undergo some alterations, they are limited to two
 buildings within the District, one of which is a non-contributor. The majority of
 the buildings within the District will continue to retain all of the characterdefining features associated with their original construction, including original
 methods of construction, roof, cladding, and fenestration; therefore, the District
 would continue to retain integrity of materials.
- The majority of buildings within the District would continue to retain the physical evidence of period construction techniques, including original finishes and design elements that reflect their character and identity as pre-World War II commercial buildings, and would therefore retain integrity of *workmanship*.
- As the District would continue to retain a majority of the character-defining
 features and buildings associated with its initial period of development, it would
 continue to convey the original aesthetic and historic sense of a pre-World War
 II commercial corridor. Therefore, the District would continue to retain integrity
 of feeling.
- Because the District would retain integrity of *location, design, materials,* workmanship, and *feeling,* it would continue to convey its historic character and
 identity as pre-World War II commercial corridor. Therefore, integrity of
 association would also remain unaffected by the Project.

The only aspect of integrity that could potentially be affected by the Project is integrity of *setting*. Integrity of *setting* would be altered by the Project through the construction of new buildings that were not extant during the District's period of significance. Constructing these new buildings in the surrounding area will result in changes to the spatial relationships in the place where the District played its historical role and add considerable height and mass to an area currently improved largely with surface parking.

However, in this case, the larger setting is not critical to understanding the historical importance of the District as a pre-World War II commercial corridor, as setting features important to the Hollywood Boulevard Commercial and Entertainment District are largely contained within its boundaries and experienced from inside the District. These include the configuration of streets and sidewalks fronting District buildings, the pattern of tightly-spaced buildings defining a linear commercial corridor, and the public circulation element delineated by a uniform building street wall. Therefore, while the District's larger setting will be altered, the loss of setting in and of itself would not materially impair the District's ability to convey its historic significance and identity.

In addition, according to National Park Service guidance, "to retain historic integrity a property will always possess several, and usually most, of the [seven] aspects" of integrity." ¹⁴⁷ After the Project is constructed, only integrity of *setting* would have been altered by the Project, and the District will continue to retain the other six aspects of integrity: *location, design, materials, workmanship, feeling,* and *association*. Therefore, the District will continue to retain a majority of the aspects of integrity.

As all but one of the relevant aspects of integrity will be unaffected by the Project, the historic integrity of the District will be retained. While the Project would alter the setting of the District, the construction of Buildings 1, 2, 3, and 6 will not materially impair the District such that it can no longer convey its historic significance.

After construction of the Project, the Hollywood Boulevard Commercial and Entertainment District and its component contributing buildings will remain intact and will continue to convey their historic significance, and the District's listing in the National Register would not be threatened. With mitigation, the Project will not result in adverse impacts to the District such that it would no longer convey its historic significance, and impacts would not rise to a significant level as defined by CEQA.

Potential Impacts to the Hollywood Walk of Fame (Los Angeles Historic-Cultural Monument No. 194)

The Hollywood Walk of Fame consists of more than 2,700 brass and terrazzo star-shaped panels that are embedded in the sidewalks flanking Hollywood Boulevard to the north and south. The Walk of Fame extends westward from North Gower Street to North La Brea Avenue and occupies the sidewalks of the 6100-7000 blocks of Hollywood Boulevard. The extent of the Walk of Fame includes the 6600 block of

¹⁴⁷ National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation.



Hollywood Boulevard, where the buildings at 6626-6628 Hollywood Boulevard and 6630-6636 Hollywood Boulevard are located. These two buildings fall within the boundary of Site 2 and front Hollywood Boulevard; consequently, Site 2 is situated immediately to the south of a portion of the Walk of Fame. The Project proposes to convert the two existing commercial retail buildings at 6626-6628 Hollywood Boulevard and 6630-6636 Hollywood Boulevard into restaurants. As part of this effort, the Project would demolish the rear portions of each building as well as a portion of the existing subterranean basement at 6626-6628 Hollywood Boulevard to accommodate construction of a new outdoor dining patio. Interiors of both buildings will also be remodeled to accommodate new restaurant operations. However, each building's primary (north) façade fronting Hollywood Boulevard will be retained as-is and will not be subject to further alterations as part of the Project.

The Project does not include the demolition, relocation, rehabilitation, alteration, relocation, or conversion of the Hollywood Walk of Fame. The resource will remain unchanged and will remain in its original location after implementation of the Project.

As proposed, the Project would alter two existing buildings immediately to the south of the Walk of Fame at 6626-6628 Hollywood Boulevard and 6630-6636 Hollywood Boulevard. The Project would also construct two new buildings and two subterranean parking garages in the vicinity of the Walk of Fame: Building 1 on Site 1, and Building 6 on Site 2. Building 1 on Site 1 will be seven stories, or 94 feet, in height. Building 6 on Site 2 will be thirteen stories, or 154 feet, in height. In addition, a subterranean parking garage will be constructed on Site 1 under Buildings 1, 2, and 3 on Site 1. The parking garage will be three levels in depth with 336 parking spaces. A second subterranean parking garage will be constructed on Site 2 under Building 6. The parking garage will be two levels in depth with 108 parking spaces.

The Hollywood Walk of Fame is administered by the Hollywood Chamber of Commerce and managed by the Hollywood Historic Trust, an arm of the Chamber of Commerce. In 1978, the City of Los Angeles designated the Hollywood Walk of Fame as Historic-Cultural Monument No. 194. It was formally determined eligible for the National Register by consensus determination through Section 106 review, and therefore is automatically listed in the California Register. As a historical resource that was formally determined eligible to the National Register by consensus determination through Section 106 review, a formal statement of significance previously has not been developed for the resource, as a nomination form for the National Register has not been

prepared.¹⁴⁸ However, the Hollywood Walk of Fame is likely eligible to the National Register under Criterion A for its association with the development of Hollywood as a film-related tourist mecca in the latter half of the twentieth century. It was established by the City of Los Angeles to honor prominent figures in the entertainment industry, and the first star was laid in 1960. Over time, the Hollywood Walk of Fame has evolved into an immensely popular tourist attraction that draws visitors to Hollywood from all over the world. For these reasons, the Hollywood Walk of Fame is considered a historical resource under CEQA.

Although the Project would alter two existing buildings immediately to the south of the Walk of Fame at 6626-6628 Hollywood Boulevard and 6630-6636 Hollywood Boulevard, alterations to these buildings are confined to the rear portion of both buildings and will not include those primary façades that front Hollywood Boulevard and interact directly with the Walk of Fame. Façades fronting Hollywood Boulevard will be retained as-is and will not be altered as part of the Project; therefore, the setting associated with the Walk of Fame will not be disrupted. New construction associated with the Project will be located in areas to the south of the buildings fronting Hollywood Boulevard. Views of and access to the Walk of Fame will not be restricted in any way.

Although for the reasons described above, impacts to the Walk of Fame associated with the design of new construction and maintaining visual access are considered less than significant, the Project has the potential to result in other impacts associated with construction. New construction would include substantial foundation work and the construction of subterranean parking. As analyzed in more detail in a noise and vibration technical study prepared by Meridian Consultants, there is potential for these activities to cause damage to the Walk of Fame due to vibration given the resource's close proximity to construction activity at the Project Site. As is common in similar urban development sites, mitigation is required to prevent vibration damage to adjacent structures. Although steps would be taken during construction to help ensure vibration related damage does not occur, if such damage were to occur and to result in structural

148 As described in the Code of Federal Regulations, 36 CFR Part 800, a federal agency embarking on a proposed project must first establish whether the project has the potential to affect an historic resource eligible to the National Register. If so, then the federal agency must begin the Section 106 review process. During a Section 106 review, the federal agency evaluates properties against the National Register criteria and seeks the consensus of the State Historic Preservation Office regarding eligibility. Simply coming to a consensus determination that a property is eligible for listing is adequate to move forward with Section 106 review; a historic property need not be formally listed in the National Register in order to be considered under the Section 106 process. However, all properties that are determined eligible to the National Register by consensus are automatically listed on the California Register of Historical Resources; therefore, they are considered historical resources for the purposes of CEQA.

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damage, based on industry practice and knowledge of construction activities in similar settings, such damage would likely be surficial and repairable. Nonetheless, the potential for damage to this historical resource due to construction related vibration is considered a significant impact, therefore a mitigation measure is proposed in the following Section 14.0. With implementation of this mitigation measure, impacts to the Walk of Fame would be less than significant.

As proposed, the Project would not demolish, relocate, convert, or rehabilitate any aspect of the Hollywood Walk of Fame such that it will no longer be able to convey its historic character and identity. Two of the buildings fronting the Walk of Fame will be subject to alterations as part of the Project, but construction activity will be confined to the rear of both buildings and away from the Walk of Fame. The Project would not destroy any of the historic materials, planning features, or spatial relationships that characterize the Walk of Fame as a whole. Consequently, as explained below, the Project would not affect the integrity of the integrity of *location, design, materials, workmanship, feeling,* or *association* of the Walk of Fame.

- The Walk of Fame would remain intact in its original location and would therefore retain integrity of *location*.
- The essential physical features reflecting the Walk of Fame's original design would remain intact, and therefore the monument would continue to retain integrity of design.
- The Walk of Fame would also continue to retain all of the character-defining finishes and materials associated with its original construction. As the Walk of Fame is largely intact and retains a majority of these original construction materials, it would continue to retain integrity of *materials*.
- The Walk of Fame would continue to retain the physical evidence of period construction techniques, including original finishes and materials that reflect its historic character and identity. The Walk of Fame would therefore retain integrity of workmanship.
- As the Walk of Fame would continue to retain a majority of the characterdefining features associated with its original construction, it would continue to convey its original aesthetic and historic sense. Therefore, the Walk of Fame would continue to retain integrity of *feeling*.
- Because the Walk of Fame would retain integrity of *location, design, materials,* workmanship, and *feeling*, it would continue to convey its historic character and

identity. Therefore, integrity of association would also remain unaffected by the Project.

The only aspect of integrity that could potentially be affected by the Project is integrity of setting. Integrity of setting would be altered by the Project through the construction of new buildings that were not extant during the period of significance associated with the development of the Hollywood Walk of Fame. Constructing these new buildings in the surrounding area will result in changes to the spatial relationships in the place where the Hollywood Walk of Fame has played its historical role and add considerable height and mass to an area currently improved largely with surface parking. However, in this case, the larger setting that extends beyond the buildings fronting Hollywood Boulevard is not critical to understanding the historic character and identity of the Walk of Fame, as setting features important to the Walk of Fame are largely contained within its boundaries in addition to immediately adjacent building façades. These setting features include the configuration of Hollywood Boulevard and the associated sidewalk, the pattern of tightly-spaced buildings defining a linear commercial corridor, and the public circulation element delineated by a uniform building street wall. Therefore, while the larger setting of the Walk of Fame will be altered, the loss of setting in and of itself would not materially impair the monument's ability to convey its historic significance and identity.

In addition, according to National Park Service guidance, "to retain historic integrity a property will always possess several, and usually most, of the [seven] aspects" of integrity." ¹⁴⁹ After the Project is constructed, only integrity of *setting* would have been altered by the Project, and the building will continue to retain the other six aspects of integrity: *location, design, materials, workmanship, feeling,* and *association*. Therefore, the buildings will continue to retain a majority of the aspects of their integrity.

As all but one of the relevant aspects of integrity will be unaffected by the Project, the historic integrity of the Hollywood Walk of Fame will be retained. While the Project would alter the setting of the monument, the construction of Building 1, Building 6, and the associated subterranean parking garages will not materially impair the Walk of Fame such that it can no longer convey its historic significance.

After construction of the Project, the Hollywood Walk of Fame will remain intact and will continue to convey its historic significance, and its designation as a Los Angeles Historic-Cultural Monument would not be threatened. With mitigation, the Project will

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not result in adverse impacts to the Hollywood Walk of Fame such that the monument would no longer convey its historic significance, and impacts would not rise to a significant level as defined by CEQA.

Potential Impacts to 1608 North Las Palmas Avenue (SurveyLA status code QQQ)

The building at 1608 North Las Palmas Avenue is located immediately to the south of Site 1.150 The Project does not include the demolition, relocation, rehabilitation, alteration, relocation, or conversion of the building at 1608 North Las Palmas Avenue. The building will remain unchanged and in its original location after implementation of the Project. However, the Project proposes to construct a new building in the southern portion of Site 1 that would be situated immediately to the north of the building at 1608 North Las Palmas Avenue.

As proposed, the building at 1608 North Las Palmas Avenue is outside the boundaries of the Project Site. Therefore, the Project would retain the building at 1608 North Las Palmas Avenue without alteration but will construct one new building and a new subterranean parking garage in the vicinity of the building, within the boundaries of the adjacent Project Site. Building 3 will be located in the southern portion of Site 1, immediately to the north of the building at 1608 North Las Palmas Avenue. It will be seven stories, or 77 feet, in height. Building 3 will be separated from the building at 1608 North Las Palmas Avenue to the south by a 9'0"-wide alley. In addition, a subterranean parking garage will be constructed under Buildings 1, 2, and 3 on Site 1. The parking garage will be three levels in depth with 336 parking spaces.

The building at 1608 North Las Palmas Avenue was recorded as part of the CRA/LA survey of the Hollywood RPA in 2020.¹⁵¹ At that time, the property was identified as a rare remaining example of an intact 1910s duplex in Hollywood assigned a status code of QQQ, or "may be eligible; additional research needed." ¹⁵²

As a rare remaining example of an intact 1910s duplex in Hollywood, the building's associative qualities make it essential that important views showcasing its character and identity as an early residential property type be maintained so that the building

¹⁵⁰ Materials furnished to HRG by the Applicant to facilitate the review of Site 1 are included in the appendices. Relevant drawings include those included on sheets A1.01, A1.02, A1.03, A2.04, A2.05, A3.01, and A3.06.
 ¹⁵¹ "2020 Appendix A – Individual Resources," in "Historic Resources Survey: Hollywood Redevelopment Project Area."
 ¹⁵² "2020 Appendix A – Individual Resources," in "Historic Resources Survey: Hollywood Redevelopment Project Area."
 For further information regarding designation efforts, see Los Angeles Department of City Planning, "Talbot-Wood Double Dwelling," CHC-2018-1038-HCM, https://planning.lacity.org/StaffRpt/CHC/2018/5-17-2018/ltem%2005%20Talbot-Wood%20Double%20Dwelling.pdf (accessed April 2022).

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continues to be visible and understood. Important views include the view looking east from North Las Palmas Avenue. At seven stories in height, Building 3 will be substantially taller than the building at 1608 North Las Palmas Avenue. However, Building 3 would be constructed to the north of the building at 1608 North Las Palmas Avenue and would not obscure views of the building from North Las Palmas Avenue.

Although the Project would not obscure important views of the building at 1608 North Las Palmas Avenue, the Project has the potential to result in other impacts associated with construction. New construction would include substantial foundation work and the construction of subterranean parking. As analyzed in more detail in a noise and vibration technical study prepared by Meridian Consultants, there is potential for these activities to cause damage to the building at 1608 North Las Palmas due to vibration given the building's close proximity to construction activity at the Project Site. As is common in similar urban development sites, mitigation is required to prevent vibration damage to adjacent structures. Although steps would be taken during construction to help ensure vibration related damage does not occur, if such damage were to occur and to result in structural damage, based on industry practice and knowledge of construction activities in similar settings, such damage would likely be surficial and repairable. Nonetheless, the potential for damage to this historical resource due to construction related vibration is considered a significant impact, therefore a mitigation measure is proposed in the following Section 14.0. With implementation of this mitigation measure, impacts to the building at 1608 North Las Palmas would be less than significant.

As proposed, the Project would not demolish, relocate, convert, rehabilitate, or physically alter any aspect of the building at 1608 North Las Palmas Avenue. The Project would not destroy historic materials, features, or spatial relationships that characterize the building at 1608 North Las Palmas Avenue. Consequently, as explained below, the Project would not affect the integrity of *location, design, materials, workmanship, feeling,* or *association* of 1608 North Las Palmas Avenue.

- The building would remain intact in its original location and would therefore retain integrity of *location*.
- The essential physical features reflecting the building's original design, including the building's original plan, form, and massing, would remain intact, and therefore the building would continue to retain integrity of *design*.
- The building would also continue to retain all of the character-defining features associated with its original construction, including its original method of construction, roof, cladding, and fenestration. As the building is largely intact and

- retains a majority of these original construction materials, it would continue to retain integrity of *materials*.
- The building would continue to retain the physical evidence of period construction techniques, including original finishes and design elements that reflect the character and identity of the building as an intact 1910s duplex, and would therefore retain integrity of workmanship.
- As the building would continue to retain a majority of the character-defining features associated with its original construction, it would continue to convey the original aesthetic and historic sense of the building as an intact 1910s duplex. Therefore, the building would continue to retain integrity of feeling.
- Because the building would retain integrity of *location, design, materials,* workmanship, and *feeling*, it would continue to convey its historic character and
 identity as a rare remaining example of an intact 1910s duplex in Hollywood.
 Therefore, integrity of *association* would also remain unaffected by the Project.

The only aspect of integrity that could potentially be affected by the Project is integrity of setting. Integrity of setting would be altered by the Project through the construction of new buildings that were not extant during the period of significance associated with 1608 North Las Palmas Avenue. Constructing these new buildings in the surrounding area will result in changes to the spatial relationships in the place where 1608 North Las Palmas Avenue played its historical role and add considerable height and mass to an area currently improved largely with surface parking. However, in this case, the building's larger setting has evolved since the building's initial construction in 1916. The majority of the surrounding parcels were initially improved around this time with singlefamily and multiple-family residential properties that were later removed, and the parcels were subsequently paved for use as surface parking lots in the 1960s. Furthermore, as the building is significant as an example of multi-family residential architecture, the building's larger setting is not critical to understanding its own historical importance as an example of a particular building type. Consequently, the only relevant setting features that convey the building's historic character and identity and remain extant today are those setting features, qualities, and spatial relationships that are largely contained within the parcel in addition to the configuration of street and sidewalk fronting the building's primary (east) façade along North Las Palmas Avenue. As proposed, the Project would not alter these important setting features. Therefore, while the integrity of the building's larger setting will be altered, its most important setting features would be retained. Further, the loss of setting in and of itself would not materially impair the building's ability to convey its historic significance and identity as

an example of multi-family residential architecture in early post-consolidation Hollywood.

In addition, according to National Park Service guidance, "to retain historic integrity a property will always possess several, and usually most, of the [seven] aspects" of integrity." ¹⁵³ After the Project is constructed, only integrity of *setting* would have been altered by the Project, and the building will continue to retain the other six aspects of integrity: *location, design, materials, workmanship, feeling,* and *association*. Therefore, the building will continue to retain a majority of the aspects of integrity.

As all but one of the relevant aspects of integrity will be unaffected by the Project, the historic integrity of 1608 North Las Palmas Avenue will be retained. While the Project would alter the setting of the building at 1608 North Las Palmas Avenue, the construction of Building 3 will not materially impair the building such that it can no longer convey its historic significance.

After construction of the Project, the building will remain intact and will continue to convey its potential historic significance. With mitigation, the Project will not result in adverse impacts to the building at 1608 North Las Palmas Avenue such that the building would no longer convey its historic significance, and impacts would not rise to a significant level as defined by CEQA.

Potential Impacts to 1625-1647 North Las Palmas Avenue (SurveyLA status codes 3CS and 5S3)

The buildings at 1625-1647 North Las Palmas Avenue are located to the west of Site 1, across North Las Palmas Avenue.¹⁵⁴ The Project does not include the demolition, relocation, rehabilitation, alteration, relocation, or conversion of the buildings at 1625-1647 North Las Palmas Avenue. The buildings will remain unchanged and in their original location after implementation of the Project. However, the Project proposes to construct a new building in the southern portion of Site 1 that would be situated directly across the street from the buildings at 1625-1647 North Las Palmas Avenue. ¹⁵⁵

153 National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation.
154 It should be noted that the property at 1625-1647 North Las Palmas Avenue is comprised of two adjoining buildings, but it appears that the buildings were mistakenly surveyed as a single structure. This is confirmed by building permits #1923LA03361 (1637-1647 North Las Palmas Avenue) and #1936LA32202 (1625-1635 North Las Palmas Avenue).
155 Materials furnished to HRG by the Applicant to facilitate the review of Site 1 are included in the appendices. Relevant drawings include those included on sheets A1.01, A1.02, A1.03, A2.04, A2.05, A3.01, and A3.06.

As proposed, the Project would retain the buildings at 1625-1647 North Las Palmas Avenue without alteration but would construct one new building and a new subterranean parking garage in the vicinity. Building 2 will be constructed in the central portion of Site 1, across the street from the buildings at 1625-1647 North Las Palmas Avenue. It will be fifteen stories, or 182 feet, in height. In addition, a subterranean parking garage will be constructed under Buildings 1, 2, and 3 on Site 1. The parking garage will be three levels in depth with 336 parking spaces.

The buildings at 1625-1647 North Las Palmas Avenue were recorded as part of the CRA/LA survey of the Hollywood RPA in 2020. ¹⁵⁶ At that time, the properties were found to be eligible for listing in the California Register or for local designation under Criteria A/1/1 and C/3/3 as rare remaining examples of early commercial development located along a former streetcar line in Hollywood. ¹⁵⁷

As proposed, the Project would not demolish, relocate, convert, rehabilitate, or physically alter any aspect of the buildings at 1625-1647 North Las Palmas Avenue. The Project would not destroy historic materials, features, or spatial relationships that characterize the buildings at 1625-1647 North Las Palmas Avenue. Consequently, as explained below, the Project would not affect the integrity of *location, design, materials, workmanship, feeling,* or *association* of the buildings at 1625-1647 North Las Palmas Avenue.

- The buildings would remain intact in their original location and would therefore retain integrity of *location*.
- The essential physical features reflecting the buildings' original design, including their original plan, form, and massing, would remain intact, and therefore the buildings would continue to retain integrity of *design*.
- The buildings would also continue to retain all of the character-defining features
 associated with their original construction, including the original method of
 construction, roof, cladding, and fenestration. As the buildings are largely intact
 and retain a majority of these original construction materials, they would
 continue to retain integrity of *materials*.

156 "2020 Appendix A – Individual Resources," in "Historic Resources Survey: Hollywood Redevelopment Project Area."
157 Surveyors noted that "due to alterations, including door replacement, the building may not retain sufficient integrity for listing in the National Register."

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- The buildings would continue to retain the physical evidence of period construction techniques, including original finishes and design elements that reflect the character and identity of the buildings as commercial buildings developed during the streetcar era in Hollywood, and would therefore retain integrity of workmanship.
- As the buildings would continue to retain a majority of the character-defining
 features associated with their original construction, they would continue to
 convey their original aesthetic and historic sense as early commercial buildings in
 Hollywood. Therefore, the buildings would continue to retain integrity of
 feeling.
- Because the buildings would retain integrity of *location, design, materials, workmanship,* and *feeling,* they would continue to convey their historic character and identity as examples of early commercial development in Hollywood. Therefore, integrity of *association* would also remain unaffected by the Project.

The only aspect of integrity that could potentially be affected by the Project is integrity of *setting*. Integrity of *setting* would be altered by the Project through the construction of new buildings that were not extant within the vicinity of the buildings at 1625-1647 North Las Palmas Avenue at the time of their initial development in 1923 and 1936 respectively. Constructing these new buildings in the surrounding area will result in changes to the spatial relationships in the place where the buildings at 1625-1647 North Las Palmas Avenue played their historical role.

However, in this case, the larger setting that includes the area across the street, to the east of North Las Palmas Avenue, has evolved since the initial construction of the buildings at 1625-1647 North Las Palmas Avenue in 1923 and 1936, and does not currently reflect the original historic development condition. Although two buildings constructed during the same period – the building at 1638 North Las Palmas Avenue, which was constructed in 1925; and the Redwine Building at 1618 North Las Palmas Avenue, which was constructed in 1931 – remain extant today, several parcels along the east side of North Las Palmas Avenue were initially improved around this time with single-family and multiple-family residential properties that were later removed, and the parcels were subsequently paved for use as surface parking lots in the 1960s. As a result, the only important setting features associated with the buildings at 1625-1647 North Las Palmas Avenue that convey their historic character and identity and remain extant today are those setting features, qualities, and spatial relationships that are largely contained within the parcel in addition to the configuration of street and sidewalk fronting the buildings' primary (west) façades along North Las Palmas Avenue. As

construction associated with the Project will be confined to the area across the street, to the east of North Las Palmas Avenue, these setting features associated with the buildings at 1625-1647 North Las Palmas Avenue would remain unchanged. Therefore, while the integrity of the buildings' larger setting will be altered, the buildings' most important setting features would be retained. Further, the loss of setting in and of itself would not materially impair the buildings' present ability to convey their historic character and identity.

Consequently, the only relevant setting features that remain extant today are those qualities, features, and spatial relationships that characterize the building's street frontage along North Las Palmas Avenue, such as the building's zero setback, concrete curbs and sidewalks, configuration of street and sidewalk, and the unobstructed spatial relationship between the building and North Las Palmas Avenue to the west.

In addition, according to National Park Service guidance, "to retain historic integrity a property will always possess several, and usually most, of the [seven] aspects" of integrity." ¹⁵⁸ After the Project is constructed, only integrity of *setting* would have been altered by the Project, and the building will continue to retain the other six aspects of integrity: *location, design, materials, workmanship, feeling,* and *association*. Therefore, the buildings will continue to retain a majority of the aspects of their integrity.

As all but one of the relevant aspects of integrity will be unaffected by the Project, the historic integrity of the buildings at 1625-1647 North Las Palmas Avenue will be retained. While the Project would alter the setting of the buildings at 1625-1647 North Las Palmas Avenue, the construction of Building 2 will not materially impair the buildings such that they can no longer convey their historic character and identity.

After construction of the Project, the buildings at 1625-1647 North Las Palmas Avenue will remain intact; therefore, adverse impacts to the buildings associated with the proposed Project would not rise to a significant level as defined by CEQA.

13.5 Impacts Analysis Using CEQA Thresholds

As noted above in Section 13.1, a substantial adverse change occurs if the project involves "physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired." ¹⁵⁹ The significance of a historical resource is materially impaired

158 National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation.
159 CEQA Statute & Guidelines, section 15064.5(b).

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when a project "demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historic significance and that justify its inclusion in, or eligibility for," designation as a historic resource at the state or local levels. ¹⁶⁰

The following analysis considers potential impacts in relation to CEQA guidelines established to define the threshold for substantial adverse change and the associated material impairment of a historical resource.

1. Would the Project involve the demolition of a significant resource?

No. The Project does not involve the demolition of a significant resource. (Note that the partial demolition of 6630-6636 Hollywood Boulevard does not constitute the removal of an entire structure, and are therefore analyzed in Question #3 below as alterations to existing buildings.)

2. Would the Project involve the relocation of a significant resource in a manner that does not conform to the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings?

No. The Project does not include the relocation of any individually significant buildings, or buildings that contribute to a historic district.

3. Would the Project involve conversion, rehabilitation or alteration of a significant resource in a manner which does not conform to the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings?

No. As discussed below, the Project would not involve the conversion, rehabilitation, or alteration of a significant resource in a manner which does not conform to the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

As proposed, the Project would include the partial demolition of one District contributor within the boundaries of the Project Site. The contributing building at 6630-6636 Hollywood Boulevard is not considered individually significant and does not represent an individual historic resource, though its historic qualities contribute to the character and identity of the larger historic district as a whole. The removal of the rear portion of the contributing building will not diminish the building's integrity such that the building no longer exhibits the principal character-defining features that convey its

160 CEQA Statute & Guidelines, section 15064.5(b).



significance as a contributor to the historic district, nor will it result in a reduction in the total number of contributing resources to the District. The National Register Historic District will retain sufficient integrity to convey its overall historic significance and will maintain its eligibility for designation as a historic district at the national level.

4. Would the Project involve construction that has the potential to materially impair the integrity and/or significance of significant resources on the site or in the vicinity?

Yes. The Project would construct a total of four new buildings across Sites 1 and 2; Site 1 would be improved with three new buildings and a three-level subterranean parking garage, and Site 2 would be improved with one new building and a two-level subterranean parking garage. Three of these four buildings will be developed in locations that are immediately adjacent to existing historic resources. In addition, three levels of subterranean parking will be added to Site 1, and two levels of subterranean parking will be added to Site 2.

While the addition of new construction to the immediate surroundings of existing historic resources has the potential to materially alter the buildings' integrity of *setting* through the disruption of existing spatial relationships, it is the only aspect of integrity that may be impacted by adjacent new construction. As a result, all remaining aspects of integrity currently associated with each historic resource will continue to be retained; thus, each resource will continue to retain a majority of the aspects of integrity and therefore continue to convey its character and identity as a historic resource.

However, the proposed new construction would require substantial foundation work along with excavation to allow for the construction of subterranean parking. Without mitigation to ensure the protection of historic resources from vibration damage due to such construction activities, new construction associated with the Project has the potential to destabilize nearby historic buildings, resulting in significant impacts.

13.6Summary of Potential Impacts to Historical Resources

Analysis of potential impacts associated with the proposed Project using the Los Angeles CEQA thresholds, the Secretary of the Interior's Standards, and National Park Service guidelines reveals the following:

 Construction activity associated with the proposed Project would require substantial foundation work and the construction of subterranean parking. As analyzed in a noise and vibration technical study prepared by Meridian Consultants, without mitigation to ensure the protection of nearby historic resources from vibration damage, new construction has the potential to

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Table 7: Summary of Potential Impacts to Historical Resources

MAP KEY NO.	LOCATION	APN	BUILDING NAME AND/OR ADDRESS	POTENTIAL IMPACT(S)	DEGREE OF IMPACT
2	Site 1	5547-014-024	Redwine Building 1618 North Las Palmas Avenue	 Loss of setting due to construction of adjacent new buildings (Building 2, Building 3) Potential settlement and/or structural vibration resulting from underground excavation and general construction procedures (Building 2, Building 3, Parking 1) 	LESS THAN SIGNIFICANT LESS THAN SIGNIFICANT with mitigation
3	Site 1	5547-014-044	1638 North Las Palmas Avenue	Loss of setting due to construction of adjacent new buildings (Building 2) Potential settlement and/or structural vibration resulting from underground excavation and general construction procedures (Building 2, Parking 1)	LESS THAN SIGNIFICANT LESS THAN SIGNIFICANT with mitigation
7	Site 2	5547-015-026	Cherokee Building Addition 6630-6636 Hollywood Boulevard	Loss of integrity due to alterations Loss of setting due to construction of adjacent new buildings (Building 6) Potential settlement and/or structural vibration resulting from underground excavation and general construction procedures (6626-6628 Hollywood alterations, Building 6, Parking 2)	LESS THAN SIGNIFICANT LESS THAN SIGNIFICANT LESS THAN SIGNIFICANT with mitigation

MAP KEY NO.	LOCATION	APN	BUILDING NAME AND/OR ADDRESS	POTENTIAL IMPACT(S)	DEGREE OF IMPACT
9	Vicinity	5547-015-031	Cherokee Building 6638-6648½ Hollywood Boulevard	Loss of setting due to demolition of adjacent buildings (1642-1648 Cherokee) Loss of setting due to alteration of adjacent buildings (6630-6636 Hollywood) Potential settlement and/or structural vibration resulting from underground excavation and general construction procedures (1642-1648 Cherokee demolition, 6630-6636 Hollywood alterations, Building 6, Parking 2)	LESS THAN SIGNIFICANT LESS THAN SIGNIFICANT LESS THAN SIGNIFICANT with mitigation
10	Vicinity	5547-014-010	Shane Building 6650-6656 Hollywood Boulevard	Loss of setting due to demolition of adjacent buildings (1642-1648 Cherokee) Potential settlement and/or structural vibration resulting from underground excavation and general construction procedures (1642-1648 Cherokee demolition, Building 1, Parking 1)	LESS THAN SIGNIFICANT LESS THAN SIGNIFICANT with mitigation
12	Vicinity	Multiple	Hollywood Walk of Fame Hollywood Boulevard between Gower Street and La Brea Avenue and Vine Street between Sunset Boulevard and Yucca Street	Loss of setting due to alteration of adjacent buildings (6626-6628 Hollywood) and 6630-6636 Hollywood) Potential settlement and/or structural vibration resulting from underground excavation and general construction procedures (6626-6628 Hollywood and 6630-6636 Hollywood)	LESS THAN SIGNIFICANT LESS THAN SIGNIFICANT with mitigation

MAP KEY NO.	LOCATION	APN	BUILDING NAME AND/OR ADDRESS	POTENTIAL IMPACT(S)	DEGREE OF IMPACT
13	Vicinity	5547-014-027	1608 North Las Palmas Avenue	 Loss of setting due to construction of adjacent new buildings (Building 3) Potential settlement and/or structural vibration resulting from underground excavation and general construction procedures (Building 3, Parking 1) 	LESS THAN SIGNIFICANT LESS THAN SIGNIFICANT with mitigation
14	Vicinity	5547-014-042	1625-1647 North Las Palmas Avenue	Loss of setting due to construction of adjacent new buildings (Building 2)	LESS THAN SIGNIFICANT

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The following mitigation measure will minimize the loss of any character-defining features and/or historic fabric as a result of rehabilitation associated with the proposed Project and would reduce potential impacts associated with the proposed Project to a less-than-significant level.

14.1 Mitigation Measure 1: Mitigation of Potential Impacts Associated with Construction-Related Vibration

Prior to approval of grading plans and/or prior to issuance of demolition, grading and building permits, the applicant or the project general contractor shall retain a qualified structural engineer to prepare a vibration control plan to be implemented by project contractor(s). The vibration control plan shall be submitted to and approved by the City of Los Angeles Department of Building and Safety. The vibration control plan shall include:

- A pre-construction survey letter establishing baseline conditions at potentially affected structures identified as historic resource in Hollywood Central Historic Resources Technical Report (Historic Resources Group, August 2022);
- Setback "buffer" zones around potentially affected structures identified as historic resource to the following specifications:
 - A minimum of 10-feet for use of "Jackhammers"
 - A minimum of 15 feet of the location of "Loaded Trucks"
 - A minimum of 20 feet for large earthmoving vehicles that are the vibration equivalent of the FTA's "Large Bulldozer" and "Caisson Drilling" vibration reference equipment
 - A minimum of 35 feet for the use of "Vibratory Roller".
- A vibration monitoring program capable of recording and documenting construction-related ground vibration levels during the course of construction.

In the event vibration monitoring identifies vibration levels at one of the potentially affected structures to be greater than the threshold level [0.12 inch/second (PPV)], the contractor shall halt construction activities in the vicinity of the structure and visually inspect that structure for any damage. Results of the inspection must be logged. The contractor shall identify the source of vibration generation and provide and implement feasible steps to reduce the vibration level to less than threshold level [0.12 inch/second

(PPV)]. Construction activities may then restart once the vibration level is re-measured and below the threshold level.

At the conclusion of vibration causing activities, the qualified structural engineer shall issue a follow-up letter describing damage, if any, to any impacted historic resources (as identified in Hollywood Central Historic Resources Technical Report (Historic Resources Group, August 2022). The letter shall include recommendations for any repair, as may be necessary, in conformance with the Secretary of the Interior's Standards and with applicable codes including the California Historical Building Code (Part 8 of Title 24).

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Information derived from building permits is replicated below exactly as it appears on either the permit or the associated certificate of occupancy. Permits for signage or mechanical, electrical, or plumbing work are not included. Permits for interior alterations and/or tenant improvements are not included, except where they constitute substantial work, involve structural or architectural elements, or represent the work of known architects.

Site 1 – 1641-1645 North Cherokee Avenue (APN #5547-014-009)

PERMIT	DATE	WORK PERFORMED	ARCHITECT OR	OWNER
NUMBER			ENGINEER	
1922LA06906	1922-03-06	New – Stores. 3 rooms.	None listed	Walter R. Gage
1928LA30520	1928-11-01	Rear will be portioned off	None listed	A. Chenalley & F. Rostaing
		for kitchen and toilets.		
		Center partition will have		
		2-2x10 beams added with		
		8x8 post 10'9" on center		
		to carry same. 5 new		
		openings will be cut in		
		rear wall for vents and		
		light. No changes in front		
		side walls or roof at all.		
1953LA64730	1953-07-23	Remove parapet along	H. C. Olsen [contractor]	Mrs. M. C. Gage
		Cherokee & exit court on		
		north.		
1972LA56798	1972-08-25	1 story, type IIIB, 70 x	None listed	Garo Tutunjian
		42'2" barber shop G-1		
		change of occupancy to		
		restaurant G-2.		
1973LA82219	1973-12-11	Repair fire damage. [2%]	None listed	Dean Hoelck & Joe Simon
1975LA04517	1975-03-07	Complete work started	None listed	Dean Hoelck & Joe Simon
		under LA82219/73 for fire		
		damage repair.		
1975LA04833	1975-03-14	Change of occ. G-2 to G-1.	None listed	Joe & John Simon
		[expired]		
1985LA04488	1985-01-22	Full compliance, Rating	Jim Pajuhesh [engineer]	Mr. Joe Simon
		Class III. Alternate 1.		
1986LA31653	1986-02-28	Change of occupancy to	Jim Pajuhesh [engineer]	Joe Simon
		restaurant/office, retail.		
1994HO28779	1994-02-25	Repair damage due to	Brian Beyzaee [engineer]	Joe Simon
		earthquake, Gunite front		
		and back wall and add		
		[illegible] wall bracing		
		throughout.		

PERMIT NUMBER	DATE	WORK PERFORMED	ARCHITECT OR ENGINEER	OWNER	150
1994НО31058	1994-08-17	Revise plans approved under 94HO28779. Replace Gunite and URM at west elevation w/ CMU Block.	Brian Beyzaee [engineer]	Joe Simon	

Site 1 – 1618 North Las Palmas Avenue (APN #5547-014-024)

PERMIT NUMBER	DATE	WORK PERFORMED	ARCHITECT OR ENGINEER	OWNER
1931LA14945	1931-07-27	New – Offices. 15 rooms.	Richard D. King	H. G. Redwine
1931LA23130	1931-10-30	New – Priv. Garage	Richard D. King	H. G. Redwine
1936LA15855	1936-06-26	Repair fire damage, no structural damage.	None listed	H. G. Redwine
1937LA06569	1937-03-04	Fur down ceiling and plaster. Install concrete floor. Wood trim around 3 cols. Install partition and door.	Richard D. King	H. G. Redwine
1937LA11183	1937-04-08	65 lineal ft. wood & glass office partitions on 1 st floor.	None listed	Shell Oil Co.
1955LA21071	1955-07-29	Parapet corr. adj.to Las Palmas & exitway.	None listed	H. G. Redwine
1977LA38130	1977-01-18	First floor only – move int. partitions.	Robert S. Douglas	Donald and Kent Redwine
1990HO05266	1990-03-27	Full compliance with Div 88, RGA Design.	Max Falamaki [engineer]	George Ulaman [sic]
1990НО05896	1990-04-26	Detail Changes: anchors @ 2 nd flr & north stair tube.	Max Falamaki	George Ulman
1990HO07084	1990-06-26	Detail Change: Anchor plate w/ bolts welded and adding bolts to frame – 2x nailer conn.	Max Falamaki	George Ulman

Site 1 – 1638 North Las Palmas Avenue (APN #5547-014-044)

PERMIT	DATE	WORK PERFORMED	ARCHITECT OR	OWNER
NUMBER	DATE		ENGINEER	OWNER
1916LA03030	1916-05-11	[6663-6665 Selma Ave.] New – Dwelling. [34x32]	H. W. Wood	E. S. Talbott
1925LA39717	1925-11-18	New – Stores. 3 rooms.	None listed	W. A. Prince
1926LA35481	1926-11-06	Build [illegible] galvanized iron cement floor. [9x14]	None listed	Harry F. [illegible]
1928LA13039	1928-05-05	Remove glass front on store and install accordion doors for a market. No structural changes – no mezzanine.	None listed	Mrs. W. A. Prince
1945LA01000	1945-01-19	Alter front from folding doors to solid door & windows. General alterations. No struct. change.	None	James Lee "Shanty" Healy
1946LA29028	1946-11-26	Alter front 11x14 removing plate glass replace with plaster wall and leaded glass windows. Put in fireplace on back outside wall. Build new toilet room [6'0"x9'0"]. Plate glass window over [illegible] front.	None listed	Tony McLean Leasee
1950LA17664	1950-06-26	1 Neon Sign.	None listed	House of Ivy
1950LA20846	1950-08-31	Termite & fungus repair.	None listed	Mrs. Ellen Forte
1953LA72650	1953-11-05	New – Storage Shed. [12x12]	None listed	Neal Patler
1959LA25634	1959-03-03	Repair fire damage. [10%]	None listed	Ellen Forte
1959LA28107	1959-03-31	1 story, 9x9 storage building addition to existing 27x56 bar & restaurant.	None listed	Mrs. Ellen Forte
1961LA87727	1961-05-08	New window and 2 door in ext wall.	None listed	Harry Sanoff – Neal Patler
1963LA32786	1963-03-12	1 2x70 bar and a 13x18 storage room convt from a portion of a nonconforming, one-sty, V, 40x70 irreg shaped comm bldg.	None listed	Neal Patler

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PERMIT NUMBER	DATE	WORK PERFORMED	ARCHITECT OR ENGINEER	OWNER
1963LA32787	1963-03-12	Offices converted from a 28x56 portion of a nonconforming, one-sty, V, 40x70 irreg shaped comm bldg.	None listed	Neal Patler
1966LA23339	1966-04-18	Remodeling – two new cased openings (Enlarge existing opening).	None listed	Harry Sanoff
1968LA66627	1968-05-14	Interior remodeling.	None listed	Wm. Swanson
1970LA05444	1970-03-18	Occupancy survey under 2500 sq ft.	None listed	Catherine Telliver
1995LA45780	1995-12-18	New 8 foot block wall.	Narduli/Grinstein	Michelle Lamy, Lamy/Casanova Cor
1996LA47125	1996-01-03	New shed for alcohol storage/60 sq ft.	Narduli/Grinstein	Michelle Lamy, Lamy/Casanova Cor
1996LA51112	1996-05-14	[6663 Selma Ave] Demolition of footings only. Apartment building to be relocated. Relocation permit issued for apt building on separate permit.	Narduli/Grinstein	Tuller Carol
1996LA51157	1996-05-14	Relocation of building only. Relocate 3 unit Apt Bldg on new foundation w/ modification by Mr. Y. Chou "to relocate 3 unit apartment bldg. and to postpone improvements to said bldg. until building permit is obtained to change to the use to restaurant/office." 161	Sanders Narduli	Lamy/Casanova Corp
1996LA55567	1996-09-09	Change use of relocated 3 unit apt bldg to restaurant dining office, create addition to connect existing restaurant to relocated building remodel.	Narduli/Grinstein	Michelle Lamy, Lamy/Casanova Cor

 $^{^{161}}$ For original construction and prior alteration history of residence relocated to the subject property, refer to permits #1916LA03030, #1968LA60638, and #1996LA51112 for 6663-6667 West Selma Avenue.

PERMIT NUMBER	DATE	WORK PERFORMED	ARCHITECT OR ENGINEER	OWNER
1996LA57279	1996-10-22	Gate posts.	Narduli/Grinstein	Michelle Lamy, Lamy/Casanova Cor
96030-10000- 00052	1996-10-22	Recompaction for building.	None listed	Simon, Joseph E Et Al & Simon, John P
97016-10000- 07879	1997-04-14	Change owner on permit 96LA55567	Susan Deborah Narduli	Dr. Winkie
01016-30000- 02339	2001-06-18	Restructure store front, install 2 roll-up doors, remove front exist door in (e) restaurant.	Jeffrey Allsbrook	Lamy/Casanova Corp
10016-10000- 15778	2011-01-27	Interior remodel to change portions of existing restaurant area to dance floor area with live entertainment of 200 sq t per ZA 95-0282(CUB)(CUX). No other construction and no change in parking.	George William Kelly	J and J Property Company, LLC
11014-10000- 02829	2011-09-30	Proposed architectural features (beams / columns) over an existing outdoor dining patio at rear of an existing restaurant w/ existing outdoor dining. No roof cover of any kind (solid/mesh/cloth/etc) is permitted under this approval.	Ralph Schubart Gentile	J and J Property Company, LLC
11016-10000- 10373	2011-07-25	T.I. of an (e) restaurant – interior remodel of portion of dining and restroom areas (2663 sf) and exterior remodel of open dining area at courtyard (2627 sf).	Ralph Schubart Gentile	J and J Property Company, LLC
11016-10000- 20959	2012-04-24	Proposed roof coverings (cloth cover) over structure approved under PCIS #11014-10000-02829. This structure is for a roof over an existing dining area.	Amir Massoumi [engineer]	J and J Property Company, LLC

Site 2 – 1638 North Cherokee Avenue (APN #5547-015-026)

PERMIT NUMBER	DATE	WORK PERFORMED	ARCHITECT OR ENGINEER	OWNER
1930LA17280	1930-07-24	Adding an addition of 50x125 to existing building.	Gordon B. Kaufmann	Chamberlain & Proctor
1977LA39539	1977-02-08	New 1 story, type III A, 49x125 retail store.	William Dalziel	Mrs. Mary Alice Hiss
1977LA49365	1977-08-05	Change brk, walls to blk, change contractor/change engineer, change bld. to type IIIB on permit 39539/77.	Stan Slavoff [engineer]	Mrs. Mary Alice Hiss
1986LA49542	1986-10-30	Support structure for mech. equipment on roof. (No structural work).	Mark Grigorian & Assoc.	Grant Auto Park, George W. Ulman
1989LA35650	1989-06-22	Change use & tenant improvement – non-structural. Change of use from retail to a photo studio.	Harold Zellman & Assoc.	Coppos Films
1989WL83023	1989-06-28	New openings cut in existing concrete block exterior wall.	Harold Zellman & Assoc.	Coppos Films
1993HO21281	1993-02-10	Patch, paint & repair.	30 th St Arch	Ulman Trust
1995WV22086	1995-01-09	Built up roofing Class A 94 sq.	None listed	Grant Parking
10016-10000- 08170	2010-06-03	Beauty salon (1080 sq ft + 210 sq ft) mezzanine.	None listed	J and J Property Company, LLC
10016-10000- 14369	2010-10-12	Repairs to shell (interior improvements only) to include pony wall construction on mezzanine, retrofitting one washroom for accessible compliance, drywall repair as needed and painting.	Edward W. Powell	J and J Property Company, LLC

Site 2 – 1642-1648 North Cherokee Avenue (APN #5547-015-026)

PERMIT	DATE	WORK PERFORMED	ARCHITECT OR	OWNER
NUMBER			ENGINEER	
1929LA07458	1929-03-20	New Stores. 4 rooms.	Gordon B. Kaufmann	Chamberlain & Proctor
1931LA06066	1931-03-24	Install store front, inclusive wiring, plate, marble terrazzo, bulkheads, front trim & doors, [illegible] and paint. No structural change	G. B. Kaufmann	Proctor & Chamberlain
1944LA19176	1944-10-25	New Roof – 15# felt – 90# cap sheet.	None listed	Chamberlain & Proctor
1955LA05434	1955-01-27	New roofing.	None listed	Haig M. Prince
1956LA36293	1956-02-23	Parapet wall corr. Cherokee Ave and rear exit court.	None listed	Haig M. Prince
1959LA41199	1959-08-31	Change of occupancy survey 1216 sq ft. 15x70 beer bar, converted from a portion of an existing 1 story, type III-A, 60x70 brick commercial store building.	Wayne E. Jorgonsen	Haig M. Prince
1961LA02837	1961-12-05	Cut two openings 3'4"x6'8". Rehang 4 doors – swing out.	None listed	Haig M. Prince
1962LA00135	1962-01-03	Change of occupancy survey 1050 sq ft. A 14'6"x70 beer tavern converted from a portion of an existing one-story, Type III-A, brick, commercial stores building.	Wayne E. Jorgonsen	Haig M. Prince
1965LA80815	1965-03-26	Install false ceiling & interior non-bearing partitions.	None listed	Alex Furth
1965LA88481	1965-02-17	Mandatory items 11-14 see file X68214.	None listed	Haig M. Prince
1983LA74060	1983-10-06	Full compliance, Div. 68.	E. D. Birnbaum [engineer]	Mrs. Mary Hiss
1985LA24141	1985-09-19	Full compliance with division 88 class III.	M. G. A. [engineer]	Corky Ullman
1986LA30344	1986-02-07	Add one 6'6"x5'6" bath, frame 120' lf 2x6 wall, add 5 doors, relocate 6½ LF wall.	None listed	Corky Ullman

PERMIT NUMBER	DATE	WORK PERFORMED	ARCHITECT OR ENGINEER	OWNER
1992HO20863	1992-12-23	Complete work under 85LA24141/95% complete.	M. G. A. [engineer]	Corky Ullman
1993HO21281	1993-02-10	Patch, paint & repair.	30 th St Arch	Ulman Trust
1995WV22086	1995-01-09	Built up roofing class A 94 sq.	None listed	Grant Parking
13016-20000- 18996	2013-09-17	Apply cool roof product labeled and certified by Cool Roof Rating Council (CRRC).	None listed	J and J Property Company, LLC

Site 2 – 6626-6628 Hollywood Boulevard (APNs #5547-015-001 and #5547-015-004)

PERMIT NUMBER	DATE	WORK PERFORMED	ARCHITECT OR ENGINEER	OWNER
1927LA26768	1927-09-15	New Stores. 3 rooms. [50x90]	Norman W. Alpaugh	Mrs. Edith McDonald Chamberlain
1928LA10997	1928-04-16	Remodle [sic] store front. Excavate for new cellar, remove rear wall and extend present bldg. to additional 92 feet [50x92], new foundations and underpinning to present side walls, new roof trusses to new extension, compo. roofing, new plumbing etc.	Norman W. Alpaugh	Mrs. Edith McDonald Chamberlain
1934LA02456	1934-02-15	Moving doors back about 11'0" – no structural changes in storefront only.	H. B. Aarens	Hollywood Army & Navy Store
1945LA14905	1945-09-25	Relaying tile roof.	None listed	Pacific States Savings & Loan Co.
1946LA19252	1946-08-13	Alterations to building consisting of new storefront, new interior ceiling, new intermediate office floor and heating & ventilating system, wiring & fixtures.	None listed	Strasburg's of Hollywood
1946LA24450	1946-10-02	Addn. to bldg. alteration for which permit has been issued. (Plan Chk. No. 8424). Adding offices & storage space. File with 19252-46. [50x40]	Charles E. Fry	Max Strasburg
1946LA31656	1946-12-03	Remove store front up to lintel beam & erect protection fence.	Nisley Store Designer [illegible]	The Nisley Co.
1947LA00588	1947-01-14	Remodel store front as per plans & alter interior partitions.	None listed	The Nisley Co.
1947LA07703	1947-04-04	Extending intermediate floor, new partition in basement & first floor, additional wiring & fixtures.	Austin, Field, Fry & Criz	Strasburg's of Hollywood

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PERMIT NUMBER	DATE	WORK PERFORMED	WORK PERFORMED ARCHITECT OR ENGINEER	
1947LA25375	1947-09-22	Setting frame and setting cooling tower for air conditioning system on roof.		Debs Inc.
1955LA20337	1955-06-24	New shaft for elevator, new openings & loading dock.	D. Witherly [engineer]	The Orient
1955LA20810	1955-07-27	Remodel front.	David Witherly [engineer]	The Orient
1956LA52867	1956-09-13	Parapet wall corr. Rear exit court & west exit court.	None listed	The Orient Inc., c/o Mr. J. Y. Maeno
1983LA62707	1983-03-18	Installation of wall anchors.	Seni Paibul [engineer]	Orient Inc.
1986LA42802	1986-04-24	Full compliance with Div. 88.	Seni Paibul [engineer]	Orient Inc.
1987LA64332	1987-05-05	Full compliance with Div. 88 – Permit Revision LA 42802/86.	Seni Paibul [engineer]	Orient Inc. – Iwao Ishimiell
1988LA87605	1988-01-28	Change of contractor F/W LA64332.	H. D. Han AIA	The Orient Inc.
1988LA89244	1988-02-16	T-bar drop ceiling (1400).	None listed	The Orient Inc.
1993HO21282	1993-02-10	Clean, paint, repair.	30 th Street Arch	Stoney Ishimizy
1996LA53675	1996-07-18	Tenant improvement: Add new bathrooms, about 70 L.F. of wall, & cabinetry.	Steve Holt	Stony Ishmzu
1996LA55122	1996-08-23	Int. non-structural remodel, add 5/8 drywall to existing wall & ceiling, replace hollow core door with solid core door. Replace lighting in corridor.	Same as owner	The Orient Inc

Site 2 – 6630-6636 Hollywood Boulevard (APN #5547-015-026)

PERMIT NUMBER	DATE	WORK PERFORMED	ARCHITECT OR ENGINEER	OWNER
1927LA15875	1927-06-03	New Stores & Office. 13 rooms. [70x141]	Norman W. Alpaugh	Chamberlain & Proctor
1927LA17610	1927-06-21	To move east 2'6" line of columns #79 to 115, increasing span for beams between these columns and wall col's, and increase size of beams around stair framing.	Norman W. Alpaugh	Chamberlain & Proctor
1927LA19875	1927-07-12	Install elevator from 1 st to 2 nd floor, new elevator to extend from 1 st floor to pent house in roof.	Norman W. Alpaugh	Chamberlain & Proctor
1927LA31203	1927-10-20	Construct pre-cast stone ornamental marquise on structural steel frame as per plans and detail.	Norman W. Alpaugh	Chamberlain & Proctor
1930LA05323	1930-03-11	Rebuild old wooden waste bin with 8" brick walls and metal door – present box caught fire and was destroyed this bin sits in back of the store out side of building against [illegible] wall. No roof over, just a box and no door opening into the main building.	The Foss Co	Chamberlain & Proctor
1931LA03756 1931-02-26 New store fro removing [ille, replacing with		New store front and removing [illegible] and replacing with block vitrolite. No structural changes.	Max Maltzman	M. L. Lambert Lessee
1935LA01055	1935-01-21	Alter storefront. No structural changes.	None listed	Chamberlain & Proctor
1935LA09683	1935-06-10	Change store front. No structural change. Add partitions at rear of store 2x4-16" lathed and plastered [illegible].	Norstrom & Anderson	Guernsey & Denels
1937LA36373	1937-11-04	Remove present store front and install new store front. No work above transom bar. No structural changes.	Frank [illegible]	Simons Lunch Room Ltd.

PERMIT NUMBER				OWNER
1939LA05000	1939-02-08	Addition of frame partitions in existing rooms. Addition of 2 small rooms for demonstration of radios. All new construction to be frame and plaster.		The Music Shop
1940LA00851	1940-01-08	Remodel [sic] exist. front & side return, including store fronts as shown on plans.	Norstrom & Anderson	Chamberlain & Proctor
1941LA16923	1941-07-16	New brick addition rear [20x42], new front, structural glass, lumber and labor, plumbing, electrical, plastering, steel, concrete [illegible], etc. Plans & calculations.	New brick addition rear [20x42], new front, structural glass, lumber and labor, plumbing, electrical, plastering, steel, concrete [illegible],	
1945LA17478	1945-11-06	Remodel 3 exist. shops & making into one store. Enlarge exist. mezz floor. Add new display window. Add to exist. glass veneer facing on front. Add new non bearing office partitions. Install new light fixtures.	Rowland H. Crawford	Coldwell-Banker Co.
1951LA20848	1951-12-20	Install new composition roofing over present roof consisting of one layer 15 felt and one layer 90 roofing mopped on with asphalt. [Illegible] firewalls to be mopped with [illegible].	None listed	Haig M. Prince
1956LA36296	1956-02-23	Parapet wall bracing – tile replacement – Hollywood Blvd. & rear & side exit.	wall bracing – tile None listed Haig M. ment – Hollywood	
1959LA45835	1959-10-29	Remove int. partitions & change from music store to super market. Const. two new stairs and enclose front in glass.	None listed	Haig M. Prince
1959LA46117	1959-11-02	Increase valuation on permit LA45835/59 from \$1250.00 to \$3500.00.	None listed	Haig Prince
1959LA49941	1959-12-22	Concrete ramp at rear entrance.	None listed	Haig M. Prince

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PERMIT DATE NUMBER		WORK PERFORMED	ARCHITECT OR ENGINEER	OWNER
1959LA49942	1959-12-22	New 1 story, type V, 9x31 machine & equipment room.	None listed	Haig M. Prince
1960LA54332	1960-02-29	Extend wood loading dock 16x20 – 4' high. Not roofed.	None listed	Hollywood Food Mart
1960LA57777	1960-04-11	Perma stone existing store fronts 2 feet high.	None listed	Haig M. Prince
1960LA64964	1960-07-11	Repair fire damage only.	None listed	Haig M. Prince
1930LA74920	1960-11-16	Reroofing.	None listed	Haig M. Prince
1965LA90618	1965-03-16	Corrections according to job order c 44439, file x 34373. Item 2 only (new stairway).	None listed	Haig M. Prince
1966LA31327	1966-08-17	Comply with J.O. C-36945 and C 44439 and Dept File x34373. (1) Remove refrigerator [illegible] (2) Close openings on west wall (3) Phone calls & details for addition to 1st floor & mezzanine.	John Robert Lander [engineer]	Haig Prince
1966LA31328	1966-08-17	A 70x141 retail sporting goods store converted from the G-2 market first floor portion of a nonconforming two-story, Type IIIB, 70x141 office and store building.	John R. Lander [engineer]	Haig Prince
1990LA58267			Poland Architects	6630-6634 Hollywood Blvd. Partnership
1990LA67602	1990-12-06	Remodel storefront, parapets, replace windows and doors; roll up doors	Fernando Juarez Assoc.	George Ullman / Bijan Dokhanian
1991LA69313	1991-01-16	•		Bijan Dokhanian
1992LA96233	1992-09-10	Relocate the existing store fronts.	None listed	Bijan Dokhanian
1993HO21284	1993-02-10	Patch, paint & repair.	30 th Street Arch	Royal Crown Estates

PERMIT NUMBER	DATE	WORK PERFORMED	ARCHITECT OR ENGINEER	OWNER	163
10016-10000- 16419	2010-10-19	Restore elevator. Upgrade 2 nd floor & restrooms to accessibility compliance, repair drywall, paint interior.	Edward W. Powell	J And J Property Company, LLC	

Tenant chronologies for each property to be evaluated are included below. These reflect a compilation of city directory listings, building permit records, atlas notations, and information derived from newspaper articles and advertisements. In most cases, information has been reproduced exactly as it appears. Note that the only years included are those for which information was available; in many instances, there were no listings available for a particular year. It should also be noted that city directory listings often reflect tenancies held during the previous year and therefore may not be up to date.

Site 1: 1641-1645 North Cherokee Avenue (APN #5547-014-009)

	1641 North Cherokee Avenue	1643 North Cherokee Avenue	1645 North Cherokee Avenue
1922			Walter Gage Piano House
1923	Holly Leaves Inc [newspaper]		Walter R Gage Piano House
1924	Holly Leaves Inc [newspaper]		Walter R Gage Piano House
1925	Holly Leaves Inc [newspaper]		G. A. Coulter; Hollywood
			Advertising Club
1926			Advertising Club of Hollywood;
			Hollywood Magazine; Holly Leaves
			Inc [newspaper]
1927	Oscar L Doolittle radio equipment		Holly Leaves Inc [newspaper];
	and supplies; Walter R Gage Co		Hollywood Magazine; Advertising
	piano dealer; Hollywood Radio		Club of Hollywood
	Exchange		
1928	Oscar L Doolittle radio equipment	Café De France	Holly Leaves Inc [newspaper];
	and supplies; Walter R Gage music		Hollywood Magazine
	merchandise/music teacher;		
	Hollywood Radio Exchange (June);		
	Café De France (December)		
1929	Oscar L Doolittle radio equipment		
	and supplies; Walter R Gage music		
	dealer; Hertz Drive-Ur-Self Stations		
	Inc [automobiles rented]; Café De		
4000	France		
1930		John Topinas [restaurants and lunch	
1931	Jacob Akerstein barber	rooms]	Was Caisan [nastaunant]
1931	Samuel Polle barber	Benj Schwartz [restaurant]	Wm Gaiser [restaurant]
1933	Jacob Akerstein barber; John	David Unger [restaurant]	
1933	Marino shoe shiner	David Offger [restaurant]	
1934	John Akerstein barber	David Unger [restaurant]	
1935	Jack Akerstein barber	David Unger [restaurant]	
1936	Jack Akerstein barber; Hollywood	Truth Center of Hollywood;	Hollywood Unity Metaphysical
1930	Unity Metaphysical Center	Hollywood Unity Metaphysical	Center
	Officy Metaphysical Certical	Center	Center

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	1641 North Cherokee Avenue	1643 North Cherokee Avenue	1645 North Cherokee Avenue
1937	Jack Akerstein barber; Hollywood Unity Metaphysical Center	Truth Center of Hollywood; Hollywood Unity Metaphysical Center	Hollywood Unity Metaphysical Center
1938	Hollywood Unity Metaphysical Center	Hollywood Unity Metaphysical Center	Hollywood Unity Metaphysical Center
1939	Hollywood Unity Metaphysical Center	Hollywood Unity Metaphysical Center	Hollywood Unity Metaphysical Center
1940	_	Midi Inc cosmetic mfrs; Sam the Shoe Doctor	_
1941	Samuel Stein liquors	Jos Burstein shoe rpr	
1942	J Gordon Anderson liquors	Isaac M Burstein shoe rpr	
1945	E. C. Colligan service station		
1956	Biltmore Beauty, Hollywood Barber College Inc	_	
1957	Hollywood Barber College Inc		
1958	Hollywood Barber College Inc	Don Martin School of Radio and Television	_
1959	Hollywood Barber College Inc	Hollywood Barber College Inc	
1960		Hollywood Barber College; Don Martin School of Radio and Television	
1961		Hollywood Barber College	
1962		Hollywood Barber College	
1963		Hollywood Barber College	
1964		Hollywood Barber College	
1965		Hollywood Barber College	
1967		Hollywood Barber College	
1968		Hollywood Barber College	
1969			
1973		Never On Sunday Restaurant & Nightclub; Scheherazade Supper Club	_
1979		TVX Video City	
1980		TVX Video City	
1987		Oasis	

Site 1: 1638 North Las Palmas Avenue (APN #5547-014-044)

	1638 North Las Palmas Avenue
1925	Roxor R Ruthe [express, dray, and
	transfermen]
1926	Community Finance Corporation
1927	Las Palmas Garden Café
1928	Las Palmas Garden Café (Fred L and
	Mrs Ethel Eberhardt Douglas Baird)
1929	M. Soderberg [store]
1930	W H Davis meats – retail
1931	Wm H Davis grocer
1932	Wm H Davis grocer
1933	Wm H Davis grocer
1934	Wm H Davis grocer
1935	Wm H Davis grocer
1936	Wm H Davis grocer
1937	Wm H Davis grocer
1938	Wm H Davis grocer
1939	Wm H Davis grocer
1940	Chas H Baughn grocer
1941	Wm H Davis grocer
1942	
1943	
1944	
1945	Shanty Healy Tavern (Leland Healy)
1946	Shanty Healy's Tavern
1947	Shanty Healy's Corned Beef Tavern
1948	Shanty Tavern

	1638 North Las Palmas Avenue		
1949	Tavern Shanty Healy		
1950	House of Ivy		
1951	House of Ivy		
1952	House of Ivy		
1953			
1954	House of Ivy		
1955			
1956	House of Ivy Restaurant		
1957			
1958			
1959			
1960	House of Ivy Restaurant		
1961	House of Ivy		
1962	House of Ivy		
1963	House of Ivy; Owens Coffee Shop		
	(1638½) /Owen's Act IV		
1964	House of Ivy; Owens Coffee Shop		
	(1638½)		
1965			
1967	Las Palmas Coffee Shop		
1968			
1969			
1973			
1979			
1980			
1987	Akizu Restaurant		

Site 2: 1638 North Cherokee Avenue and 1642-1648 North Cherokee Avenue (APN #5547-015-026, APN #5547-015-026)

In order to better understand the historical context of neighborhood commercial development associated with both buildings, tenants at 1638 North Cherokee Avenue have been included for both the first building to be constructed on the site that was subsequently removed, as well as for the current building that now occupies the site. Tenants of the former structure have been shaded in gray. The new building was constructed in 1977.

	1638 North Cherokee Avenue	1642 North Cherokee Avenue	1644 North Cherokee Avenue	1646 North Cherokee Avenue	1648 North Cherokee Avenue
1929		Parking lot for C. H. Baker shoe store			Chas Leypoldt auto parking
1930	A & P	Parking lot for C. H. Baker shoe store	Maytag West Coast	Delicatessen	
1931	A & P	Truth Center	Maytag West Coast	Marie Iverson (baby shop)	M T Anderson sporting goods
1932	A & P	Truth Center of Hollywood		Arthur McDaniel (laboratory)	M T Anderson sporting goods
1933	A & P	Truth Center of Hollywood		Arthur McDaniel scalp dermatologist	Hollywood Community Relief Service
1934	A & P	Truth Center of Hollywood; sandwich shop	Hilma Mathews beauty shop; Mrs Ethyl Sweeney beauty shop	Arthur McDaniel beauty shop/McDaniel Hair Growing System	Ernest W Corbett clothes cleaner; Eagle Woolen Co Inc
1935	A & P	_	Josephine Beauty Shop (Josephine Butler Hilma Mathews)	Arthur McDaniel beauty shop	King Corbett clothes cleaner; Eagle Woolen Co
1936	A & P	George D Thomas manufacturing jeweler	Ryan Art Shop	S Arthur McDaniel beauty shop	Eagle Woolen Co; Benj Cogen tailors equipment; King Corbett clothes cleaner
1937	A & P	George D Thomas jewelry manufacturing	Mrs Lillian B Ryan religious articles	Edw T Weaver shoe repair	Benj Cogen tailors supplies
1938	Central Hardware Co				Benj Cogen tailors equipment
1939	Central Hardware Co	Western Turquoise Jewelry Co Inc	William E Prior radios	Jacob Akerstein barber; William Dye shoe shiner	Benj Cogen tailors equipment
1940	Central Hardware Co	W C Price radio sets and supplies	W E Prior	Jacob Akerstein barber	Benj Cogen tailors equipment

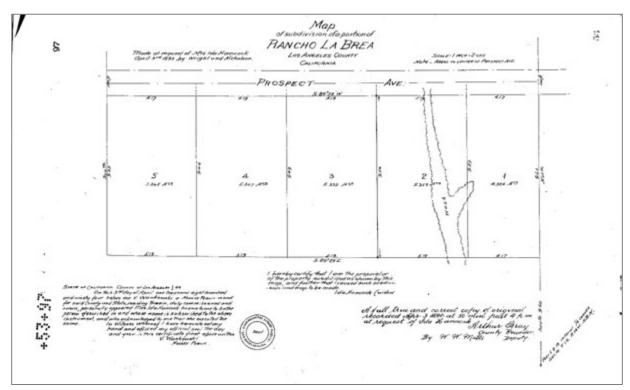
HISTORIC RESOURCES TECHNICAL REPORT

	1638 North Cherokee Avenue	1642 North Cherokee Avenue	1644 North Cherokee Avenue	1646 North Cherokee Avenue	1648 North Cherokee Avenue
1941	Hollywood Central Hardware Co	George D Thomas manufacturing jeweler	W E Prior recordings/electrical transcriptions	Jacob Akerstein barber	Benj Cogen notions and fancy goods
1942	Hollywood Central Hardware	George D Thomas manufacturing jeweler	Central Radio; W E Prior radio sets and supplies	_	Benj Cogen tailors supplies
1944	_	_	_	Billy James Portrait Studio; Ye Unique Book and Gift Shop	_
1945	_	Western Jewelry Co	Central Radio	Cherokee Gift Shop	
1946				Cherokee Gift Shop; Esperance	
1947				The House of Esperance (Isabel Crocker)	
1948	Hollywood Central Hardware	John Ladun, watch repairman; W E Prior		_	Eagle Woolen Co
1949	Hollywood Central Hardware	Ladun Jewelers	_	Cherokee Gift Shop; Dry cleaning/hand laundry business; The Francis Co (Nolan J Francis)	_
1950	Hollywood Central Hardware	Doll and Ladun [jewelers]	_	Cherokee Book & Photo Shop; Dry cleaning/hand laundry business	_
1955	Hollywood Central Hardware		Lloyd & Buswell		
1956	Hollywood Central Hardware (1636)	Commercial Serv Systems Inc		W E Prior	Eagle Woolen Co
1960	Hollywood Central Hardware (1636)	A C's Living Room Tavern	Johnny Caper's Music Serv	W E Prior	
1961	Hollywood Central Hardware (1636)	Aunt Charley's Living Room Tavern	Caper's Music Serv	W E Prior	Aunt Charley's Card
1962	Central Hardware Co (1636)	Aunt Charley's Living Room	R L O Dell	W E Prior	Bernies Discount Center
1963	Central Hardware Co (1636)	Aunt Charley's Living Room	Aunt Charley's Originals	W E Prior	Bernies Discount Center
1964	Central Hardware Co (1636)	A Cs Living Room- Tavern	_	_	Bernies Discount Center
1965	Central Hardware Co (1636)	House-Setting Sun		Cherokee Cleaners	Artist Recording Studio
1966					Dependable Record Distributors of Southern California

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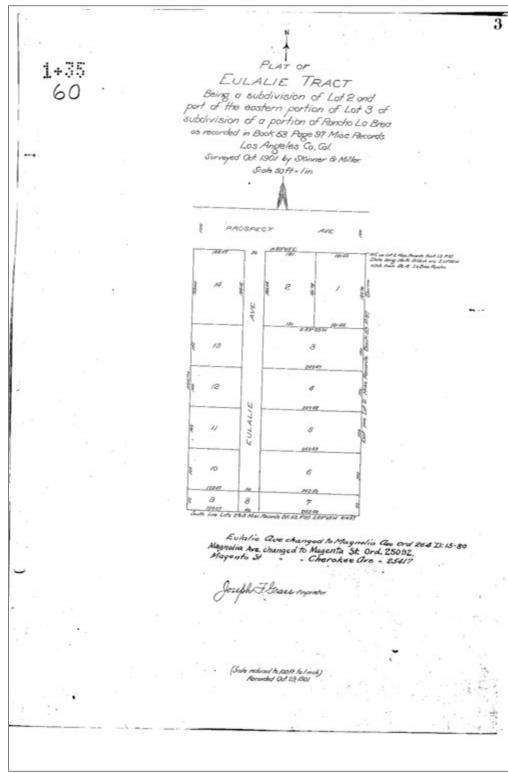
	1638 North Cherokee Avenue	1642 North Cherokee Avenue	1644 North Cherokee Avenue	1646 North Cherokee Avenue	1648 North Cherokee Avenue
1967	Central Hardware Co (1636)			Cherokee Cleaners	Artist Recording Studio
1968	Central Hardware Co (1636)	Ramse Co-Gift Wares	Morgan-Matheny	Cherokee Cleaners	Artist Recording Studio
1969	Central Hardware Co (1636)	Ramse Co-Gift Wares		Cherokee Cleaners	Artist Recording Studio
1972				Dry cleaning store	
1973	Hollywood Central Hardware Co (1636)			Columbia Custom Tailor	Acoustronics Sound Co; Artist Recording Studio
1974	_		Artists Recording Studio		
1977	Present building is constructed				
1980	Hollywood Central Hardware				
1982	Hollywood Central Hardware				
1987	Armistead Camera Rentals Inc	Truline Glass Rod Mfg Co	R C Vintage Studio Rentals		Int Refrigeration & Appliance Service

APPENDIX C – ARCHIVAL MAPS 170

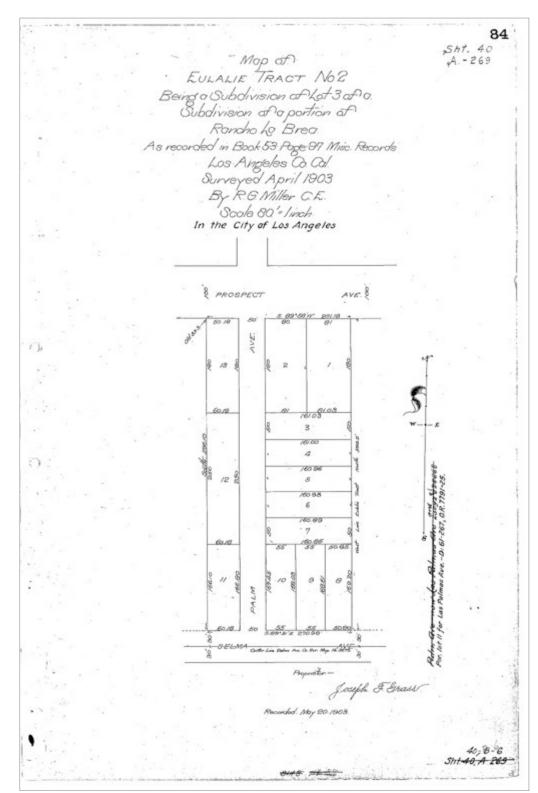


Map of subdivision of a portion of Rancho La Brea (MR053-097), 1894. County of Los Angeles Department of Public Works.

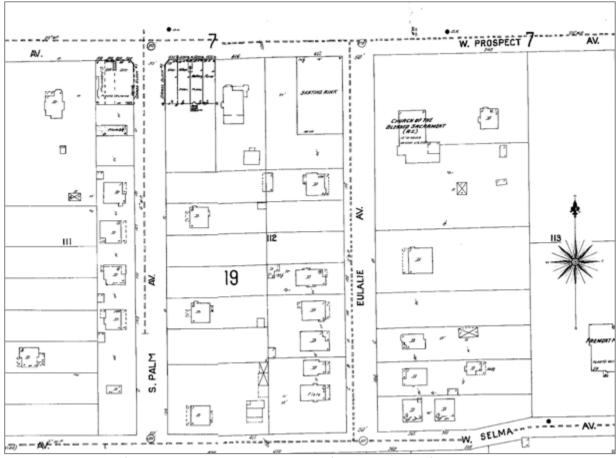
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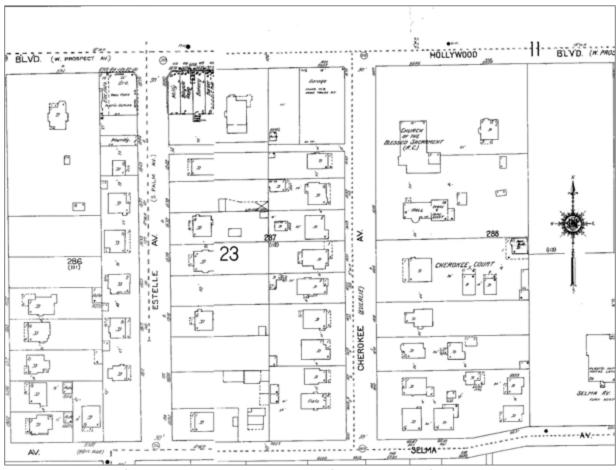
Plat of Eulalie Tract (MB001-035), 1901. County of Los Angeles Department of Public Works.



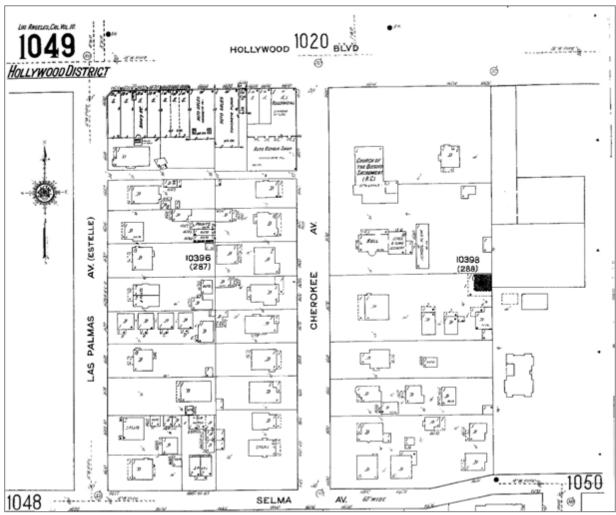
Map of Eulalie Tract No. 2 (MB003-084a), 1903. County of Los Angeles Department of Public Works.



Detail, composite of Sheets 19 and 20, *Insurance Maps of Los Angeles, California,* Sanborn Map Company, 1907. *Los Angeles Public Library.*

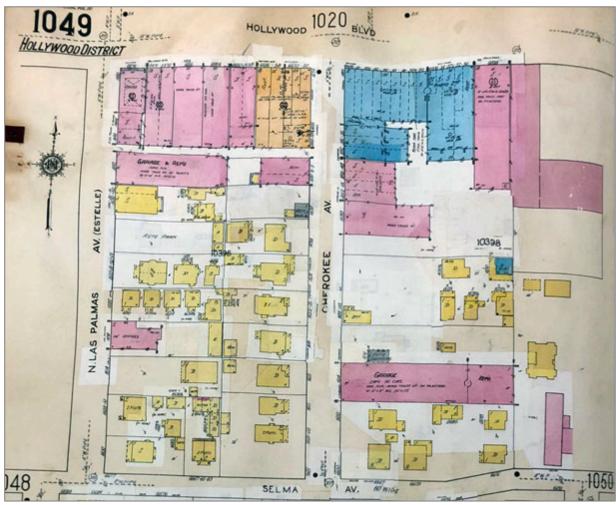


Detail, composite of Sheets 23 and 24, *Insurance Maps of Los Angeles, California,* Sanborn Map Company, 1913. *Los Angeles Public Library.*



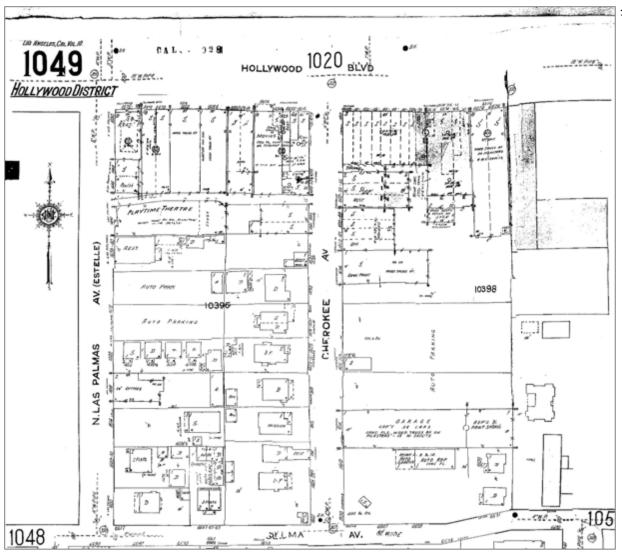
Detail, Sheet 1049, Insurance Maps of Los Angeles, California, Sanborn Map Company, 1919.

Los Angeles Public Library.



Detail, Sheet 1049, Insurance Maps of Los Angeles, California, Sanborn Map Company, 1935.

Los Angeles Public Library.



Detail, Sheet 1049, Insurance Maps of Los Angeles, California, Sanborn Map Company, 1950.

Los Angeles Public Library.

Site 1: Las Palmas Avenue



View looking northeast from North Las Palmas Avenue, circa 1975. Noirish Los Angeles.

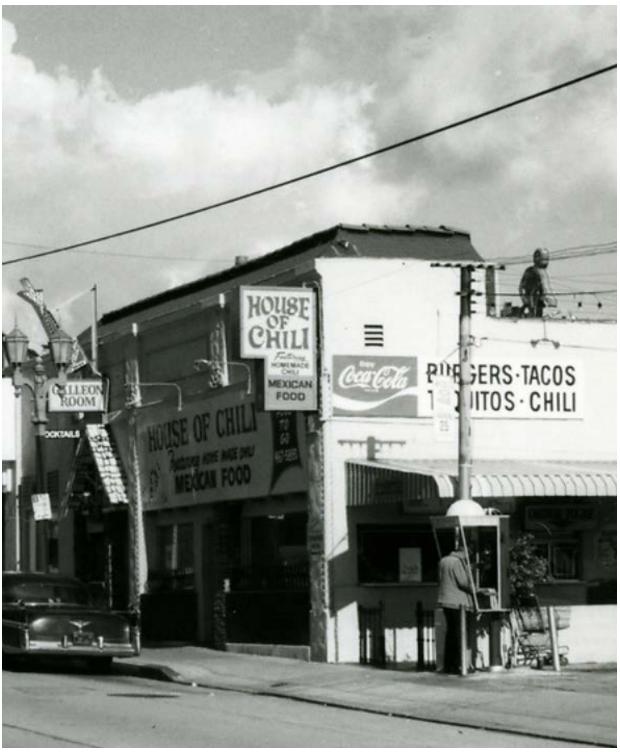
HISTORIC RESOURCES TECHNICAL REPORT



View looking south down North Las Palmas Avenue from Hollywood Boulevard, circa 1970. The Redwine Building at 1618 North Las Palmas Avenue is visible at left. *HollywoodPhotographs.com*.



View looking northeast toward 1638 North Las Palmas Avenue, circa 1971. HollywoodPhotographs.com.



Detail, 1638 North Las Palmas Avenue, view looking northeast, circa 1971. At the time the building housed the Galleon Room bar and the House of Chili restaurant. *HollywoodPhotographs.com*.

Hollywood Central



Las Palmas marquee, view looking southeast, 1975. The building at 1638 North Las Palmas Avenue, then housing the House of Ivy restaurant and the Galleon Room bar, is visible at far right. ONE National Gay and Lesbian Archives, University of Southern California.

Hollywood Central



1641-1645 North Cherokee Avenue, circa 1941. Noirish Los Angeles.

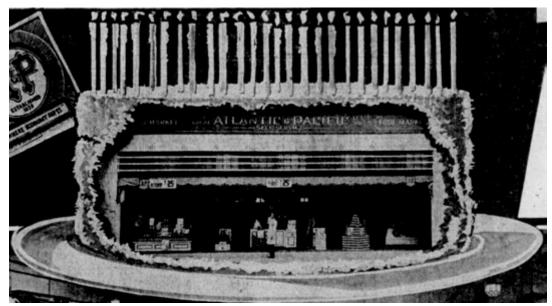


Photo illustration of the A&P supermarket initially constructed at 1638 North Cherokee Avenue, *Hollywood Daily Citizen*, October 30, 1930. This building was subsequently replaced with a new building of the same size in 1977.



The present building at 1638 North Cherokee Avenue, view looking northeast, circa 1978. *HollywoodPhotographs.com.*



The Cherokee Building, 6630-6648 Hollywood Boulevard, view looking southwest, circa 1927. *California State Library*.



The Cherokee Building, 6630-6648 Hollywood Boulevard, view looking southeast, circa 1927. *California State Library*.



Detail, 6630-6636 Hollywood Boulevard, view looking southwest, circa 1927. The northwest corner of 6626-6628 Hollywood Boulevard is visible at far left. *California State Library*.



Entrance to second-floor offices, 6630-6636 Hollywood Boulevard, view looking southeast, circa 1927. California State Library.

Hollywood Central



View looking south across Hollywood Boulevard toward 6630-6636 Hollywood Boulevard, circa 1945.

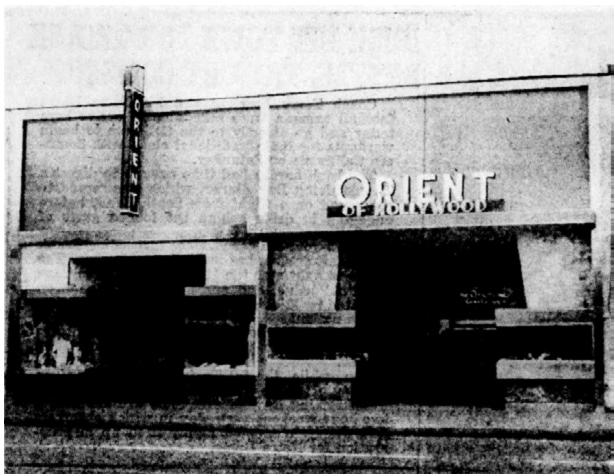
Noirish Los Angeles.



View looking southeast toward 6626-6628 Hollywood Boulevard, circa 1947. Noirish Los Angeles.



View looking southeast toward 6626-6628 Hollywood Boulevard (left, The Orient) and 6630-6636 Hollywood Boulevard (right, Denels Music Shop), circa 1957. Noirish Los Angeles.



"Bigger Store for Long Time Hollywood Firm," Hollywood Citizen-News, November 24, 1955.



View looking southwest toward 6626-6628 Hollywood Boulevard (left, The Orient) and 6630-6636 Hollywood Boulevard (right, Food Town), circa 1961. *Noirish Los Angeles*.



The Cherokee Building, 6630-6648 Hollywood Boulevard, view looking southeast, circa 1972. *HollywoodPhotographs.com*.



View looking east along Hollywood Boulevard, circa 1972. The building at 6626-6628 Hollywood Boulevard and the Cherokee Building are visible at right. *HollywoodPhotographs.com*.





Detail, 6626-6628 Hollywood Boulevard, view looking southeast, circa 1972. 6630-6636 Hollywood Boulevard is visible at right. *HollywoodPhotographs.com*.

Hollywood Central

Site 1: North Cherokee Avenue



North Cherokee Avenue, view looking northwest toward Hollywood Boulevard.



1641-1645 North Cherokee Avenue, view looking northwest from North Cherokee Avenue.

HISTORIC RESOURCES TECHNICAL REPORT



1641-1645 North Cherokee Avenue, view looking northeast from 1637 North Cherokee Avenue.



Parking lot at 1637 North Cherokee Avenue, view looking west from North Cherokee Avenue.



Parking lot at 1635-1637 North Cherokee Avenue, view looking southwest from 1637 North Cherokee Avenue.



Parking lot at 1625-1637 North Cherokee Avenue, view looking north from 1625 North Cherokee Avenue.

Site 1: North Las Palmas Avenue



Parking lot at 1610 North Las Palmas Avenue, view looking southeast from 1618 North Las Palmas Avenue.



1618 North Las Palmas Avenue, view looking south across rear portion of parcel at 1618 North Las Palmas.

Hollywood Central



Parking lot at 1624 North Las Palmas Avenue, view looking west from rear property line toward North Las Palmas Avenue.



Parking lot at 1624-1634 North Las Palmas Avenue, view looking northwest from rear property line toward North Las Palmas Avenue.



Parking lot at 1624-1634 North Las Palmas Avenue, view looking north from 1618 North Las Palmas Avenue.



Parking lot at 1624-1634 North Las Palmas Avenue, view looking southeast from North Las Palmas Avenue.



Parking lot at 1624-1634 North Las Palmas Avenue, view looking south toward 1618 North Las Palmas Avenue.



1638 North Las Palmas Avenue, view looking northeast from parking lot at 1634 North Las Palmas Avenue.

Hollywood Central



1638 North Las Palmas Avenue, view looking east from North Las Palmas Avenue.



Redwine Building (Historic-Cultural Monument No. 1114), 1618 North Las Palmas Avenue, view looking northeast from North Las Palmas Avenue.



1618 North Las Palmas Avenue, view looking east from North Las Palmas Avenue.



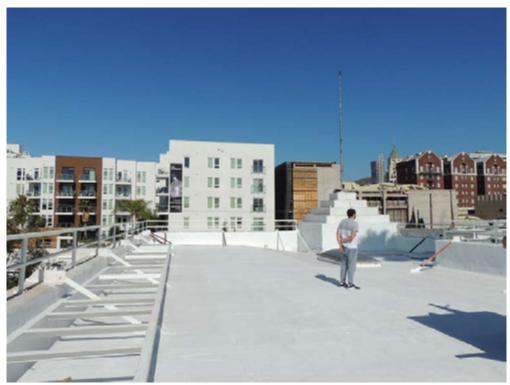
1618 North Las Palmas Avenue, view looking south toward north façade.



1618 North Las Palmas Avenue, view looking southwest toward North Las Palmas Avenue.



1618 North Las Palmas Avenue, view looking west toward rear (east) façade.



1618 North Las Palmas Avenue, roof, view looking east.

Hollywood Central



1618 North Las Palmas Avenue, rooftop penthouse, view looking southeast.



1618 North Las Palmas Avenue, first floor interior, primary (Las Palmas) entry, view looking southwest.

Hollywood Central



1618 North Las Palmas Avenue, first floor interior, entry hall.

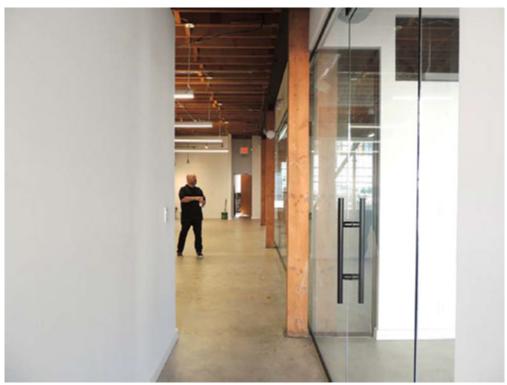


1618 North Las Palmas Avenue, first floor interior, entry hall ceiling.

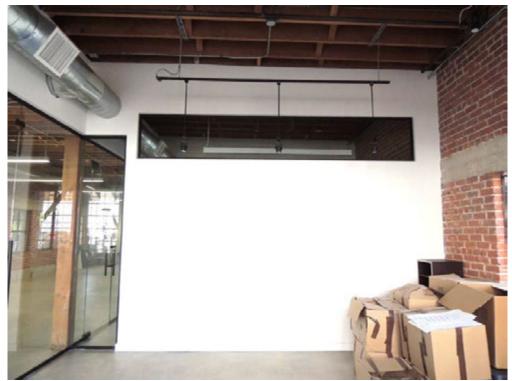
Hollywood Central



1618 North Las Palmas Avenue, first floor interior, view looking north toward primary (Las Palmas) entry.



1618 North Las Palmas Avenue, first floor interior, view looking east toward rear of building.



1618 North Las Palmas Avenue, first floor interior, view looking east.



1618 North Las Palmas Avenue, first floor interior, view looking west.

Hollywood Central



1618 North Las Palmas Avenue, first floor interior, view looking northwest.

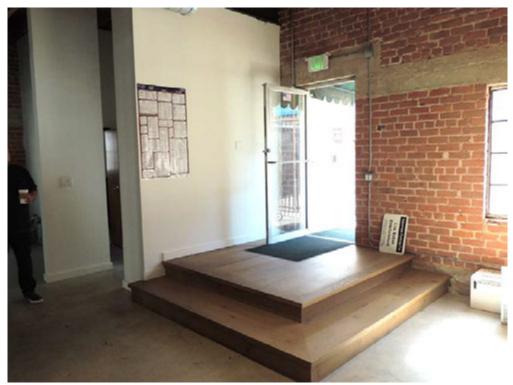


1618 North Las Palmas Avenue, first floor interior, view looking southwest.

Hollywood Central



1618 North Las Palmas Avenue, first floor interior, view looking southwest.



1618 North Las Palmas Avenue, first floor interior, rear entrance, view looking northwest.

Hollywood Central

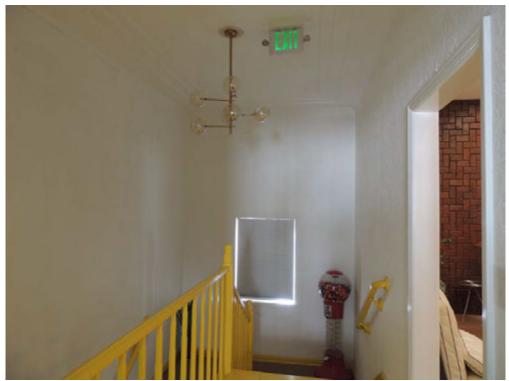


1618 North Las Palmas Avenue, entry hall stairway.

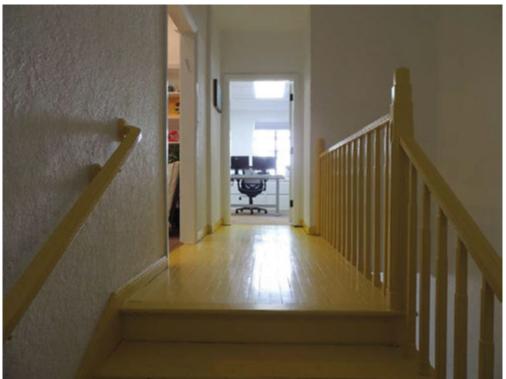


1618 North Las Palmas Avenue, entry hall stairway.

Hollywood Central

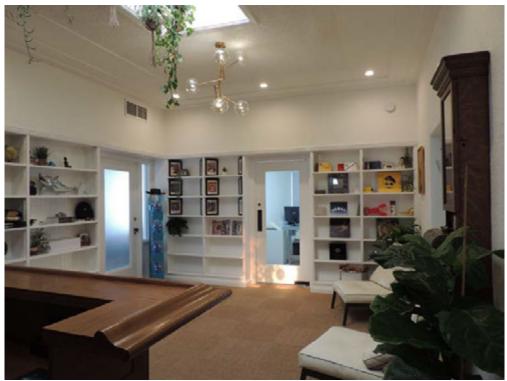


1618 North Las Palmas Avenue, entry hall stairway.

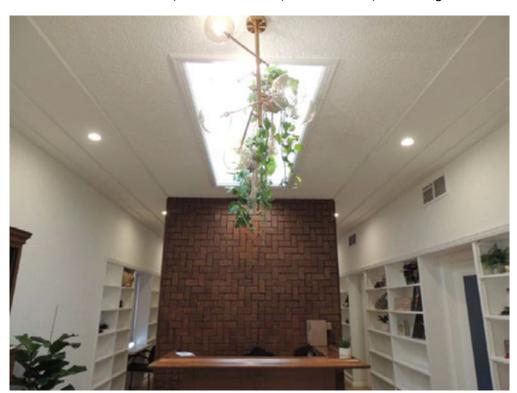


1618 North Las Palmas Avenue, second floor interior, entry hall stairway.

Hollywood Central



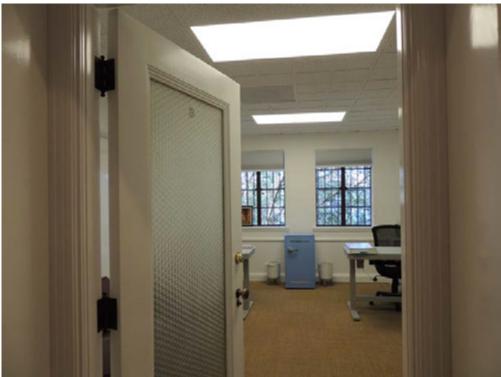
 ${\bf 1618\ North\ Las\ Palmas\ Avenue,\ second\ floor\ interior,\ conference\ room,\ view\ looking\ southwest.}$



1618 North Las Palmas Avenue, second floor interior, conference room, view looking east.

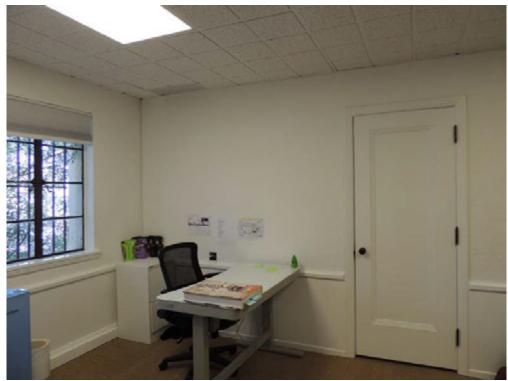


1618 North Las Palmas Avenue, second floor interior, conference room, view looking west.

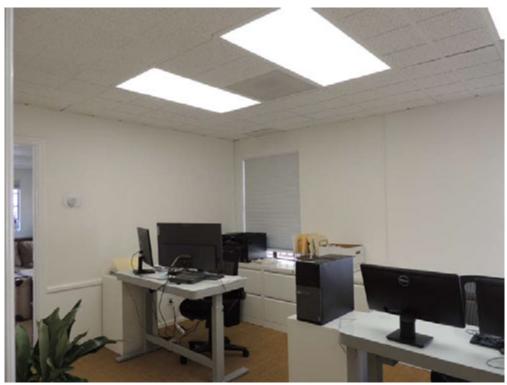


1618 North Las Palmas Avenue, second floor interior, individual offices.

Hollywood Central



1618 North Las Palmas Avenue, second floor interior, individual offices.

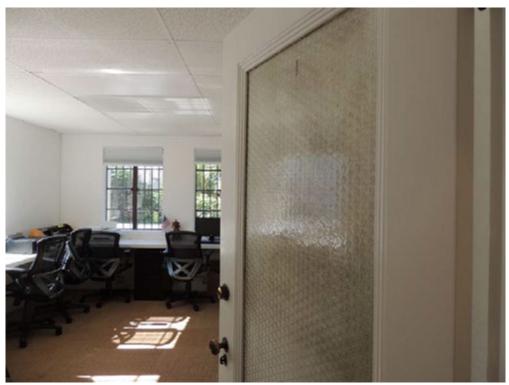


1618 North Las Palmas Avenue, second floor interior, individual offices.

Hollywood Central



1618 North Las Palmas Avenue, second floor interior, individual offices.



1618 North Las Palmas Avenue, second floor interior, individual offices.

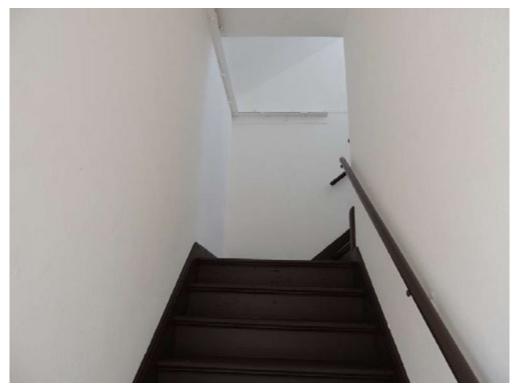
Hollywood Central



1618 North Las Palmas Avenue, second floor interior, individual offices.



1618 North Las Palmas Avenue, second floor interior, conference room, rear service area.



1618 North Las Palmas Avenue, second floor interior, stair to roof.



1642-1648 North Cherokee Avenue, view looking east from North Cherokee Avenue.



1638 North Cherokee Avenue, view looking east from North Cherokee Avenue.



1638 North Cherokee Avenue, view looking northeast from North Cherokee Avenue.



1638 North Cherokee Avenue, view looking east from North Cherokee Avenue.



1638 North Cherokee Avenue, view looking northwest toward rear façade.



1638 North Cherokee Avenue, view looking northwest across parking lot at rear of building. The rear of 6630-6636 Hollywood Boulevard is visible at right.



Hollywood Boulevard, view looking southwest toward 6626-6628 Hollywood Boulevard (left) and 6630-6636 Hollywood Boulevard (center).



6626-6628 Hollywood Boulevard, view looking southwest across Hollywood Boulevard.



6626-6628 Hollywood Boulevard, view looking northeast toward rear (south) façade.



View looking north toward neighboring building to the east at 6622-6624½ Hollywood Boulevard, with east façade of 6626-6628 Hollywood Boulevard visible at left.



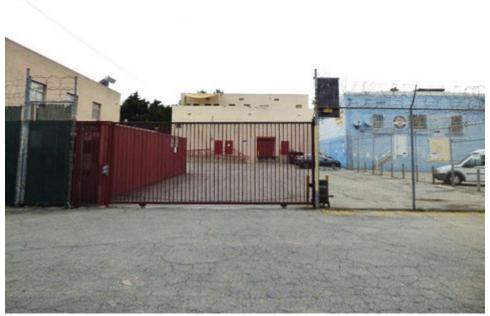
View looking northeast across parking lots to the rear of 6626-6628 Hollywood Boulevard and 6630-6636 Hollywood Boulevard.



6630-6636 Hollywood Boulevard, view looking south across Hollywood Boulevard.



6630-6636 Hollywood Boulevard, view looking north toward rear (south) façade.



6630-6636 Hollywood Boulevard, view looking north across parking lot at rear of parcel toward rear (south) façade.

Hollywood Central

The Project is located on two separate sites as identified on the first page on the EAF accompanying this attachment. Generally, the Project is a mixed use commercial and residential project contained within four existing buildings that will remain and four proposed new buildings. Two existing buildings that will remain located on Site 1 front on Las Palmas Avenue, and two existing buildings that will remain located on Site 2 front Hollywood Boulevard. Site 1 will be improved with three new buildings and Site 2 will be improved with one new building. The Project is comprised of: approximately 67,328 square feet of restaurant/retail (24,924 square feet is existing and will remain); approximately 44,778 square feet of office (14,290 is existing and will remain); and approximately 633 multi-family residential dwelling units.

The Site 1 portion contains 78,675 square feet of lot area. The Site 1 portion of the Project involves the construction, use and maintenance of a mixed use commercial and residential project. The building fronting Cherokee Avenue (1637 N. Cherokee Avenue) will be demolished. The large surface parking lot will be removed. Two existing budlings fronting Las Palmas Avenue (1638 N. Las Palmas Avenue identified as Building 4 and 1618 N. Las Palmas Avenue identified as Building 5) will remain and contain a total of 11,333 square feet that will be used for commercial purposes (restaurant in Building 4 and office in Building 5). Building 4's existing covered patio will be demolished. Three new buildings containing a total of 393 dwelling units and commercial uses are proposed on Site 1. Building 1 will contain 46 dwelling units (45,320 square feet of floor area) and 4,392 square feet of ground floor restaurant uses. Building 1will reach 7 stories and a height of 94 feet 1 and ¼ inch to the top of the roof. Building 2 will contain and 281 dwelling units on levels 3 to 14 with roof deck and community room on level 15 (227,144 square feet of floor area) and 30,571 square feet of restaurant and small market uses on levels 1 and 2. Building 2 will reach 15 stories and up to 182 feet 7 and 1/8 inch to the top of the roof. Building 3 will contain 66 dwelling units (48,045 square feet of floor area) and 7,689 square feet of ground floor office uses. Building 3 will reach 7 stories and a height of up to 77 feet 6 and ¼ inch to the top of the roof. Site 1 will provide 40,775 square feet of open space in the form of recreation rooms, community rooms, courtyards, roof decks and open pedestrian paseos. A 3 level below grade parking structure will be located under Buildings 1, 2 and 3. A total of 336 parking spaces are proposed within the parking structure. LAMC required bicycle parking (38 short term and 194 long term spaces) will be provided. Site 1 contains a total of 374,494 square feet of floor area (including the two structures that will remain) for an FAR of 4.76 to 1.

The Site 2 portion contains 51,058 square feet of lot area. The Site 2 portion of the Project involves the construction, use and maintenance of a mixed use commercial and residential project with appx 58,121 square feet of commercial restaurant and office uses, of which 27,881 is existing and will remain, 240 residential dwelling units (171,640 square feet of floor area), and ancillary below grade parking. The existing structures fronting Hollywood Blvd (6636 Hollywood Blvd identified as Building 7 and 6626 Hollywood Blvd identified as Building 8) will remain with commercial uses. An approximately 18 foot 6 inch rear portion of Building 7 will be demolished, and an approximately 58 foot 6 inch rear portion of Building 8 will also be demolished. After demolition, Building 7 and Building 8 will both have a depth of 124 feet 2 inches from Hollywood Boulevard. Building 7 will contain approximately 7,862 square feet of ground floor restaurant and approximately 8,462 square feet of office uses (287 square foot ground floor office lobby and 8,175 square feet of office on the second floor). Building 8 will contain

approximately 11,557 square feet of restaurant uses. Building 6 will include 7,441 square feet of restaurant on the ground floor, 22,799 square feet of office on the ground floor and level 2 and 240 dwelling units (171,640 square feet) on levels 3 to 12 and community rooms with roof decks on level 13. Building 6 will reach 13 stories and a height of up to 154 feet 6 and ¼ inches. Building 6 will contain 25,500 square feet of open space as required by the LAMC. A two level parking garage will be located under Building 6 and will contain 108 vehicle parking spaces. This portion of the Project will include 22 short term bicycle parking spaces and 144 long term bicycle parking spaces as required by the LAMC. Site 2 contains a total of 229,761 (including the two structures that will remain) for an FAR of 4.5 to 1.

Hollywood Central

HOLLYWOOD CENTRAL SITE 1 DEVELOPMENT



PROJECT OVERVIEW							
		SF	UNITS				
	RESIDENTIAL	320,509 SF	393 UNITS				
PROGRAM	RESTAURANT	34,963 SF					
	OFFICE	7,689 SF					
	EXISTING BUILDINGS	11,333 SF					
TOTAL GROSS I	BUILDING AREA	374,494 SF					
OVERA	ALL FAR	4.76					
TOTAL PARKING	REQUIRED	245 STALLS					
TOTAL PARKING	PROVIDED	336 STALLS					
TOTAL BICYCLE	REQUIRED	232 SPACES					
SPACES	PROVIDED	232 SPACES					

REQUESTED ACTIONS:

- 1. VESTING ZONE AND HEIGHT DISTRICT CHANGE
- 2. SITE PLAN REVIEW
- 3. MASTER CONDITIONAL USE PERMIT FOR ALCOHOL ON ENTIRE PROJECT
- 4. WAIVER OF DEDICATION FOR NORTH LAS PALMAS AND CHEROKEE AVENUE

TEAM DIRECTORY						
APPLICANT ARCHITECT						
J+J HOLLYWOOD, LLC.	STUDIO ONE ELEVEN					
	245 E 3rd ST.					
	LONG BEACH, CA 90802					
ATTN:	ATTN: MARCUS LUCIANI					
E-MAIL:	E-MAIL: MARCUS.LUCIANI@STUDIO-111.COM					
TEL:	TEL: (562) 901-1500					

LAND USE ATTORNEY	LANDSCAPE ARCHITECT				
GONZALES LAW GROUP	STUDIO ONE ELEVEN				
800 WILSHIRE BLVD., SUITE 860	245 E 3rd ST.				
LOS ANGELES, CA 90017	LONG BEACH, CA 90802				
ATTN: MICHAEL GONZALES	ATTN: KIRK KELLER				
E-MAIL: MGONZALES@GONZALESLAWGROUP.COM	E-MAIL: KIRK.KELLER@STUDIO-111.COM				
TEL: (213) 279-6965	TEL: (562) 901-1500				

TRA	NSPORTATION AND MOBILITY CONSULTING
GIBSON	TRANSPORTATION CONSULTING, INC.
555 W 5	th ST., SUITE 3375
LOS ANG	SELES, CA 90013
ATTN: E	MILY WONG
EMAIL:	EWONG@GIBSONTRANS.COM
TEL:	(213) 683-0088

	SHEET INDEX							
SHEET#	DESCRIPTION	SCALE						
GENE	GENERAL							
A0.01	PROJECT INFORMATION							
A0.02	VICINITY MAP							
A0.03	SITE PHOTOS							
A0.04	PROJECT SUMMARY							
A0.05	PROJECT SUMMARY							
A0.06	PROGRAM DIAGRAM							
A0.07	SITE SURVEY							
A0.08	SITE SURVEY							
A0.09	FAR CACULATIONS AND PLAN DIAGRAMS	1" = 60'-0"						
A0.10	OPEN SPACE CALCULATIONS AND DIAGRAMS	1" = 40'-0"						
A1.01	DEMO PLAN	1" = 40'-0"						
A1.02	PLOT PLAN	1" = 40'-0"						
A1.03	OVERALL SITE PLAN	1" = 40'-0"						

ARCH	IITECTURAL	
FLOOR	PLANS	
A2.01	LEVEL P3 FLOOR PLAN	1/16" = 1'-0"
A2.02	LEVEL P2 FLOOR PLAN	1/16" = 1'-0"
A2.03	LEVEL P1 FLOOR PLAN	1/16" = 1'-0"
A2.04	LEVEL 1 FLOOR PLAN	1/16" = 1'-0"
A2.05	LEVEL 2 FLOOR PLAN	1/16" = 1'-0"
A2.06	LEVEL 3 FLOOR PLAN	1/16" = 1'-0"
A2.07	LEVELS 4-6 FLOOR PLAN	1/16" = 1'-0"
A2.08	LEVEL 7 FLOOR PLAN	1/16" = 1'-0"
A2.09	LEVEL 8 FLOOR PLAN	1/16" = 1'-0"
A2.10	LEVELS 9-14 FLOOR PLAN	1/16" = 1'-0"
A2.11	LEVEL 15 ROOF DECK PLAN	1/16" = 1'-0"
A2.12	ROOF PLAN	1/16" = 1'-0"
A3.01	MCUP - OVERALL PLAN	1/16" = 1'-0"
A3.02	MCUP - ENLARGED PLANS	1/8" = 1'-0"
A3.03	MCUP - ENLARGED PLANS	1/8" = 1'-0"
A3.04	MCUP - ENLARGED PLANS	1/8" = 1'-0"
A3.05	MCUP - ENLARGED PLANS	1/8" = 1'-0"
A3.06	MCUP - ENLARGED PLANS	1/8" = 1'-0"
UNIT P	LANS	
A4.01	ENLARGED MODULAR UNIT PLANS	1/4" = 1'-0"
A4.02	ENLARGED MODULAR UNIT PLANS	1/4" = 1'-0"
A4.03	ENLARGED MODULAR UNIT PLANS	1/4" = 1'-0"
SECTIC	N	
A5.01	SITE SECTION	1/16" = 1'-0"
A5.02	BUILDING 1 SECTION	1/16" = 1'-0"
A5.03	BUILDING 2 SECTION	1/16" = 1'-0"
A5.04	BUILDING 3 SECTION	1/16" = 1'-0"
ELEVA	TION & EXTERIOR MATERIALS	
A6.01	BUILDING 1 ELEVATIONS	1/16" = 1'-0"
A6.02	BUILDING 2 ELEVATIONS	1/16" = 1'-0"
A6.03	BUILDING 2 ELEVATIONS	1/16" = 1'-0"
A6.04	BUILDING 3 ELEVATIONS	1/16" = 1'-0"
A7.01	EXTERIOR MATERIALS	
RENDE	RINGS	
A8.01	VIEW OF BUILDING 1 ON N. CHEROKEE AVE.	
A8.02	VIEW OF PLAZA ON MAIN PASEO	
·		

LAND	SCAPE	
L0.01	LANDSCAPE CALCULATIONS	
L1.00	PLAZA ILLUSTRATIVE PLAN	1/16" = 1'-0"
L1.01	LEVELS 2 AND 3 COMPOSITE ILLUSTRATIVE PLAN	1/16" = 1'-0"
L1.02	BUILDING 2 LEVEL 15 ROOF DECK ILLUSTRATIVE PLAN	1/16" = 1'-0"
L1.03	BUILDING 3 LEVEL 8 ROOF DECK ILLUSTRATIVE PLAN	1/16" = 1'-0"
L2.01	GROUND LEVEL LANDSCAPE MATERIALS PALETTE	
L2.02	ROOF DECK LANDSCAPE MATERIALS PALETTE	
L2.03	LANDSCAPE TREE PALETTE	
L2.04	LANDSCAPE PLANTING PALETTE	

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HOLLYWOOD CENTRAL
SITE 1 DEVELOPEMENT
to 1638 N. Las Palmas Ave. Los Angeles CA 90028 16

REVISIONS

A ISSUE DATE

PROJECT INFORMATION

40.01

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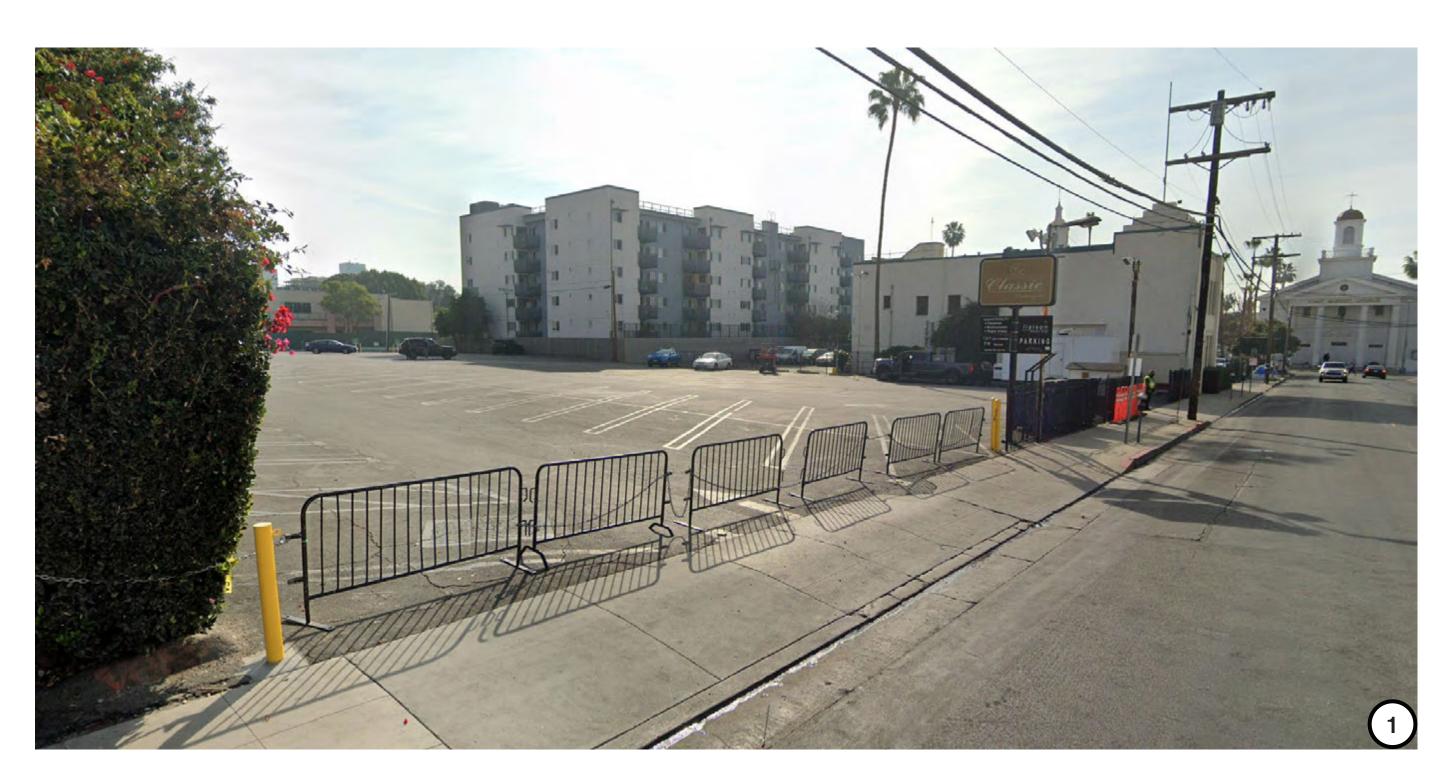
J+J HOLLYWOOD, L

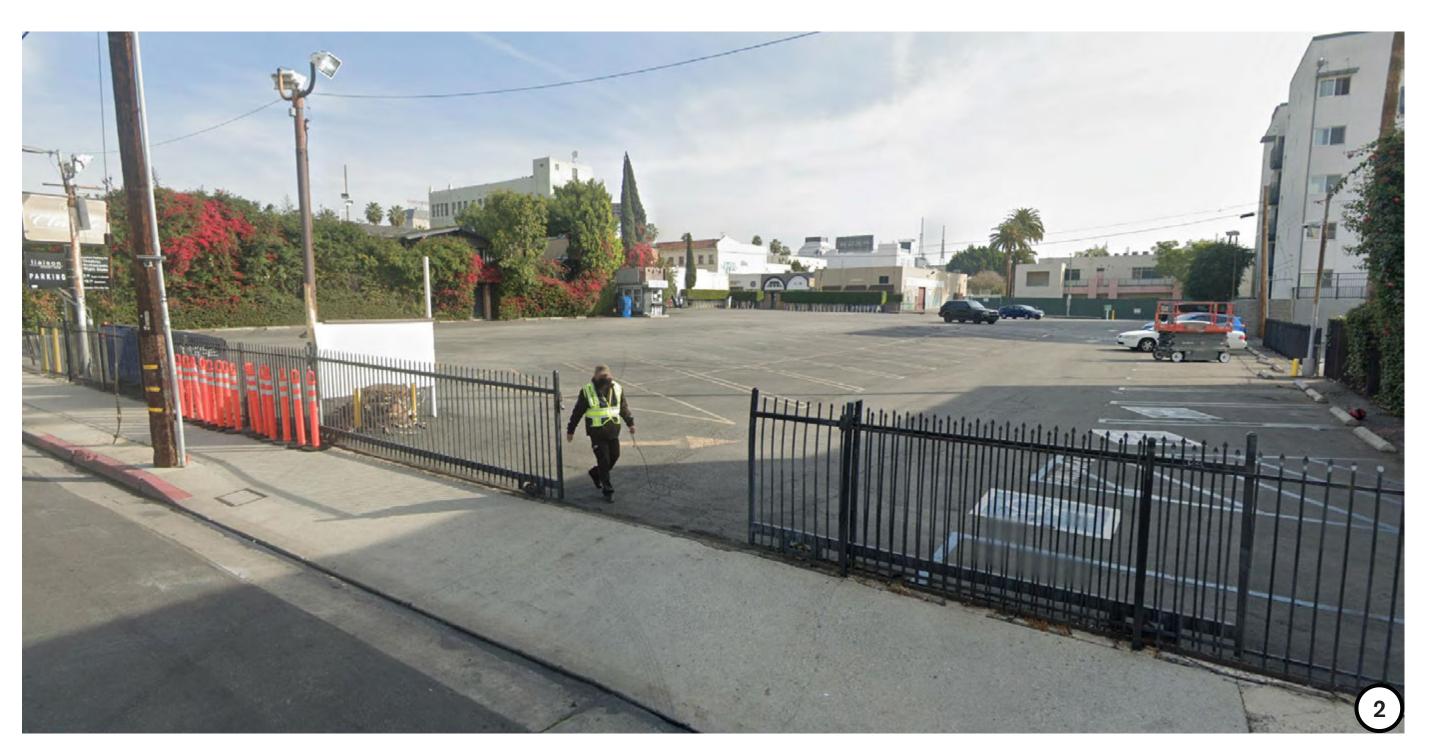
HOLLYWOOD CENTRAL
SITE 1 DEVELOPEMENT

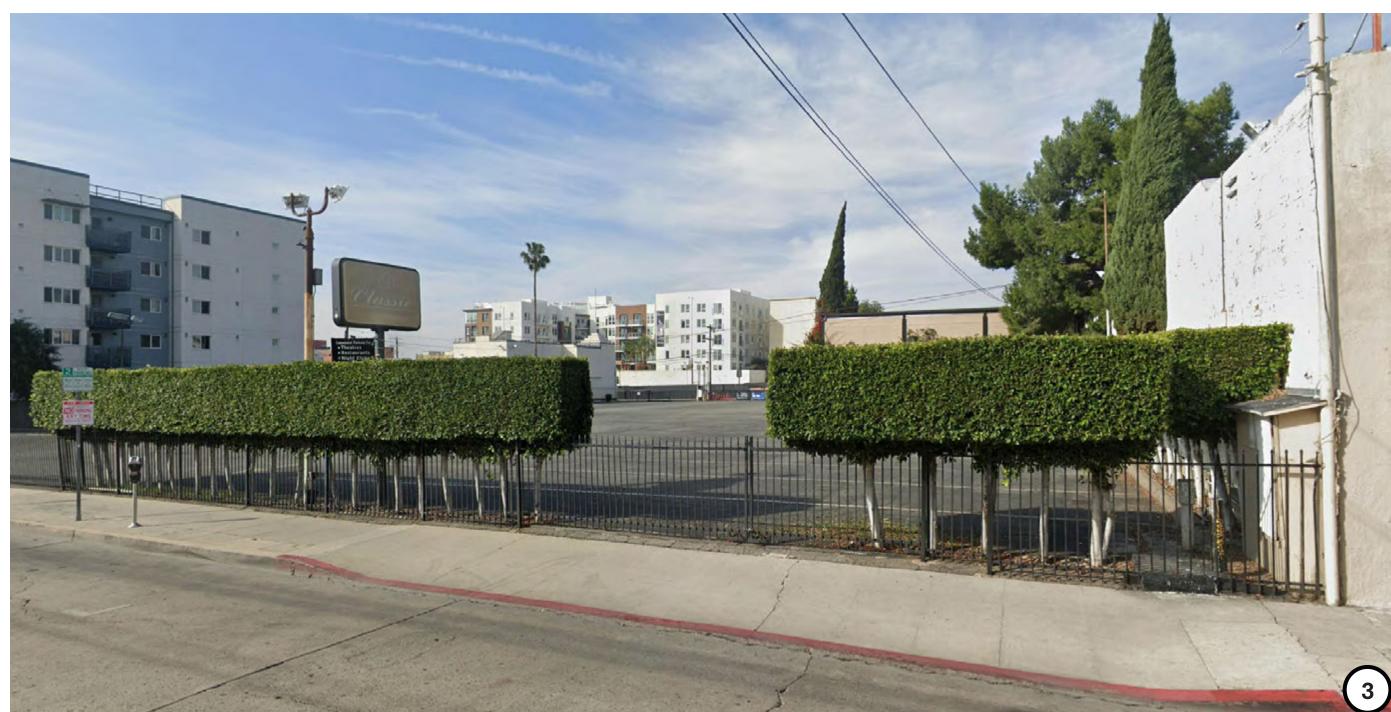
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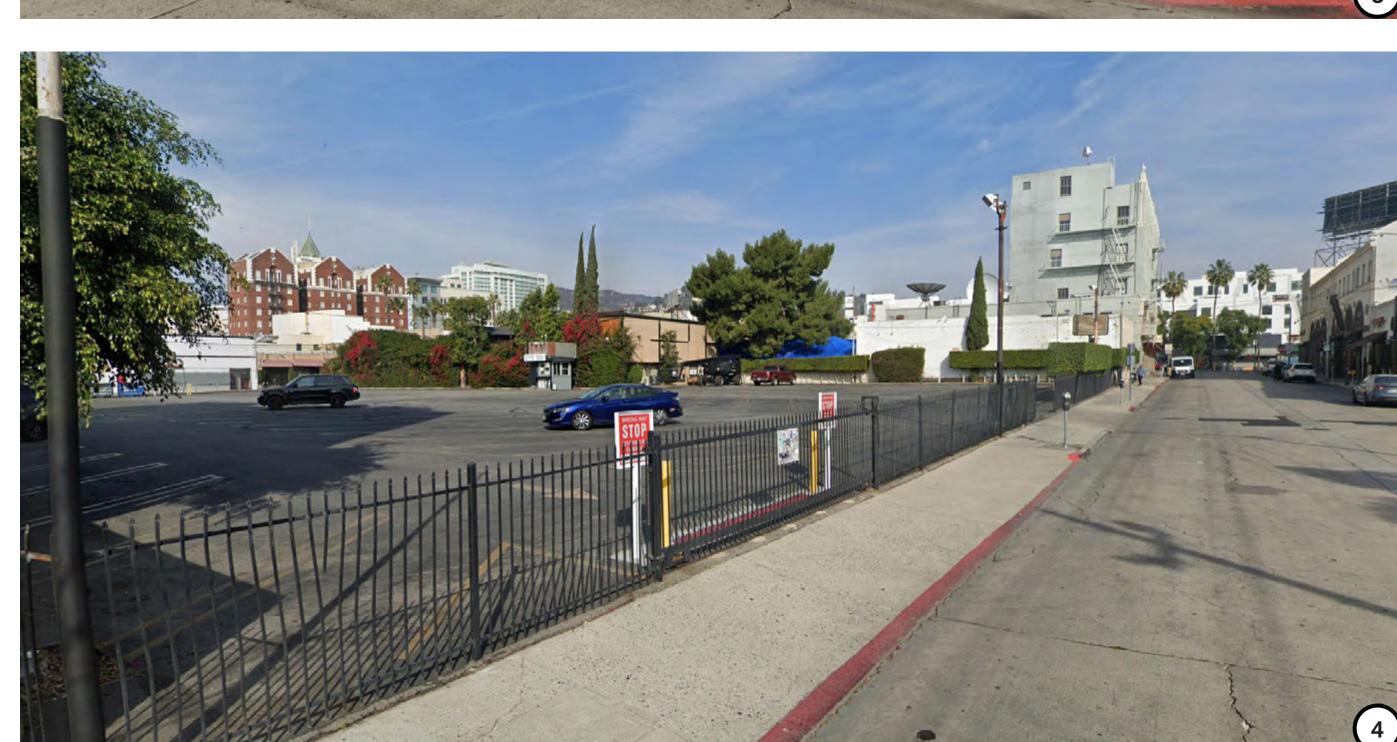
VICINITY MAP

4000











	ALLOWED UNDER PROPOSED ZONING	PROPOSED PROJECT			
ZONE	C2-2D, C2-2D-SN				
FAR	6.00	4.76			
RFAR		4.08			
GROSS BUILDING AREA	472,050 SF	374,494 SF			
FRONT		NONE			
	NONE FOR	COMMERCIAL USES			
SIDE	5FT + 1FT FOR EACH STORY OVER 2ND,	10 FT FOR RESIDENTIAL USES			
SETBACKS	NOT TO EXCEED 16 FT FOR RESIDENTIAL USES	10 FT FOR RESIDENTIAL USES			
	NONE FOR COMMERCIAL USES				
REAR	5FT + 1FT FOR EACH STORY OVER 3RD,	NOT APPLICABLE - NO REAR YARD			
	20 FT MAX. FOR RESIDENTIAL USES	NOT AFFLICABLE - NO KLAK TAKD			
	393 UNITS	393 UNITS			
DENSITY	(200 SF PER DWELLING UNIT)	393 OIVITS			
DLINSITI	UNLIMITED	GUEST ROOMS			
HEIGHT	UNLIMITED	182'-7 1/8"			
LOT COVERAGE		60%			

						PROGRA	M								
						RESIDENTIAL								EXISTING SF TO REMAIN	
	RESTAURANT	SF	UNITS				UNIT	MIX					OFFICE		TOTAL
		31	OWITS		STUDI	0		1 BR			2 BR				
			TOTAL	# UNITS	AVG SF	%	# UNITS	AVG SF	%	# UNITS	AVG SF	%			
BUILDING 1	4,392 SF	45,320 SF	46 UNITS	11 UNITS	478 SF	24%	29 UNITS	720 SF	63%	6 UNITS	1,130 SF	13%			49,712 SF
BUILDING 2	30,571 SF	227,144 SF	281 UNITS				234 UNITS	567 SF	83%	47 UNITS	995 SF	17%			257,715 SF
BUILDING 3		48,045 SF	66 UNITS				60 UNITS	546 SF	91%	6 UNITS	823 SF	9%	7,689 SF		55,734 SF
BUILDING 4 (E) RESTAURANT														5,505 SF	5,505 SF
BUILDING 5 (E) OFFICE														5,828 SF	5,828 SF
SITE 1 TOTALS	34,963 SF	320,509 SF	393 UNITS	11 UNITS	478 SF	3%	323 UNITS	577 SF	82%	59 UNITS	991	15%	7,689 SF	11,333 SF	374,494 SF
SITE 1 SITE AREA (SURVEY)															78,675 SF
SITE 1 FAR															4.76

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HOLLYWOOD CENTRAL

SITE 1 DEVELOPEMENT

10 to 1638 N. Las Palmas Ave. Los Angeles CA 90028 1623

REVISIONS

△ ISSUE DATE

PROJECT SUMMARY

40.04

EXISTING BUILDING PARKING REQUIRED AFTER BICYCLE REDUCTION

***PER LAMC 12.21.A.4, BICYCLE PARKING SPACES CAN REPLACE UP TO 15% FOR RESIDENTIAL BUILDINGS THAT QUALIFY FOR A DENSITY BONUS AND UP TO 15% OF REQUIRED VEHICLE PARKING SPACES WITHIN NON-RESIDENTIAL BUILDINGS AT A RATE OF 1 VEHICLE SPACE FOR EVERY 4 BICYCLE SPACES PROVIDED.

			VEHICULAR PARK	ING - PROVIDED					
	RESIDENTIAL PARKING - PROVIDED								
LEVEL	LEVEL STANDARD ADA						TANDEM	TOTAL	
LEVEL	STANDARD	STANDARD	VAN	STANDARD	ADA	ADA VAN	ADA AMB.	TAINDEIVI	TOTAL
SITE 1 - LEVEL P1	12		1	2		1		0	16
SITE 1 - LEVEL P2	39	1	1	11	1			6	59
SITE 1 - LEVEL P3	70							52	122

TOTAL SITE 1 RESIDENTIAL PARKING PROVIDED	197 STALLS

OFFICE PARKING - PROVIDED										
LEVEL STANDARD	STANDARD COMPACT	ADA			EVCS			TANDEM	TOTAL	
	STANDARD	COMPACT	STANDARD	VAN	STANDARD	ADA	ADA VAN	ADA AMB.	TAINDEIVI	TOTAL
SITE 1 - LEVEL P1	1		1		1		1		6	10
SITE 1 - LEVEL P2									6	6
TOTAL SITE 1 OFFICE	CE PARKING PRO	VIDED	16 STALLS							

12 STALLS

RESTAURANT PARKING - PROVIDED										
LEVEL STANDARD		RD COMPACT		ADA EVCS		CS		TANDEM	TOTAL	
LLVLL	STANDARD	ANDARD COMPACT	STANDARD	VAN	STANDARD	ADA	ADA VAN	ADA AMB.	TAINDEIVI	TOTAL
SITE 1 - LEVEL P1	1	3	2	2	4	1	2		0	15
SITE 1 - LEVEL P2									46	46
SITE 1 - LEVEL P3										

SITE 1 RESTAURANT PARKING PROVIDED	61 STALLS
EXISTING BLDG PARKING PROVIDED (LEVEL P1 + P2)	12 STALLS
SITE 1 ON-SITE PARKING PROVIDED	286 STALLS
	L
SITE 2 OFF-SITE NON-RESIDENTIAL PARKING PROVIDED (LEVEL P1)	50 STALLS

BICYCLE PARKING - REQUIRED	BICYCLE PARKING - REQUIRED						
REQUIRED							
PROGRAM	SIZE	SHORT TERM		LONG TERM		TOTAL	
FROGRAM	SIZL	RATIO*	STALL#	RATIO*	STALL#	TOTAL	
RESIDENTIAL	393						
1-25 UNITS	25	1 PER 10 UNITS	3	1 PER 1 UNIT	25		
26-100 UNITS	75	1 PER 15 UNITS	5	1 PER 1.5 UNIT	50	192	
101-200 UNITS	100	1 PER 20 UNITS	5	1 PER 2 UNIT	50		
200+ UNITS	193	1 PER 40 UNITS	5	1 PER 4 UNIT	49		
OFFICE	7,689 SF	1 PER 10,000 SF	2	1 PER 5,000 SF	2	4	
RESTAURANT (INCLUDING MARKET)	34,963 SF	1 PER 2,000 SF	18	1 PER 2,000 SF	18	36	
TOTAL SIT	E 1 BICYCLE PAR	KING REQUIRED	38 SPACES		194 SPACES		

^{*}BICYCLE PARKING RATES PER LAMC SECTION 12.21.A16.

BICYCLE PARKING - PROVIDED					
TOTAL SITE 1 BICYCLE PARKING PROVIDED	SHORT-TERM	LONG-TERM			
RESIDENTIAL	18 SPACES	174 SPACES			
NON-RESIDENTIAL	20 SPACES	20 SPACES			

PROPOSED BUILDING CODE AREA

PER CBC TABLE 506.2

BUILDING 1 - F	RESIDENTIAL
-----------------------	-------------

LEVEL	CONSTRUCTION TYPE	OCCUPANCY	AREA
LEVEL P3	TYPE I-A	S-2	11,563 SF
LEVEL P2	LEVEL P2 TYPE I-A		11,563 SF
LEVEL P1	LEVEL P1 TYPE I-A		11,563 SF
LEVEL 1	TYPE I-A	A-2	7,285 SF
LEVEL 2	TYPE I-A	R-1	7,385 SF
LEVEL 3	TYPE III-A	R-1	7,385 SF
LEVEL 4	TYPE III-A	R-1	7,385 SF
LEVEL 5	TYPE III-A	R-1	7,385 SF
LEVEL 6	TYPE III-A	R-1	7,385 SF
LEVEL 7	TYPE III-A	R-1	6,926 SF
TOTAL TYPE I-A SF		49,359 9	SF .
TOTAL TYPE	TOTAL TYPE III-A SF 51,136 S		SF
TOTAL BUILDING SF 85,82			SF

BUILDING 2 - RESIDENTIAL

LEVEL	CONSTRUCTION TYPE	OCCUPANCY	AREA	
LEVEL P3	TYPE I-A	S-2	37,037 SF	
LEVEL P2	TYPE I-A	S-2	37,694 SF	
LEVEL P1	TYPE I-A	S-2	37,037 SF	
LEVEL 1 TYPE I-A		A-2	27,727 SF	
LEVEL 2	TYPE I-A	A-2	6,249 SF	
LEVEL 3	TYPE I-B	R-2	19,816 SF	
LEVEL 4	TYPE I-B	R-2	19,479 SF	
LEVEL 5	TYPE I-B	R-2	19,479 SF	
LEVEL 6	TYPE I-B	R-2	19,479 SF	
LEVEL 7	TYPE I-B	R-2	19,479 SF	
LEVEL 8	TYPE I-B	R-2	19,479 SF	
LEVEL 9	TYPE I-B	R-2	19,479 SF	
LEVEL 10	TYPE I-B	R-2	19,479 SF	
LEVEL 11	TYPE I-B	R-2	19,479 SF	
LEVEL 12	TYPE I-B	R-2	19,479 SF	
LEVEL 13	TYPE I-B	R-2	19,479 SF	
LEVEL 14	TYPE I-B	R-2	19,479 SF	
LEVEL 15	TYPE I-B	R-2	2,861 SF	
TOTAL TYPE	I-B SF	145,744 SF		
TOTAL TYPE	I-B SF	236,946 SF		
TOTAL BUILD	DING SF	382,690 SF		

BUILDING 3 - RESIDENTIAL

LEVEL CONSTRUCTION TYPE		OCCUPANCY	AREA
LEVEL P3	TYPE I-A	S-2	11,843 SF
LEVEL P2	TYPE I-A	S-2	11,843 SF
LEVEL P1	TYPE I-A	S-2	11,843 SF
LEVEL 1	TYPE I-A	В	8,356 SF
LEVEL 2	TYPE I-A	R-2	8,309 SF
LEVEL 3	TYPE III-A	R-2	8,309 SF
LEVEL 4	TYPE III-A	R-2	8,309 SF
LEVEL 5	TYPE III-A	R-2	8,309 SF
LEVEL 6	TYPE III-A	R-2	8,309 SF
LEVEL 7	TYPE III-A	R-2	8,309 SF
TOTAL TYPE III-A SF 52,194 SI		SF.	
TOTAL TYPE I	OTAL TYPE III-A SF 41,545 SF		F
TOTAL BUILD	ING SF	93,739 SF	

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HOLLYWOOD, LLO

HOLLYWOOD CENTRAL
SITE 1 DEVELOPEMENT
1638 N. Las Palmas Ave. Los Angeles CA 90028 162

PROJECT SUMMARY

A0.05

^{*}PARKING RATES PER LAMC SECTION 12.21.A4(X)(3) FOR COMMERCIAL USES WITHIN A STATE ENTERPRISE ZONE.

^{**}PARKING RATES PER LAMC SECTION 11.5.11(e)



LOT 3 OF EULALIE TRACT NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGLES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3 PAGE 64 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LEGEND

.

AD III

PP/TP .

N/E/S/W

NAME .

_____8* 5D____.

____E___.

—8- D——.

S/SL P(m)

PROPERTY / BOUNDARY LINE

FLOW LINE / PARCEL LINE

EASEMENT LINE (W-WIDTH

CONC. BLOCK WALL EDGE OF ASPHALT PAYING

CATCH BASIN W/ACCESS HOLE

TRAFFIC SIGNAL W/STREET LIGHT

FIRE DEPARTMENT CONNECTION

DIRECTION OF WATER DRAINAGE FLOW

TREE IN WELL W/TRUNK DIAMETER

TOPOGRAPHIC SPOT ELEVATION, NO LEADER

POST INDICATOR VALVE

MANHOLE (SEWER, STORM DRAIN, POWER, TELEPHONE)

POWER POLE (P.P.) / TELEPHONE POLE (T.P.)

GAS / WATER VALVE ELEC./STREET LIGHT/TRAFFIC/UNKNOWN PULL BOX

RECORD DIMENSION OR BEARING IF DIFFERENT THAN MEASURED

NORTH/EAST/SOUTH/WEST LOCATION OF IMPROVEMENT / RESPECT TO REFERENCE NORTH AND PROPERTY LINE

CONTOUR LINE (APPROXIMATE) BUILDING FOOT PRINT LINE

CENTER LINE

OVERHANG LINE

RETAINING WALL

AREA DRAIN

CONCRETE PAVING

SIGN (ALL KINDS)

STREET LIGHT TRAFFIC SIGNAL

YARD LIGHT FIRE HYDRANT

PARKING METER

GUARD POST

BENCHMARK

GAS / WATER METER

APPROACH (DRIVEWAY)

BACKFLOW PREVENTER

CHAINLINK (FENCE/GATE)

BACK OF WALK ELEVATION EDGE OF CONCRETE ELEVATION

EDGE OF GUTTER ELEVATION EDGE OF PAVEMENT ELEVATION

FLOW LINE ELEVATION TOP OF CURB ELEVATION TOP OF GRATE ELEVATION TOP OF WALL ELEVATION

MANHOLE INVERT ELEVATION

IMPROVEMENT FACE

IMPROVEMENT EDGE

SANITARY SEWER (SIZE) STORM DRAIN (SIZE)

COMMUNICATION LINE

BK. 3, .

Fd Int. 4 hooks in SMHM per CEFB 147-185/155

to 12 and - 17 and use home in last control/control/control/control-control labored by federical

N. 89'24'01" W

9

8

\$ 89°28'05' E 501.97" SELMA AVE

DVERHEAD UTILITY LINE(S)

IL/PETROLEUM LINE (SIZE)

IMPROVEMENT END

RECORD LOT / PARCEL NUMBER

CURB LINE (FROM 1"+20' ON TO 1"+200')
CURB LINE (1"+10', 1"+8', 1"+16')

LOTS 4. 5. AND 6 OF EULALIE TRACT NO. 2, IN THE CITY OF LOS ANGELES, DOUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3 PAGE 84 OF MAPS. IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LOT 7 OR EULALIE TRACT NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGE 84 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PART OF LOTS 8, 9, AND 10 OF THE EULALIE TRACT NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF

CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGE 84 OF WAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT TO. THENCE RUNNING EASTERLY ALONG THE NORTHERLY LINES OF SAID LOTS 8. 9 AND 10, 160.85 FEET TOT HE NORTHEAST CORNER OF SAID LOT 8; THENCE SOUTHERLY ALONG THE EAST LINE OF SAID LOT 8, 56,60 FEET; THENCE WESTERLY TO A POINT IN THE WEST LINE OF SAID LOT TO DISTANT 55,725 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 10; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 10, 55.725 FEET TO THE POINT OF BEGINNING.

LOT 12 AND THE SOUTH 50 FEET OF LOT 13 OF EULALIE TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1 PAGE 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

THE NORTH 50 FEET OF LOT 13 OF EULALIE TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1 PAGE 35 OF MAPS. IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

DESCRIBED AS FOLLOWS:

THE SOUTH 42 FEET OF LOT 14 OF EULALIE TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1 PAGE 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5547-014-025, 024, 023; 5547-014-022, 21, 044; 5547-014-009, 006 & 005

PARCEL 1: THAT PORTION OF LOT I OF THE EULALIE TRACT IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1, PAGE 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTH LINE OF HOLLYWOOD BOULEVARD DISTANT NORTH 89°58' EAST 192,45 FEET FROM THE INTERSECTION OF SAID SOUTH LINE OF HOLLYWOOD BOULEVARD, WITH THE EAST LINE OF CHEROKEE AVENUE (FORMERLY EULALIE AVENUE) AS SHOWN ON SAID WAP; THENCE ALONG SAID SOUTH LINE OF HOLLYWOOD BOULEVARD NORTH 89'58' EAST 50 FEET TO THE NORTHEAST CORNER OF SAID LOT 1; THENCE ALONG THE EAST LINE OF SAID LOT SOUTH 0"02"30" EAST 142:61" FEET TO A POINT DISTANT NORTH 0°02'30" WEST 140 FEET FROM THE SOUTHEAST CORNER OF LOT 3 OF SAID EULALIE TRACT; THENCE PARALLEL WITH THE SOUTH LINE OF SAID LOT 3 NORTH 89"32" WEST 50 FEET; THENCE NORTH 0"02'30" WEST 142,17 FEET TO THE POINT OF BEGINNING.

THE EASTERLY 50 FEET OF THAT PORTION OF LOT 1 OF THE EULALIE TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK I PAGE 35 OF MAPS. IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, WHICH LIES SOUTHERLY OF A LINE THAT IS PARALLEL WITH AND DISTANT NORTHERLY 140,00 FEET FROM THE SOUTHERLY LINE OF LOT 3 OF SAID EULALIE TRACT.

THE EASTERLY SO FEET OF LOT 3 OF THE EULALIE TRACT. IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1, PAGE 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

AN EASEMENT FOR INCRESS AND EGRESS TO BE USED IN COMMON WITH OTHERS, OVER THE SOUTHERLY 15 FEET OF SAID LOT 3 OF THE EULALIE TRACT. IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1, PAGE 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. EXCEPTING FROM SAID SOUTHERLY 15 FEET, THE EASTERLY 50.00 FEET OF SAID LAND.

THAT PORTION OF LOT I OF THE EULALIE TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1 PAGE 35 OF MAPS. IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS

BEGINNING AT A POINT IN THE SOUTH LINE OF HOLLYWOOD BOULEVARD, DISTANT NORTH 89° 58 EAST 122,45 FEET FROM THE SOUTHEAST CORNER OF CHEROKEE AVENUE AND HOLLYWOOD BOULEVARD; THENCE NORTH 89" 58 EAST, ALONG THE SOUTH LINE OF HOLLYWOOD BOULEVARD, 70 FEET; THENCE SOUTH 0" 02 30 EAST 142.17 FEET TO A POINT WHICH IS NORTH 0" 02 30 WEST 140 FEET FROM THE SOUTH LINE OF LOT 3 OF SAID EULALIE TRACT; THENCE NORTH 89" 32 WEST, PARALLEL WITH THE SOUTH LINE OF SAID LOT 3, 70 FEET; THENCE NORTH 0° 02'30 WEST, 141.57 FEET, TO THE POINT OF BEGINNING. EXCEPT THEREFROM ALL MINERAL, DIL AND GAS RIGHTS BELOW A DEPTH OF FIVE HUNDRED FEET, WITHOUT THE RIGHT OF SURFACE ENTRY. AS RESERVED IN DEED RECORDED MAY 30, 1985 AS INSTRUMENT NO. 85-603027, OFFICIAL RECORDS.

THOSE PORTIONS OF LOTS 1, 2 AND 3 OF THE EULALIE TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1, PAGE 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE EAST LINE OF CHEROKEE AVENUE, DISTANT NORTH 0" 02' 30" WEST, 140 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 3; THENCE SOUTH 89" 32' EAST PARALLEL WITH THE SOUTH LINE OF SAID LOT 3, 242,56 FEET TO THE EAST LINE OF SAID LOT 1: THENCE SOUTH 0" 02" 30" EAST ALONG THE EAST LINE OF LOTS 1 AND 3, 140 FEET TO THE SOUTHEAST CORNER OF SAID LOT 3; THENCE NORTH 89" 32' WEST, ALONG THE SOUTH LINE OF LOT 3, 242,46 FEET, MORE OR LESS, TO THE EAST LINE OF CHEROKEE AVENUE: THENCE NORTH 0" 02' 30" WEST ALONG SAID LAST MENTIONED LINE 140 FEET TO THE POINT OF

EXCEPT THEREFROM THE EASTERLY 50.00 FEET OF SAID LAND.

ALSO EXCEPT THEREFROM ALL MINERAL, OIL AND GAS RIGHTS BELOW A DEPTH OF FIVE HUNDRED FEET, WITHOUT THE RIGHT OF SURFACE ENTRY, AS RESERVED IN DEED RECORDED MAY 30, 1985 AS INSTRUMENT NO. 85-603027, OFFICIAL RECORDS,

APN: 5547-015-001, 5547-015-026, 5514-015-004

SURVEYOR'S NOTES

THIS SURVEY HAS BEEN PREPARED FOR TITLE INSURANCE PURPOSES

1. THE BOUNDARY DATA AND TITLE MATTERS AS SHOWN HEREON HAVE BEEN DEVELOPED FROM THE REFERENCED TITLE REPORT.

2. THIS SURVEY MAY NOT CONTAIN SUFFICIENT DETAIL FOR DESIGN PURPOSES.

3, THIS SURVEY DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON, NOR DOES IT SHOW THE LOCATION OF, OR ENCROACHMENTS BY SUBSURFACE FOOTINGS AND/OR FOUNDATIONS OF BUILDINGS SHOWN ON THIS MAP.

4. IF UNDERGROUND PUBLIC UTILITIES AND OTHER SUBSTRUCTURES, ZONES, SET BACK AND STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM A GENERAL REQUEST AT THE LOCAL AGENCY'S PUBLIC COUNTER AND/OR OTHER SOURCES NOT CONNECTED WITH THIS COMPANY. NO REPRESENTATION IS MADE AS TO THE ACCURACY, CURRENCY OR COMPLETENESS OF SAID INFORMATION AND ANY USERS OF SAID INFORMATION IS URGED TO CONTACT THE UTILITY OR LOCAL AGENCY

SURVEYOR'S CERTIFICATE:

L.T.L.

L/T.L:

D.L.R.

TO RELEVANT GROUP AND CHICAGO TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS WAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b1), 7(c), 5, 9, 11, 13, 14, 16 AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 4, 2020.

DOUGLAS R. HOWARD

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE MORD CERTIFY OF CERTIFICATION BY A LICENSED. LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CONTITIONAND COES NOT CONSTITUTE A MARKANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

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COMMENTS

LEGAL DESCRIPTION

WERE ESTABLISHED FROM RECOVERED CITY, COUNTY AND/OR PRIVATE SURVEY MONUMENTS WHOSE

PLOTTABLE EASEMENTS ARE SHOWN FROM A CLIENT SUPPLIED TITLE REPORT, AS NOTED BELOW. NON-PLOTTABLE ONES ARE NOTED ON THE SURVEY AS HAVING "EFFECT OF". BECAUSE OUR SERVICE IS LIMITED TO REPORTING ON EASEMENT LOCATIONS WE STRONGLY RECOMMEND LEGAL COUNSEL BE

CHICAGO INSURANCE COMPANY PRELIMINARY TITLE ORDER NO. 00129574-994-LT2-DB (SITE A2) &

O INDICATES TITLE REPORT EXCEPTION NO. (ORDER NO: 00129574-994-LT2-DB)

■ INDICATES TITLE REPORT EXCEPTION NO. (ORDER NO: 00129578-994-LT2-DB)

NORTH 89"48"30" EAST ON THE MAP OF TRACT NO. 15680, RECORDED IN BOOK 424 PAGES 3 AND

4 OF MAPS RECORDS OF LOS ANGELES COUNTY WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS

WHERE "GROSS" IS DEFINED AS THE AREA OF THE SUBJECT FEE PARCEL AS LEGALLY DESCRIBED.

PER CITY OF LOS ANGELES STANDARD PLAN, LAS PALMAS AVE IS CLASSIFIED AS A LOCAL STREET

WITH 60' REQUIRED RIGHT OF WAY WIDTH, EXISTING RIGHT OF WAY IS 60'. CHERCKEE AVE IS

CLASSIFIED AS A LOCAL STREET WITH 60' REQUIRED RIGHT OF WAY WIDTH, EXISTING RIGHT OF

WAY IS 60', HOLLYWOOD BLVD IS CLASSIFIED AS AN AVENUE I WITH 100' REQUIRED RIGHT OF

WAY WIDTH, EXISTING RIGHT OF WAY IS 100'. THERE IS NO DESERVABLE EVIDENCE OF RECENT

. SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X, AREAS DETERMINED TO BE AREA MINIMAL FLOOD

HAZARD AND AREA WITH 0.2% ANNUAL CHANCE FLOOD HAZARD, AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06037C1605F, DATED SEPTEMBER 26, 2008, AS PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY.

THERE IS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION

PORTION OF

STREET OR SIDEWALK CONSTRUCTIONS. LOCAL AGENCIES SHOULD BE CONSULTED FOR ANY

HEREON AND "NET" IS DEFINED AS THE REMAINING SUBJECT PARCEL AFTER SUBTRACTION OF

THE BEARING NORTH 89"53"51" EAST OF THE CENTERLINE OF BEVERLY BOULEVARD, SHOWN AS

BASED UPON MEASURED BEARINGS AND DISTANCES AS SHOWN HEREON THE AREA IS.

78,737 SO. FT. = 1.8076 ACRES (SITE A2)

1,083,163 SQ, FT, = 24,8660 ACRES (GROSS)

51,007 SQ. FT. = 1.1710 ACRES (SITE A3)

EXISTING STREET EASEMENTS.

ANTICIPATED STREET WIDENING.

. BASED UPON ON-SITE STRIPING. THE PARKING IS:

BUILDING SETBACK ZONING INFORMATION NOT PROVIDED.

REGULAR SPACES .

HOLLYWOOD BLVD

TRACT

PARCEL :

TANDEM SPACES (X4)

OR BUILDING ADDITIONS.

CHARACTER AND SOURCE ARE SO NOTED ON THE SURVEY.

FROM TITLE REPORT SUPPLIED BY CLIENT, AS NOTED BELOW.

RETAINED TO REPORT ON TITLE PAPERS IN THEIR ENTIRETY.

00129578-994-LT2-DB (SITE A3) DATED MARCH 26, 2020.

BOUNDARY LINES

TITLE REPORT .

BASIS OF BEARINGS

STREET WIDENING .

FLOOD ZONE

589'29'05"E 122.45"

EARTH WORK

Nothing fd. Est d by

rec'd dist per CEFB 147-185/138

Fd LA County Surveyor S&W per

CEFB 147-185/138

LEULALLE TRACTI

S89'26'44"E 122.07'

PARCEL 7

BK. 1, PG 35 1

ALTA/NSPS LAND TITLE SURVEY FOR:

Fd ML & Hooks in

CEFB 147-185/162

CEFB 147-185/162

RELEVANT GROUP 1618 & 1638 LAS PALMAS AVE, 1645 CHEROKEE AVE (SITE A2) 1642 & 1644 CHEROKEE AVE, 6638 & 6628 HOLLYWOOD BLVD (SITE A3) N THE CITY OF LOS ANGELES COUNTY OF LOS ANGLELES

APRIL 24, 2020 1" = 50" IREL020700 T100

PROJECT SITE

VICINITY MAP

COMMENTS CONT

GRAPHIC SCALE

Fd LA County Surveyor S&W per CEFB 147-185/140

(T) (7

(A)(B)(C)(D) (A)(B)(C)(D) . WATER RICHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC . COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED WAY 31, 1902 IN BOOK 1600 PAGE 26 AND MODIFICATIONS OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED FEBRUARY 10. 1905 IN BOOK 2204 PAGE 163, BOTH OF DEEDS. AFFECTS PARCELS 5 AND 7. COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN BOOK 2058 PAGE 244, OF DEEDS AFFECTS PARCEL 1 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED IN BOOK 2070 PAGE 79 OF DEEDS, AFFECTS PARCEL 2. EFFECT OF 1 + 1 1 1 1 1 1 AGREEMENT RECORDED DECEMBER 22, 1942 IN BOOK 19647 PAGE 341, D.R. AFFECTS PARCELS 5 & COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED IN BOOK 2273 PAGE 22 AND BOOK 2607 PAGE 32. BOTH OF DEEDS, AFFECTS PARCEL 4. COVENANT AND AGREEMENT WHEREIN THE OWNERS AGREE TO HOLD SAID LAND AS DNE PARCEL EFFECT OF RECORDED DECEMBER 23, 1963 AS INSTRUMENT NO. 3090 IN BOOK M1415 PAGE 769, D.R. . COVENANT AND AGREEMENT REGARDING MAINTENANCE OF OFF-STREET PARKING SPACE RECORDED OCTOBER 29, 1971 AS INSTRUMENT NO 4094 IN BOOK M3887 PAGE 182, D.R. AFFECTS LOTS 4 AND 5 OF PARCEL 2 & OTHER LAND. RECORDED MAY 9 1986 A MAINTENANCE OF SUMP PUMP RECORDED DECEMBER 21, 1995 AS INSTRUMENT NO. 95-2031455, COVENANT AND AGREEMENT REGARDING WAINTENANCE OF OFF-STREET PARKING SPACE RECORDED EFFECT OF JANUARY 23, 1996 AS INSTRUMENT NO. 96-125218, D.R. AFFECTS PARCEL 1 AND OTHER LAND EFFECT OF YOUNGE OF COVENANT AND AGREEMENT WHEREIN THE OWNERS AGREE TO HOLD SAID LAND AS ONE PARCEL RECORDED APRIL 23, 1996 AS INSTRUMENT NO. 96-638675, O.R. AFFECTS PARCELS 1 & 6. COVENANT AND AGREEMENT WHEREIN THE OWNERS AGREE TO HOLD SAID LAND AS ONE PARCEL RECORDED SEPTEMBER 22, 2011 AS INSTRUMENT NO. 20111289113, O.R. AFFECTS PARCEL 1, PORTION OF PARCEL 5 AND ALL OF PARCEL 6. COVENANT AND AGREEMENT REGARDING MAINTENANCE OF BUILDING RECORDED MARCH 27, 2012 AS INSTRUMENT NO. 20120465372, O.R. AFFECTS PARCEL 1. MASTER COVENANT AND AGREEMENT RECORDED APRIL 6, 2012 AS INSTRUMENT NO. 20120523440, EFFECT OF APRIL 27, 2012 AS INSTRUMENT NO. 20120627975 AND MAY 10, 2013 AS INSTRUMENT NO. 20130706877, ALL O.R. AFFECTS PARCEL 1 DEED OF TRUST TO SECURE AN INDEBTEDNESS RECORDED JANUARY 28, 2016 AS INSTRUMENT NO. EFFECT OF 20160090617, O.R. AFFECTS THE HEREIN DESCRIBED LAND AND OTHER LAND. RESOLUTION HISTORICAL RESOURCES DESIGNATION RECORDED JUNE 27, 2017 AS INSTRUMENT NO. EFFECT OF . ANY RIGHTS OF THE PARTIES IN POSSESSION OF, OR ALL DF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS. EFFECT OF

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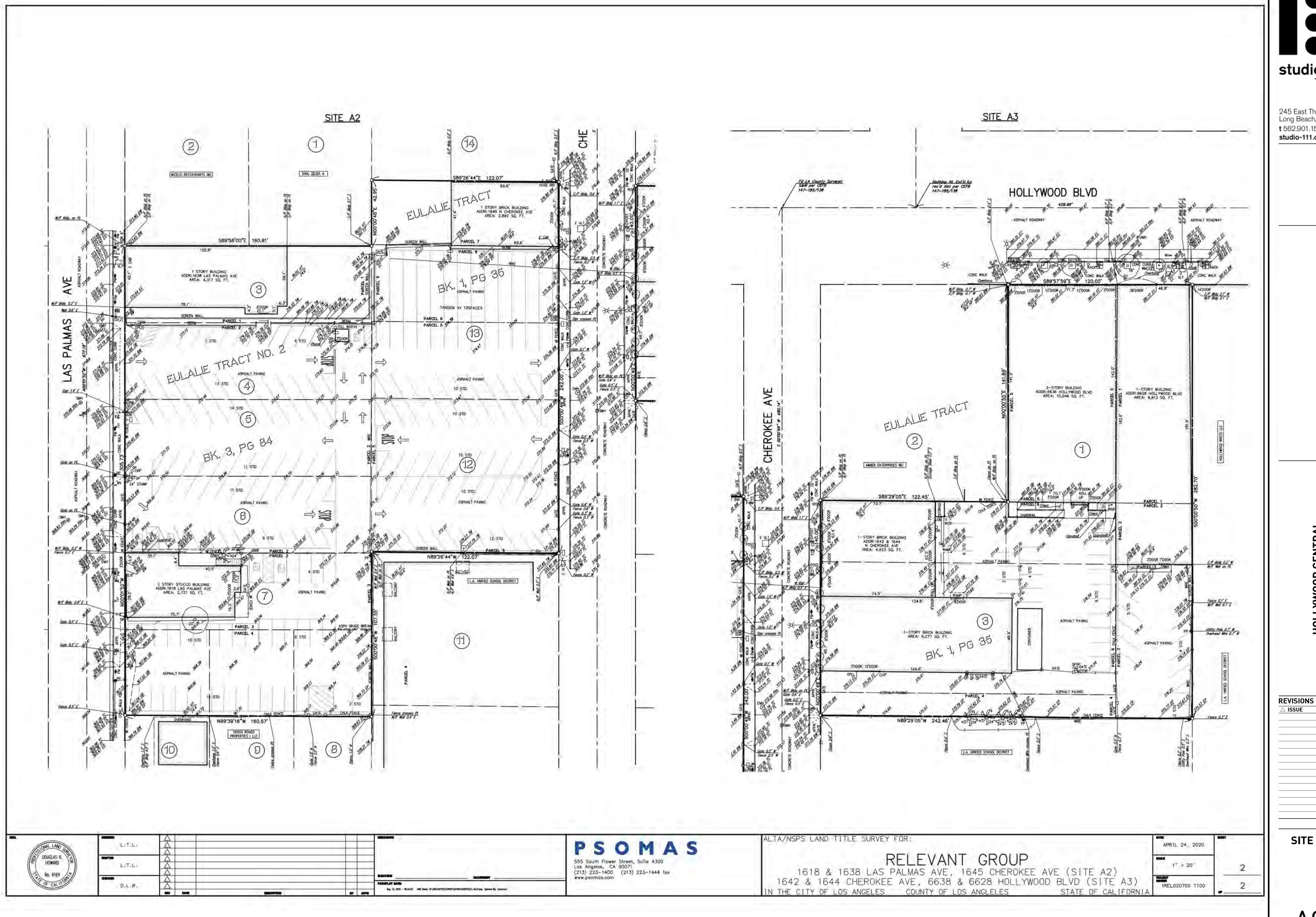
245 East Third Street

Long Beach, Ca 90802

WOOD CENTRAL
DEVELOPEMENT

REVISIONS DATE

SITE SURVEY



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DATE

SITE SURVEY 2

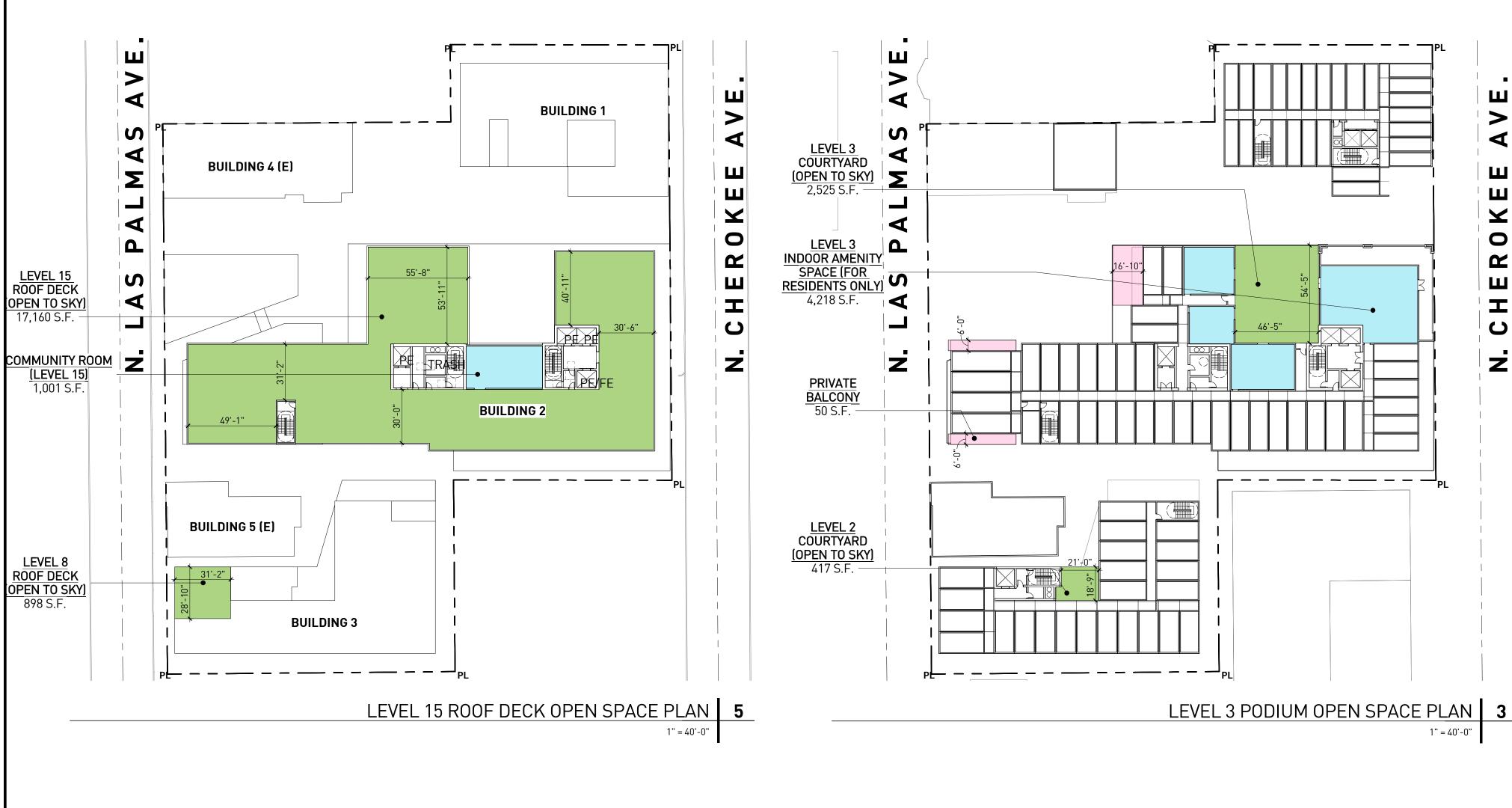


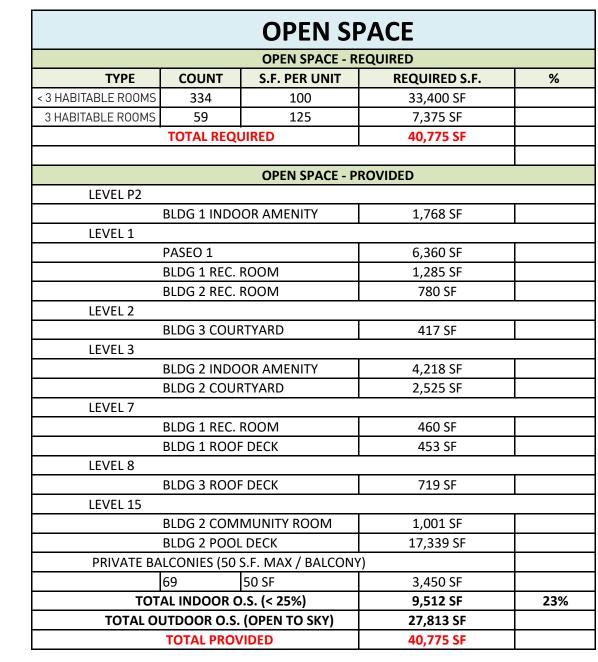
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DATE

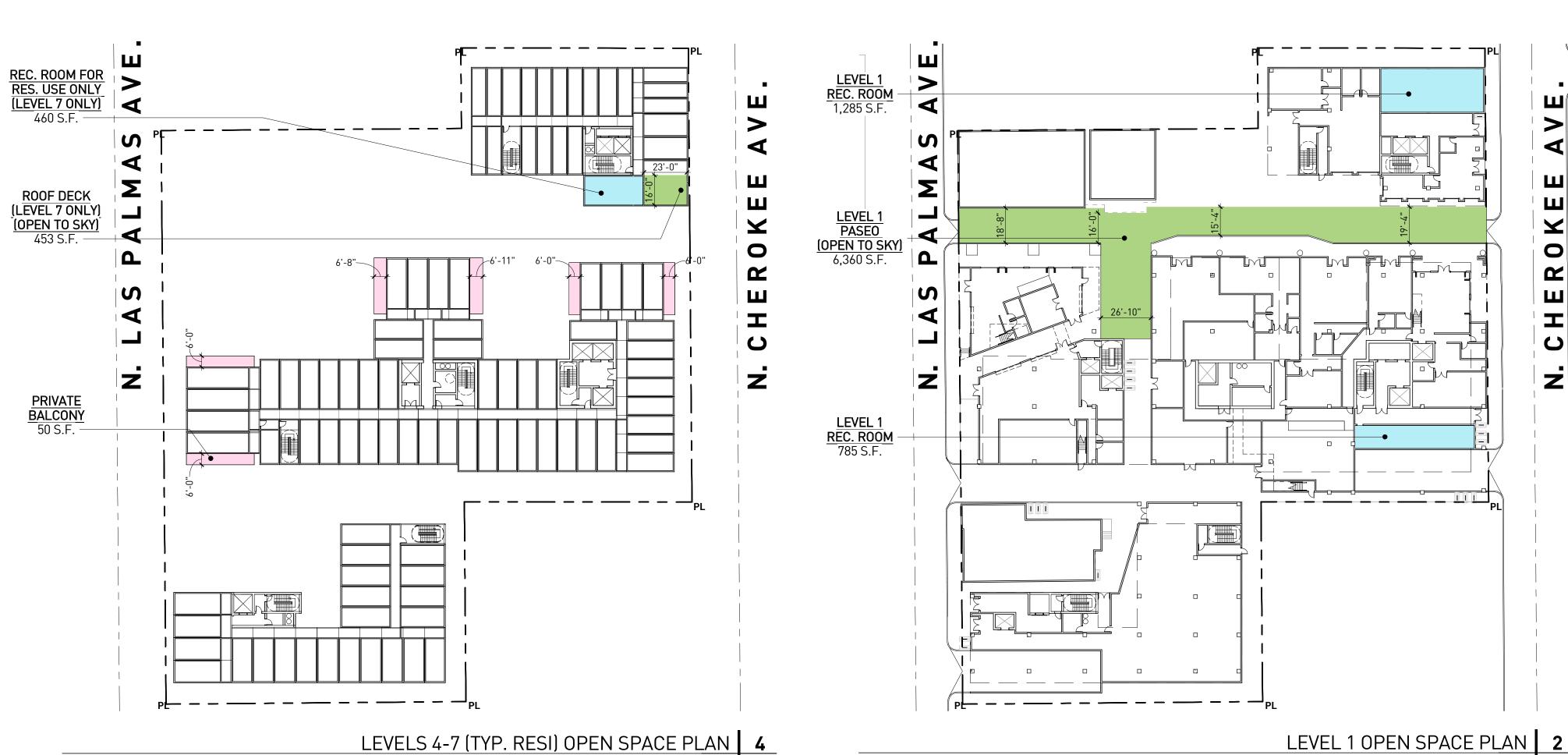
FAR CALCULATIONS AND PLAN DIAGRAMS

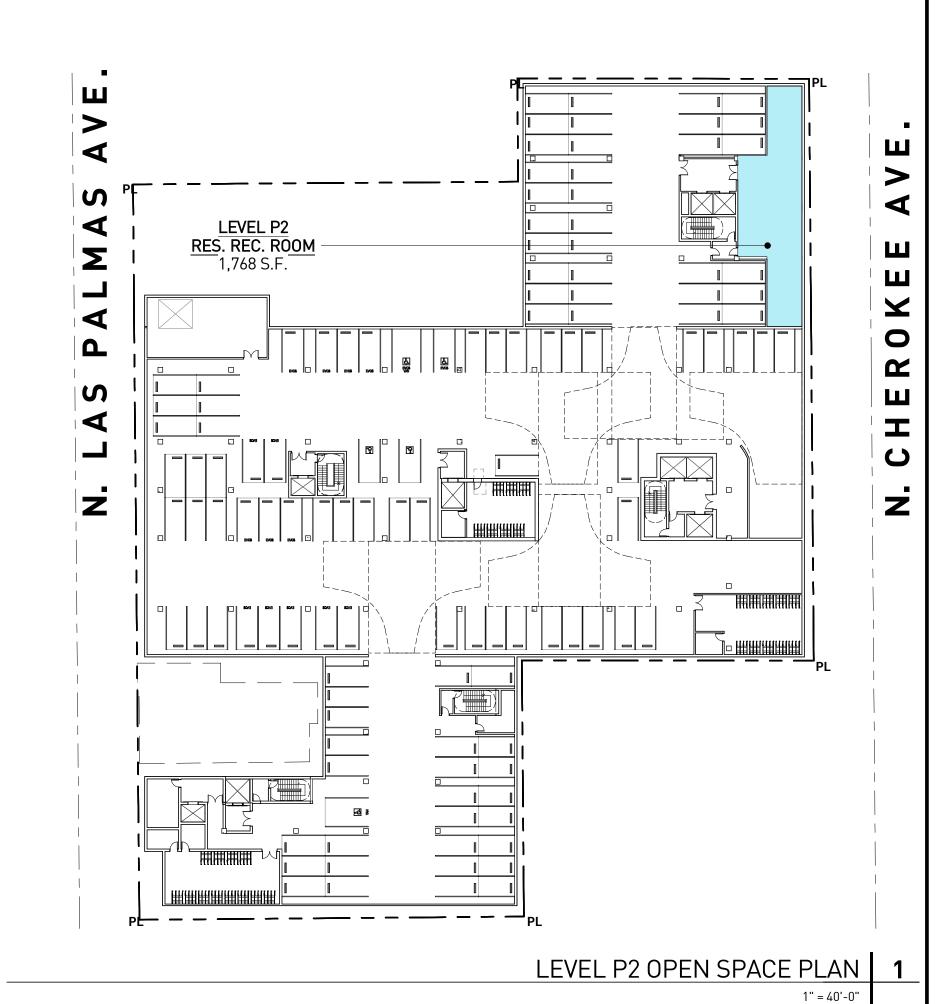
A0.09





NOTE: OPEN SPACE PROVIDED ASSUMES FULL ROOF AREA WITH NO REDUCTION FOR EQUIPMENT, EBM, OR POTENTIAL JURISDICTIONAL REQUIREMENTS





0

1" = 40'-0"

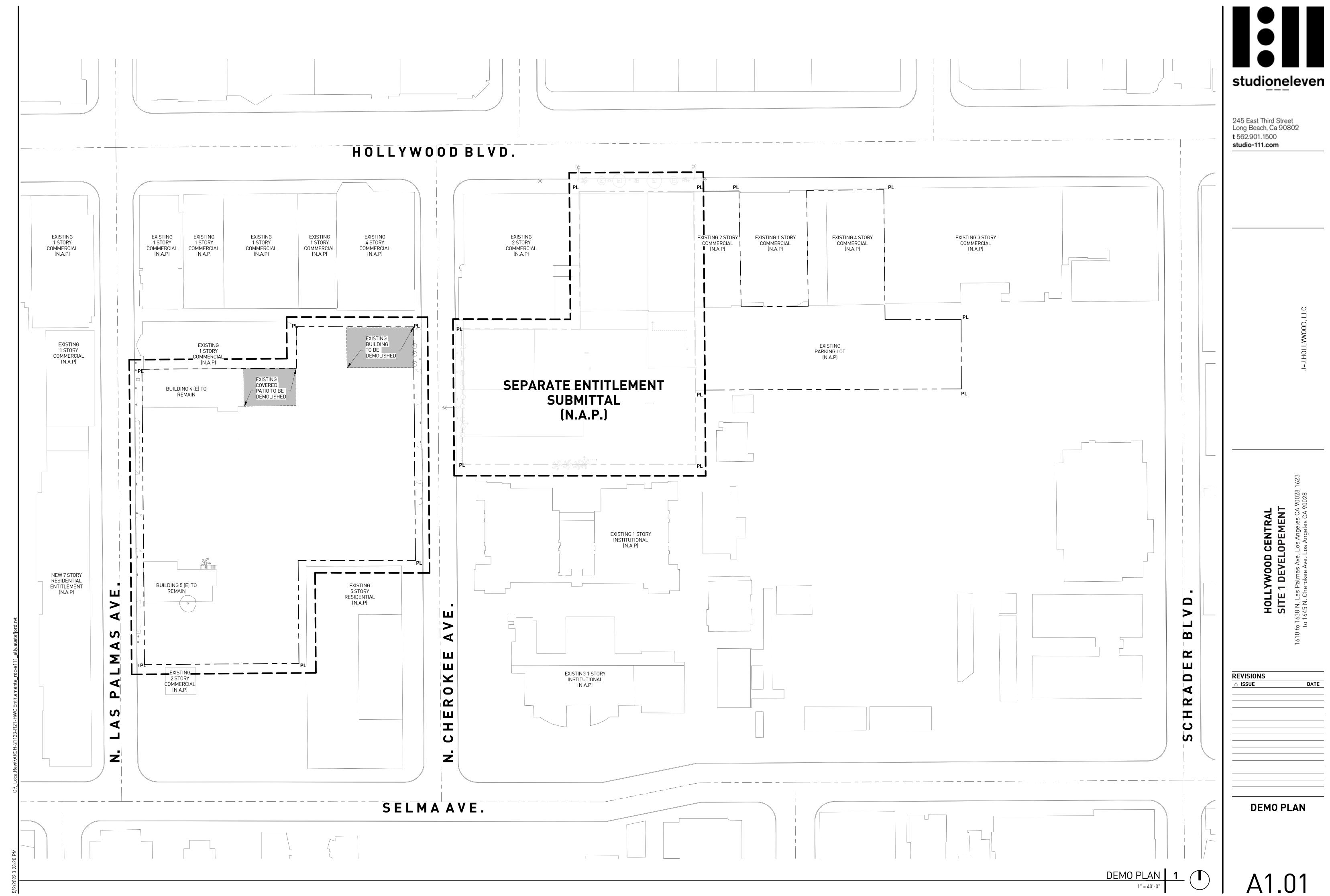
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HOLLYWOOD CENTRAL SITE 1 DEVELOPEMENT

REVISIONS DATE

OPEN SPACE DIAGRAMS AND CALCULATIONS



DATE



GRAPHICS LEGEND

AMENITY

PARKING SYMBOLS

RESIDENTIAL

S1 ON-SITE PARKING

S2 OFF-SITE PARKING

(E) PARKING OF EXISTING
BUILDINGS

R RESIDENTIAL PARKING

OFFICE

F&B RESTAURANT / MARKET
PARKING

O OFFICE PARKING



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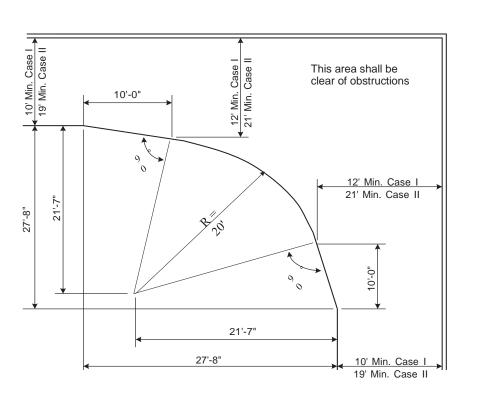
PARKING						
	# STALLS	PARKING AREA				
P1	93	57,679 SF				
P2	121	57,679 SF				
P3	122	57,679 SF				
TOTAL	336 STALLS	173,037 SF				
EFFICIENCY	515 SF/ STALLS					

	STANDARD	COMPACT	TANDEM
RESIDENTIAL	139	0	5
NON-RESIDENTIAL	34	3	10
TOTAL	173	3	16

P/ZC 2002-001

FIGURE 7 - CIRCULATION DRIVEWAYS

90° Turn



Case I - One-way traffic or two-way traffic where no more than 25 cars go around the turn.

Case II - Two-way traffic and more than 25 cars go around the turn.

REVISIONS

A ISSUE

DATE

HOLLYWOOD CENTRAL SITE 1 DEVELOPEMENT

LEVEL P3 FLOOR PLAN

A2.01

GRAPHICS LEGEND

PARKING

AMENITY

PARKING SYMBOLS S1 ON-SITE PARKING RESIDENTIAL RESTAURANT MARKET OFFICE

S2 OFF-SITE PARKING (E) PARKING OF EXISTING BUILDINGS R RESIDENTIAL PARKING F&B RESTAURANT / MARKET PARKING O OFFICE PARKING

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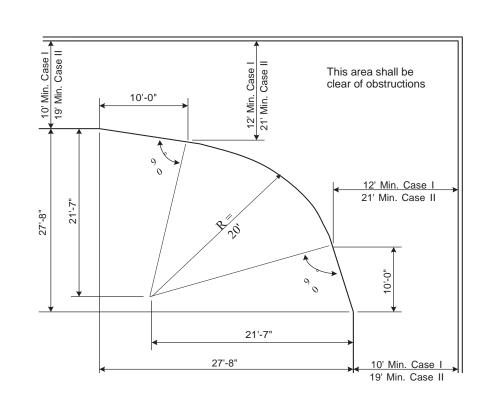
PARKING PARKING AREA # STALLS 57,679 SF 93 57,679 SF P2 121 Р3 122 57,679 SF 336 STALLS 173,037 SF **TOTAL EFFICIENCY** 515 SF/ STALLS

	STANDARD	COMPACT	TANDEM
RESIDENTIAL	139	0	58
NON-RESIDENTIAL	34	3	102
TOTAL	173	3	160

P/ZC 2002-001

FIGURE 7 - CIRCULATION DRIVEWAYS

90° Turn



Case I - One-way traffic or two-way traffic where no more than 25 cars go around the turn. Case II - Two-way traffic and more than 25 cars go around the turn.

LEVEL P2 FLOOR PLAN

REVISIONS

HOLLYWOOD CENTRAL SITE 1 DEVELOPEMENT

LEVEL P2 FLOOR PLAN **1**1/16" = 1'-0"

GRAPHICS LEGEND

PARKING

AMENITY

PARKING SYMBOLS RESIDENTIAL RESTAURANT MARKET OFFICE

S1 ON-SITE PARKING S2 OFF-SITE PARKING (E) PARKING OF EXISTING BUILDINGS R RESIDENTIAL PARKING F&B RESTAURANT / MARKET PARKING

O OFFICE PARKING

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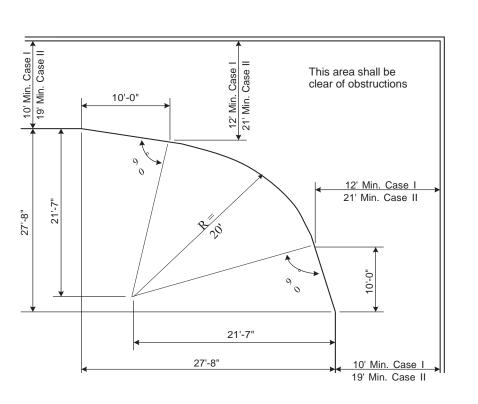
PARKING						
	# STALLS	PARKING AREA				
P1	93	57,679 SF				
P2	121	57,679 SF				
P3	122	57,679 SF				
TOTAL	336 STALLS	173,037 SF				
EFFICIENCY	515 SF/ STALLS					

	STANDARD	COMPACT	TANDEM
RESIDENTIAL	139	0	5
NON-RESIDENTIAL	34	3	10
TOTAL	173	3	16

P/ZC 2002-001

FIGURE 7 - CIRCULATION DRIVEWAYS

90° Turn

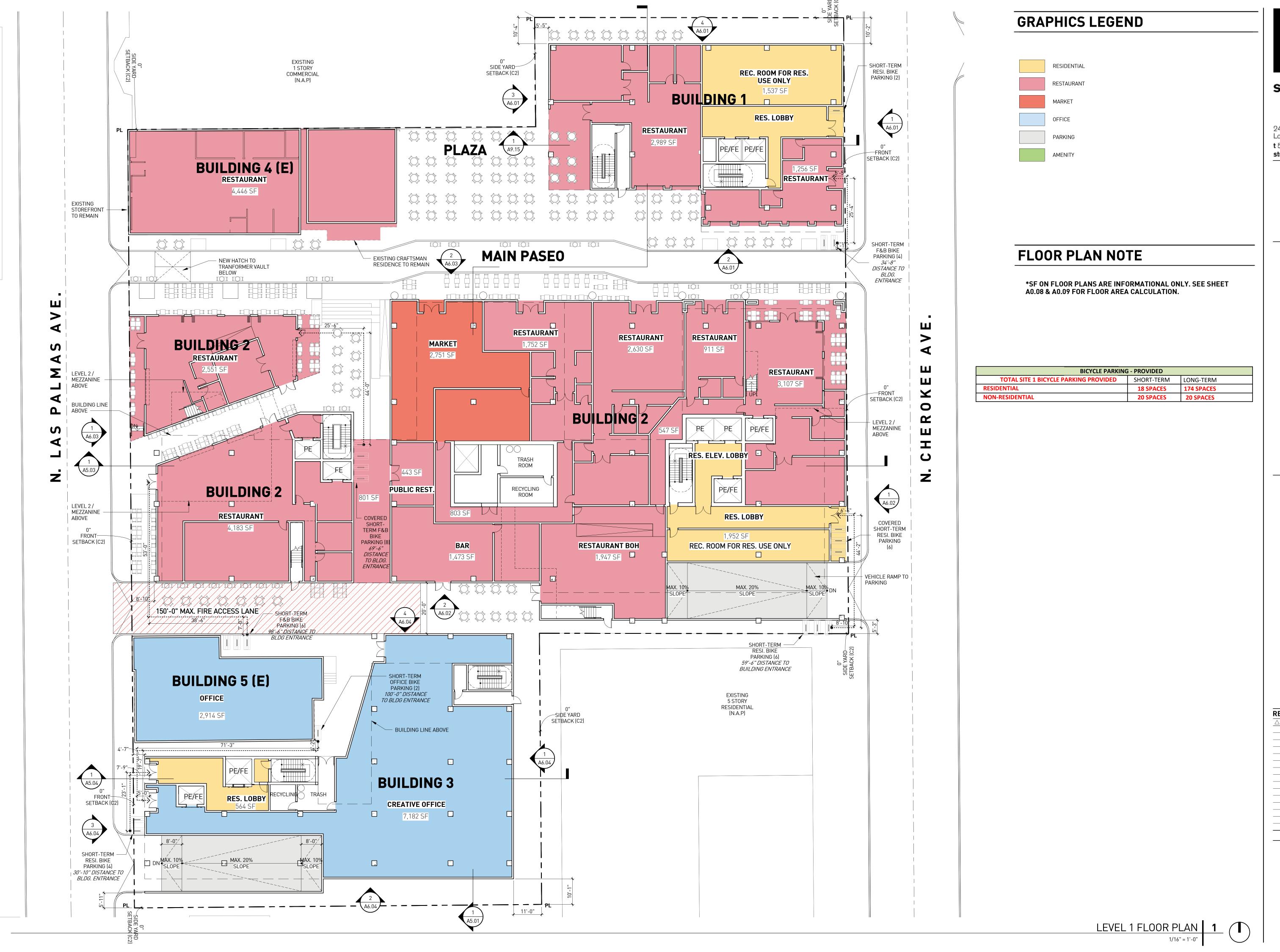


Case I - One-way traffic or two-way traffic where no more than 25 cars go around the turn. Case II - Two-way traffic and more than 25 cars go around the turn.

> **LEVEL P1 FL00R PLAN**

REVISIONS

LEVEL P1 FLOOR PLAN 1 1 1/16" = 1'-0"



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HOLLYWOOD CENTRAL
SITE 1 DEVELOPEMENT

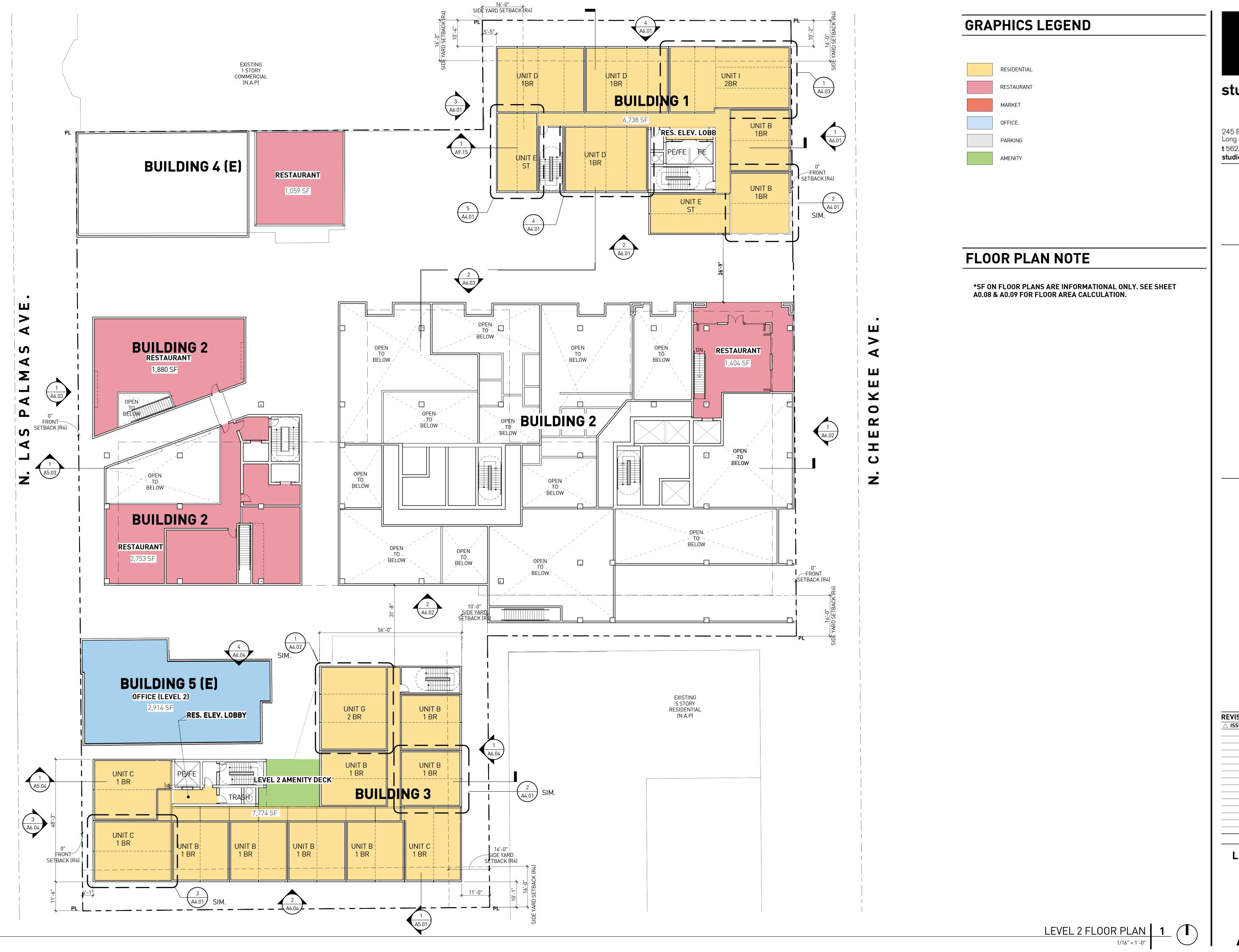
REVISIONS

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DATE

LEVEL 1 FLOOR PLAN

A2.04



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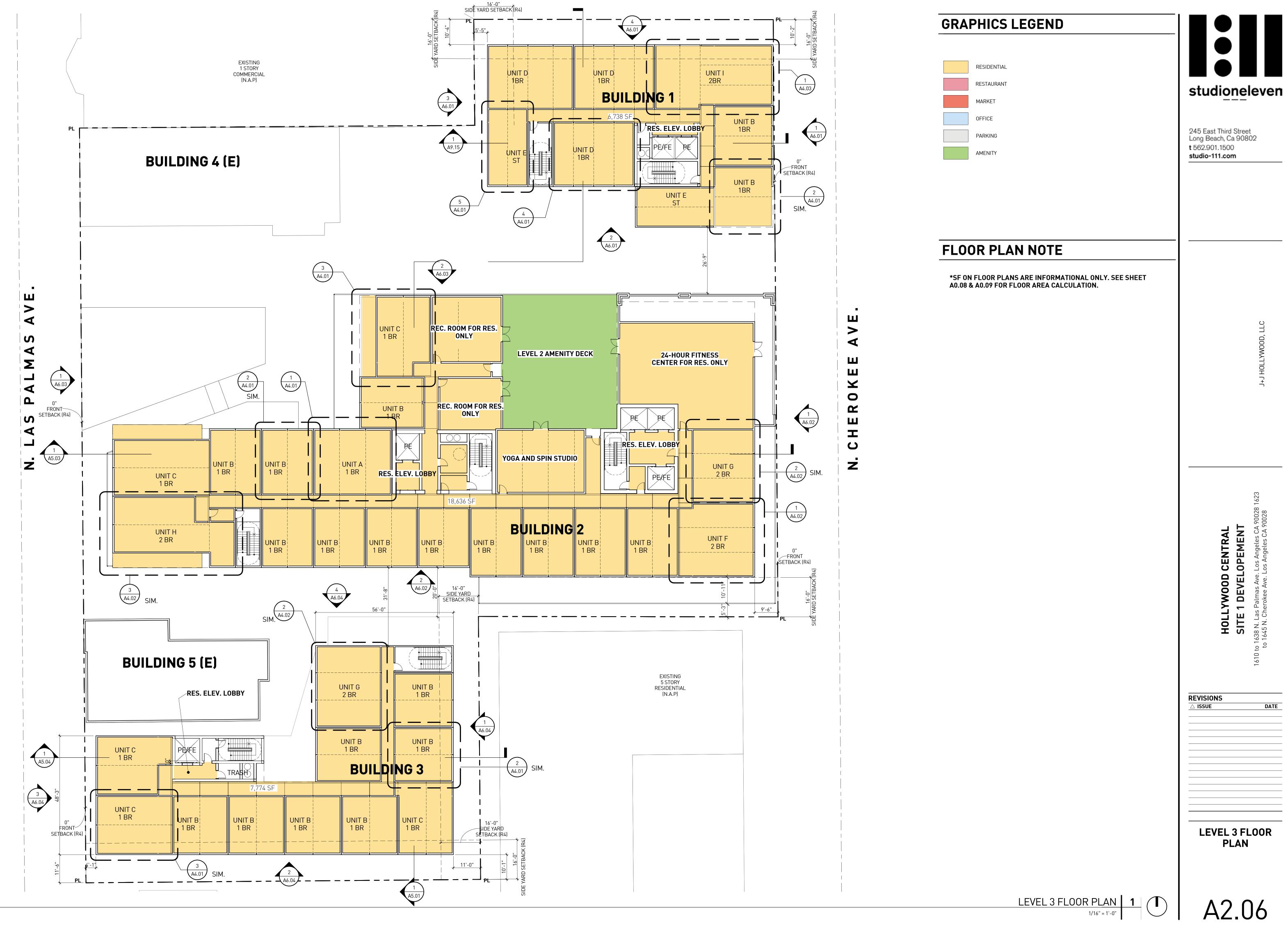
OLLYWOOD CENTRA

TE 1 DEVELOPEMEN

DATE

LEVEL 2 FLOOR PLAN

A2.05



LEVEL 3 FLOOR PLAN



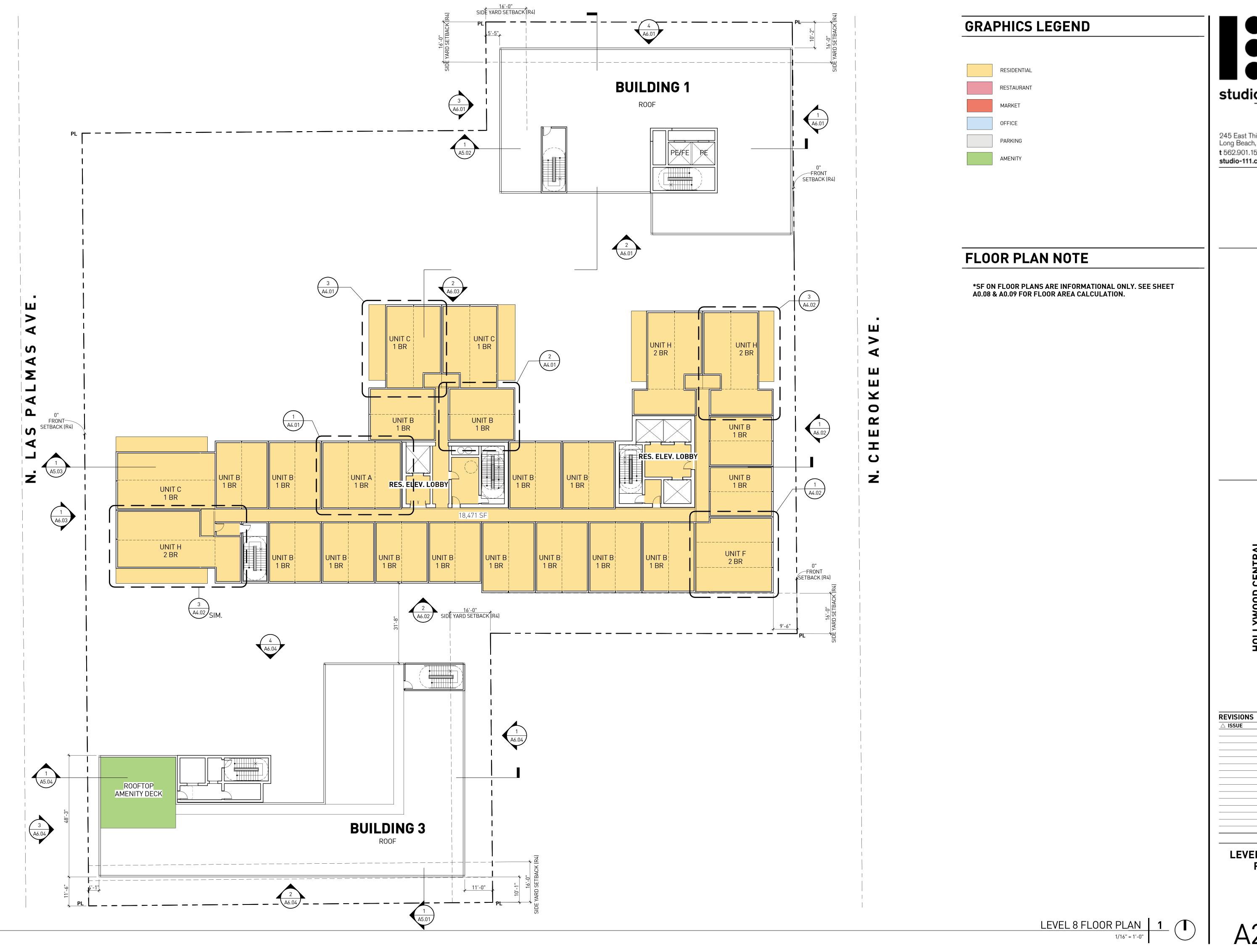
LEVELS 4-6 FLOOR PLAN



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*SF ON FLOOR PLANS ARE INFORMATIONAL ONLY. SEE SHEET A0.08 & A0.09 FOR FLOOR AREA CALCULATION.

LEVEL 7 FLOOR PLAN



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LEVEL 8 FLOOR PLAN

GRAPHICS LEGEND



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FLOOR PLAN NOTE

*SF ON FLOOR PLANS ARE INFORMATIONAL ONLY. SEE SHEET A0.08 & A0.09 FOR FLOOR AREA CALCULATION.

+J HOLLYWOOD, L

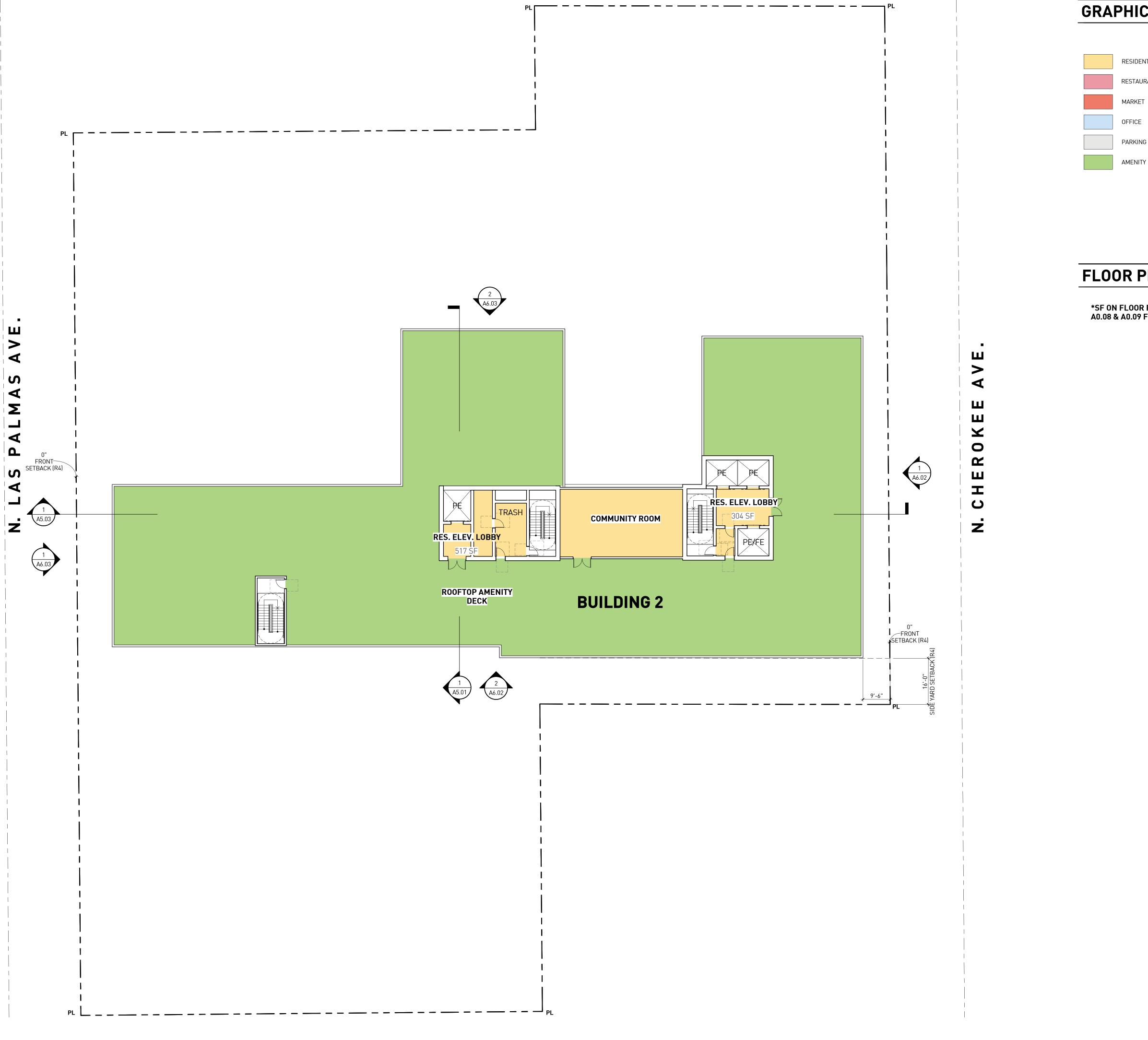
HOLLYWOOD CENTRAL

SITE 1 DEVELOPEMENT

to 1638 N. Las Palmas Ave. Los Angeles CA 90028 162
to 1645 N. Cherokee Ave. Los Angeles CA 90028

REVISIONS

LEVELS 9-14 FLOOR PLAN



GRAPHICS LEGEND

RESIDENTIAL RESTAURANT MARKET PARKING

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FLOOR PLAN NOTE

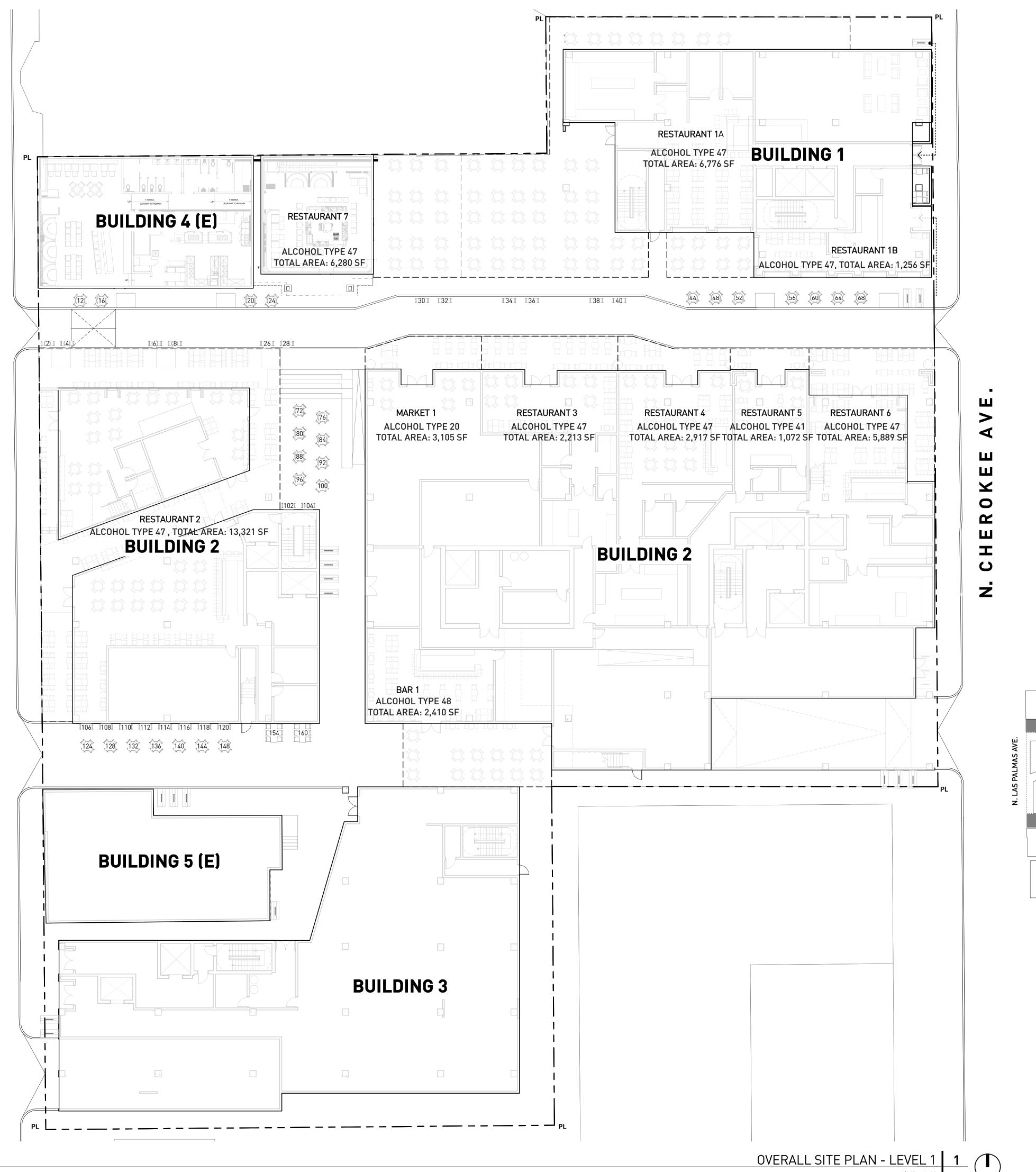
*SF ON FLOOR PLANS ARE INFORMATIONAL ONLY. SEE SHEET A0.08 & A0.09 FOR FLOOR AREA CALCULATION.

REVISIONS	
△ ISSUE	DATE

LEVEL 15 ROOF DECK PLAN

LEVEL 15 ROOF DECK PLAN 1
1/16" = 1'-0"



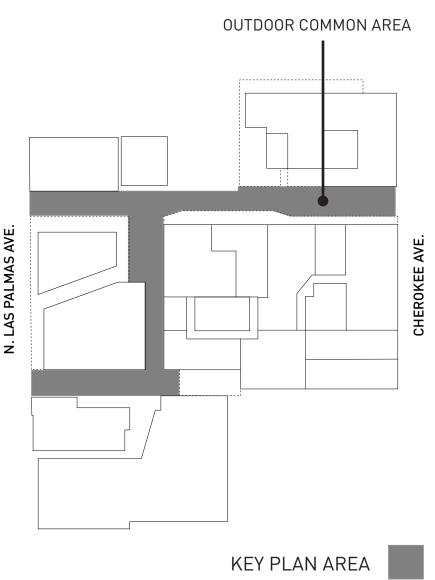


S

4

4

Z



160
160

*NOT COUNTED TOWARDS INDIVIDUAL RESTAURANT SEATING TOTALS

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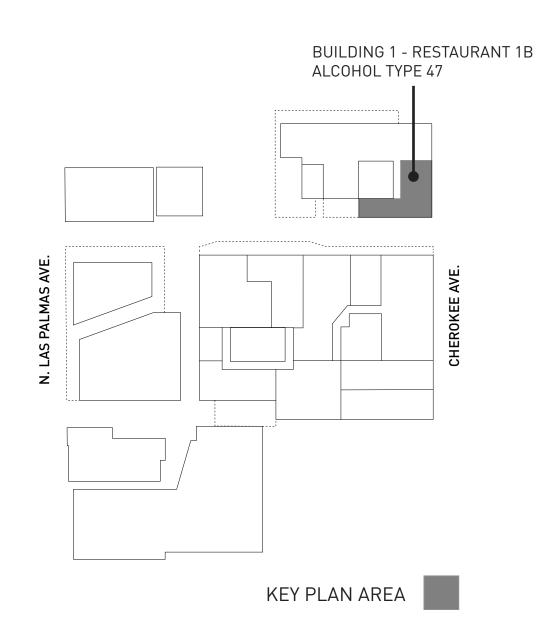
HOLLYWOOD CENTRAL
SITE 1 DEVELOPEMENT
1610 to 1638 N. Las Palmas Ave. Los Angeles CA 90028

REVISIONS

MCUP - OVERALL PLAN

RESTAURANT 1A ENLARGED PLAN 2

ALCOHOL TYPE 47



RESTAURANT 1B ENLARGED PLAN 1
ALCOHOL TYPE 47 1/8" = 1'-0"

		RESTAURANT 1A	RESTAURANT 1B
	INDOOR AREA	3,136 SF	1,256 SF
PROGRAM AREA	INDOOR DINING AREA	1,168 SF	780 SF
	OUTDOOR DINING AREA	3,631 SF	
SEATING COUNT	INDOOR SEATING	67	42
	OUTDOOR SEATING	168	
	TOTAL SEATING	235	42
ALCOHOL TYPE		TYPE 47	TYPE 47

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HOLLYWOOD CENTRAL

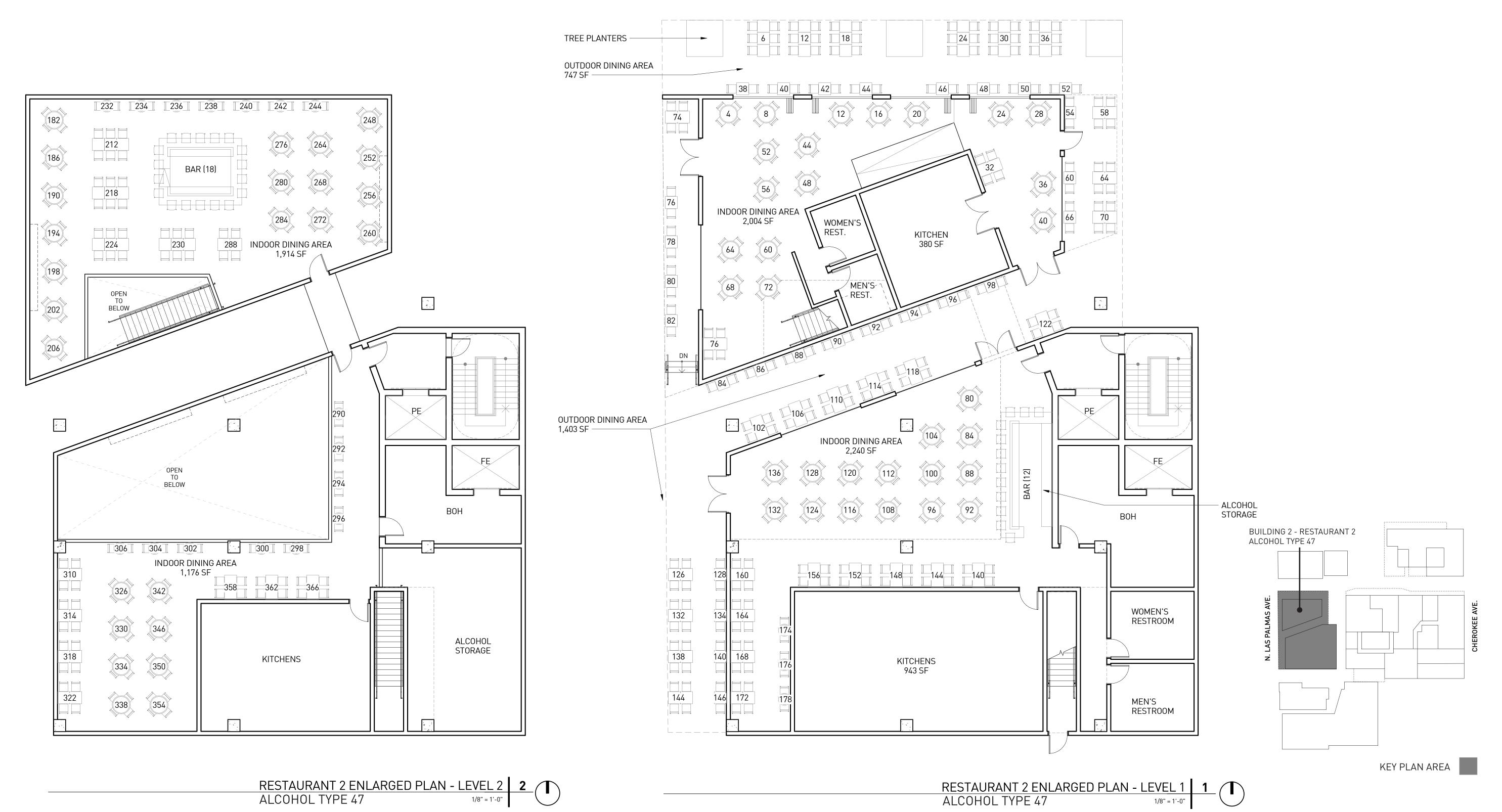
SITE 1 DEVELOPEMENT

to 1638 N. Las Palmas Ave. Los Angeles CA 90028 1623
to 1645 N. Cherokee Ave. Los Angeles CA 90028

REVISIONS

△ ISSUE DATE

MCUP -ENLARGED PLANS



PROGRAM AREA

INDOOR AREA

INDOOR DINING AREA

OUTDOOR DINING AREA

2,150 SF

INDOOR SEATING

OUTDOOR SEATING

OUTDOOR SEATING

TOTAL SEATING

RESTAURANT 2

11,270 SF

2,334 SF

2,150 SF

TYPE 47

ALCOHOL TYPE

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SITE 1 DEVELOPEMENT

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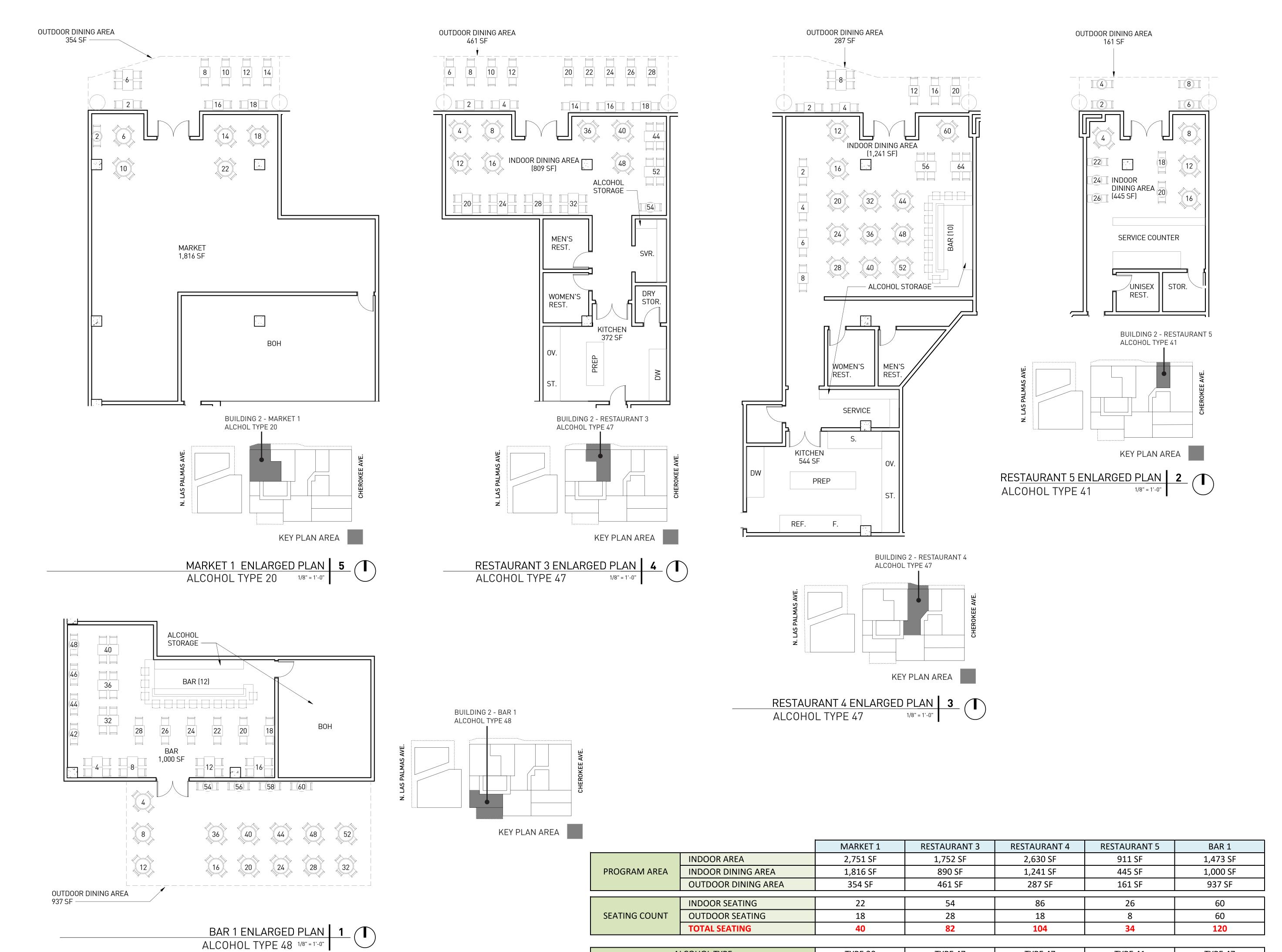
to 1645 N. Cherokee Ave. Los Angeles CA 90028

REVISIONS

A ISSUE

DATE

MCUP -ENLARGED PLANS



ALCOHOL TYPE

TYPE 20

TYPE 47

TYPE 47

TYPE 41

TYPE 47

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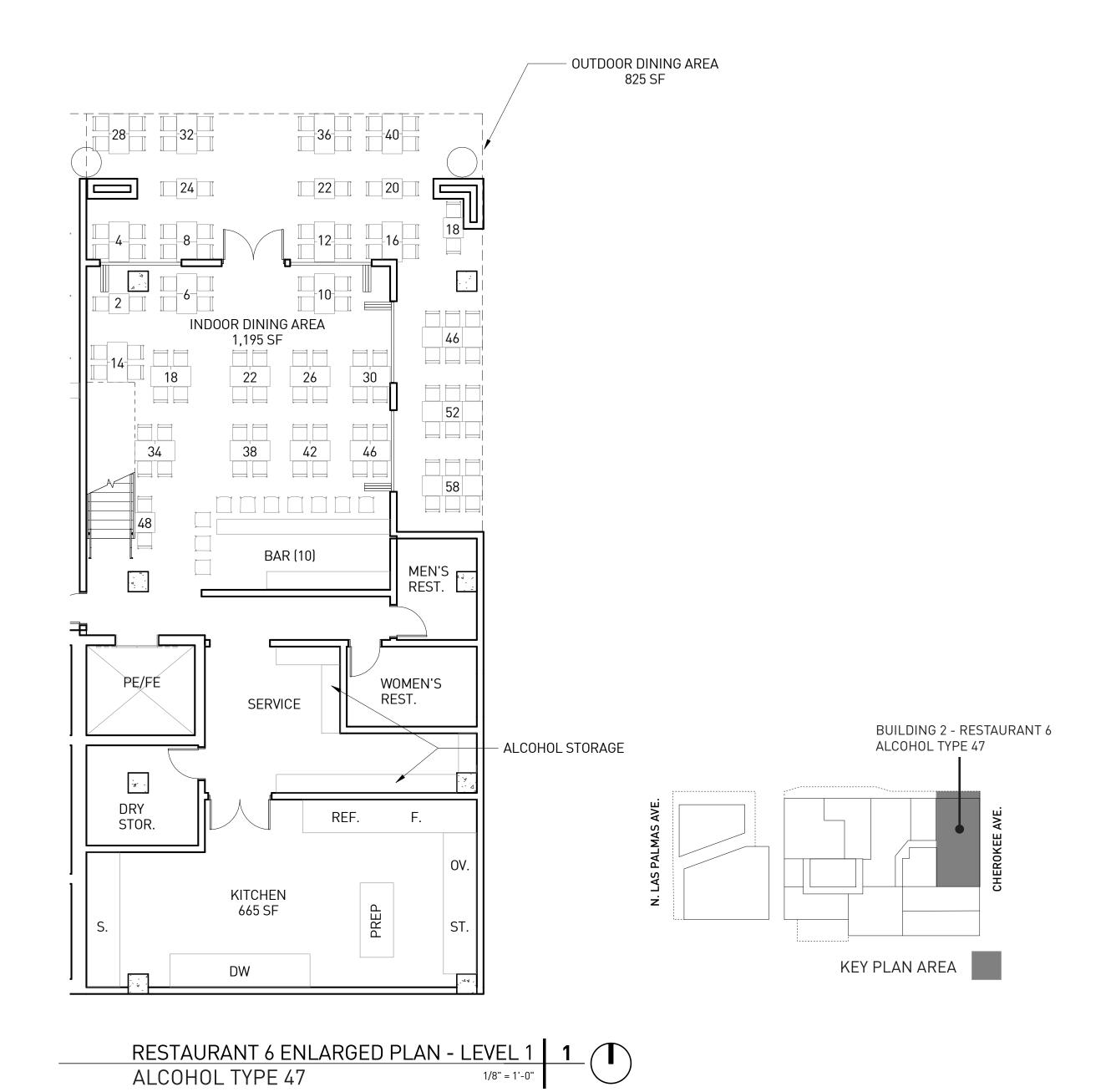
HOLLYWOOD CENTRAL
SITE 1 DEVELOPEMENT
1610 to 1638 N. Las Palmas Ave. Los Angeles CA 90028 162
to 1645 N. Cherokee Ave. Los Angeles CA 90028

REVISIONS	
△ ISSUE	DATE

MCUP -ENLARGED PLANS

RESTAURANT 6 ENLARGED PLAN - LEVEL 2 2
ALCOHOL TYPE 47

1/8" = 1'-0"



		RESTAURANT 6
	INDOOR AREA	4,511 SF
PROGRAM AREA	INDOOR DINING AREA	1,993 SF
	OUTDOOR DINING AREA	1,378 SF
SEATING COUNT	INDOOR SEATING	108
	OUTDOOR SEATING	96
	TOTAL SEATING	204
ALCOHOL TYPE		TYPE 47

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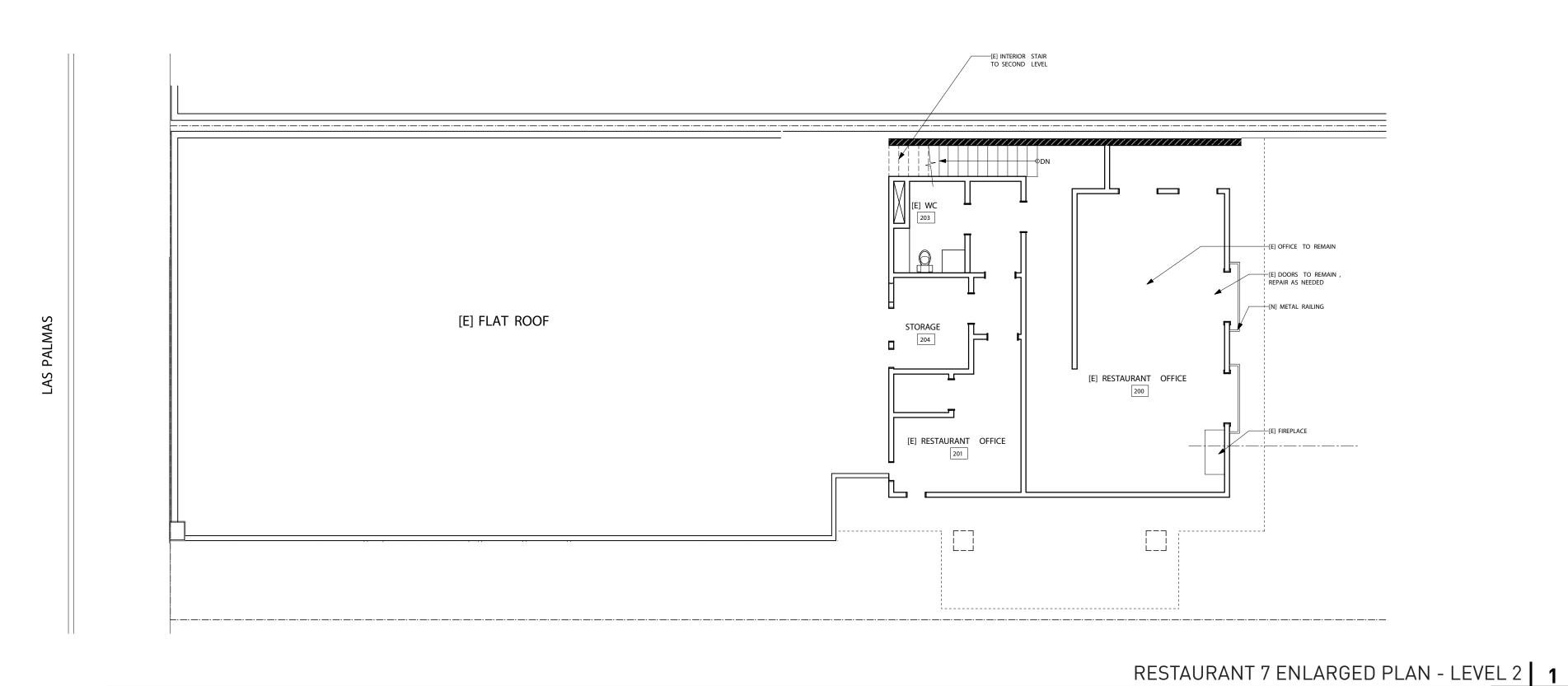
HOLLYWOOD CENTRAL

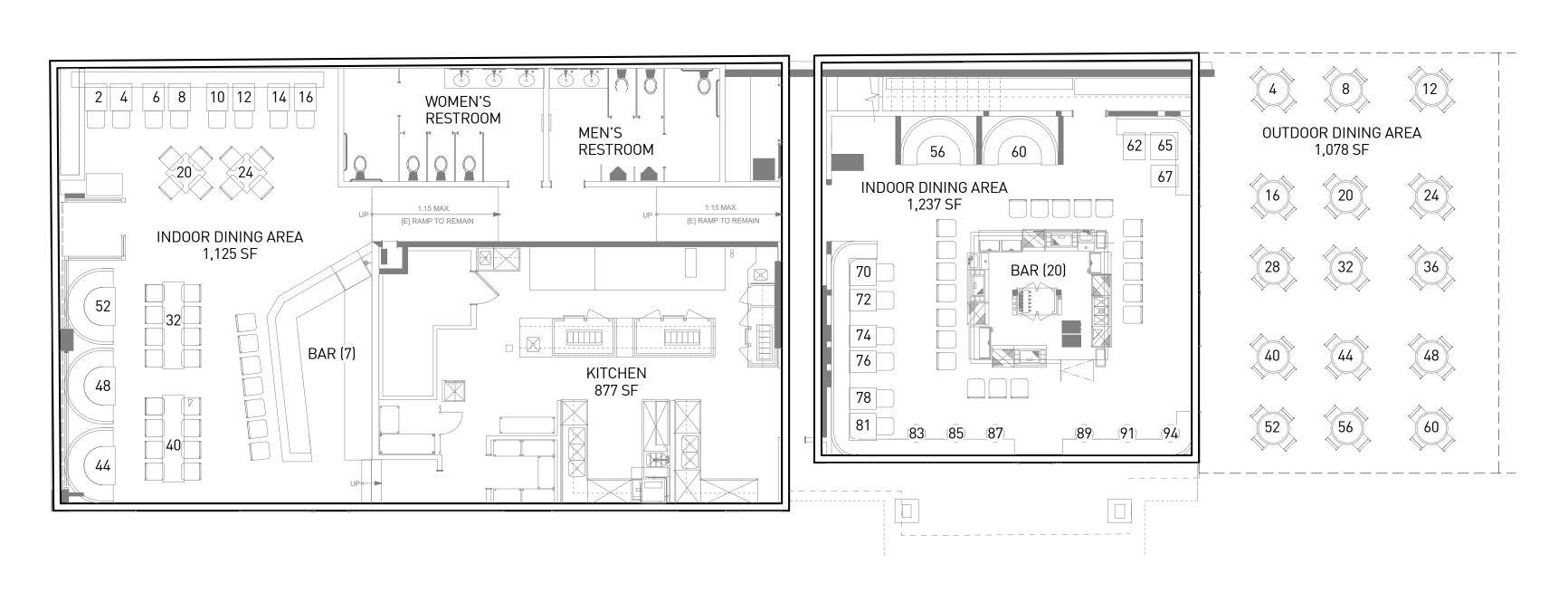
SITE 1 DEVELOPEMENT

O to 1638 N. Las Palmas Ave. Los Angeles CA 90028 1623

-	MCUP - ENLARGED PLANS
-	
-	
-	
-	

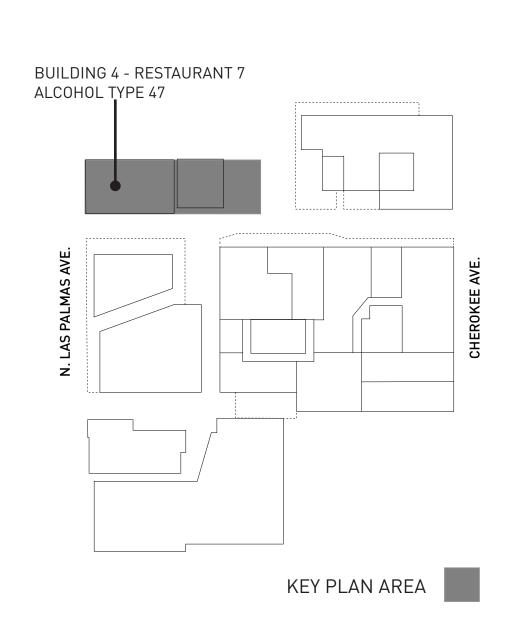
REVISIONS





RESTAURANT 7 ENLARGED PLAN - LEVEL 1 **1**ALCOHOL TYPE 47 1/8" = 1'-0"

ALCOHOL TYPE 47



SEATING COUNT

		RESTAURANT 7
	INDOOR AREA	5,048 SF
PROGRAM AREA	INDOOR DINING AREA	2,362 SF
	OUTDOOR DINING AREA	1,078 SF
	INDOOR SEATING	94

60

154

OUTDOOR SEATING

TOTAL SEATING

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SITE 1 DEVELOPEMENT

0 to 1638 N. Las Palmas Ave. Los Angeles CA 90028 16
to 1645 N. Cherokee Ave. Los Angeles CA 90028

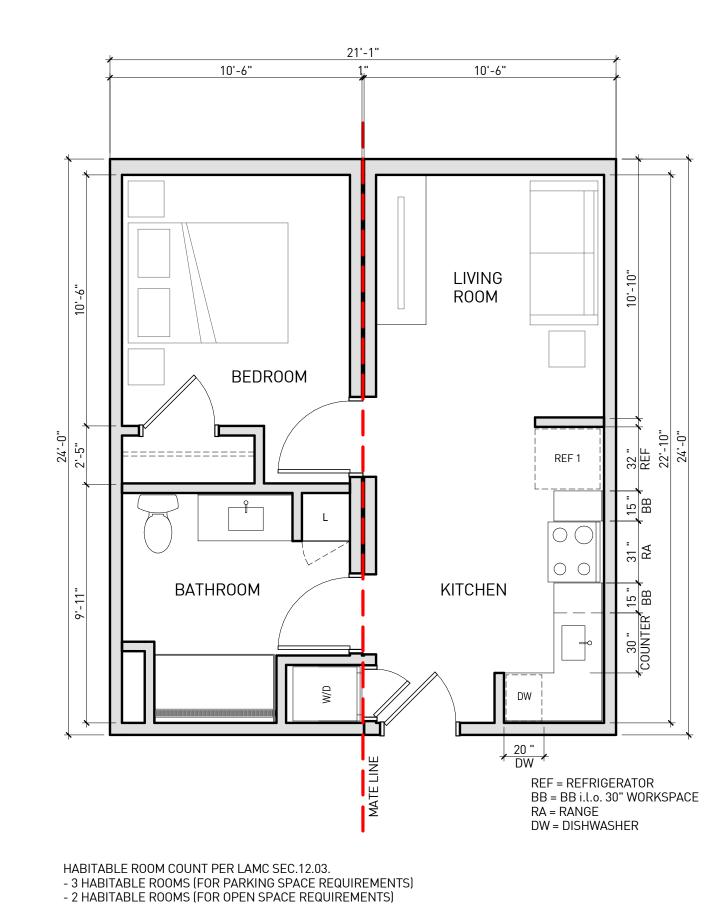
DATE

REVISIONS

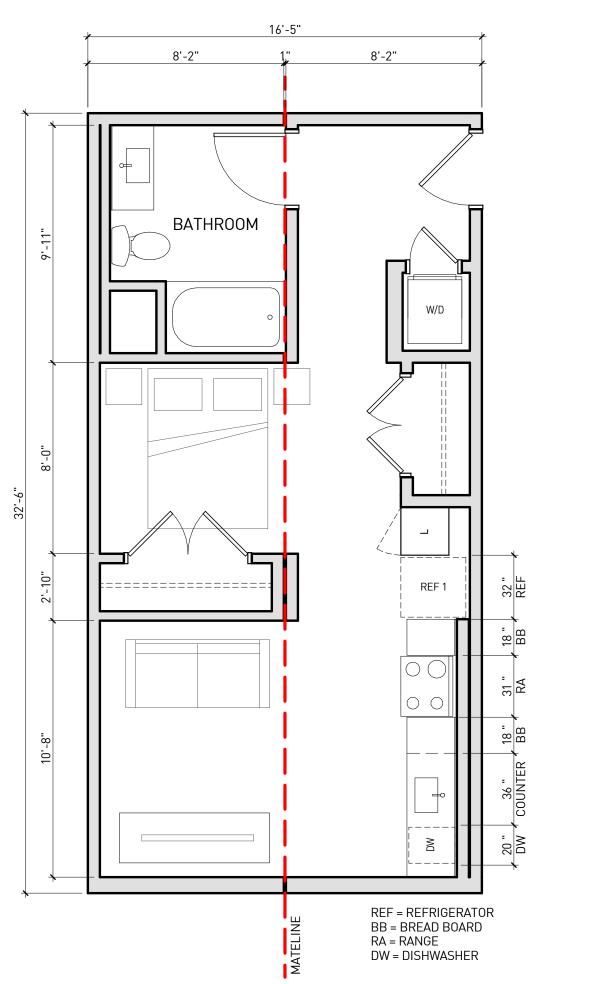
MCUP -ENLARGED FLOOR PLANS

HABITABLE ROOM COUNT PER LAMC SEC.12.03. - 3 HABITABLE ROOMS (FOR PARKING SPACE REQUIREMENTS) - 2 HABITABLE ROOMS (FOR OPEN SPACE REQUIREMENTS)

UNIT C : TYPICAL CORNER 1 BEDROOM UNIT PLAN 3

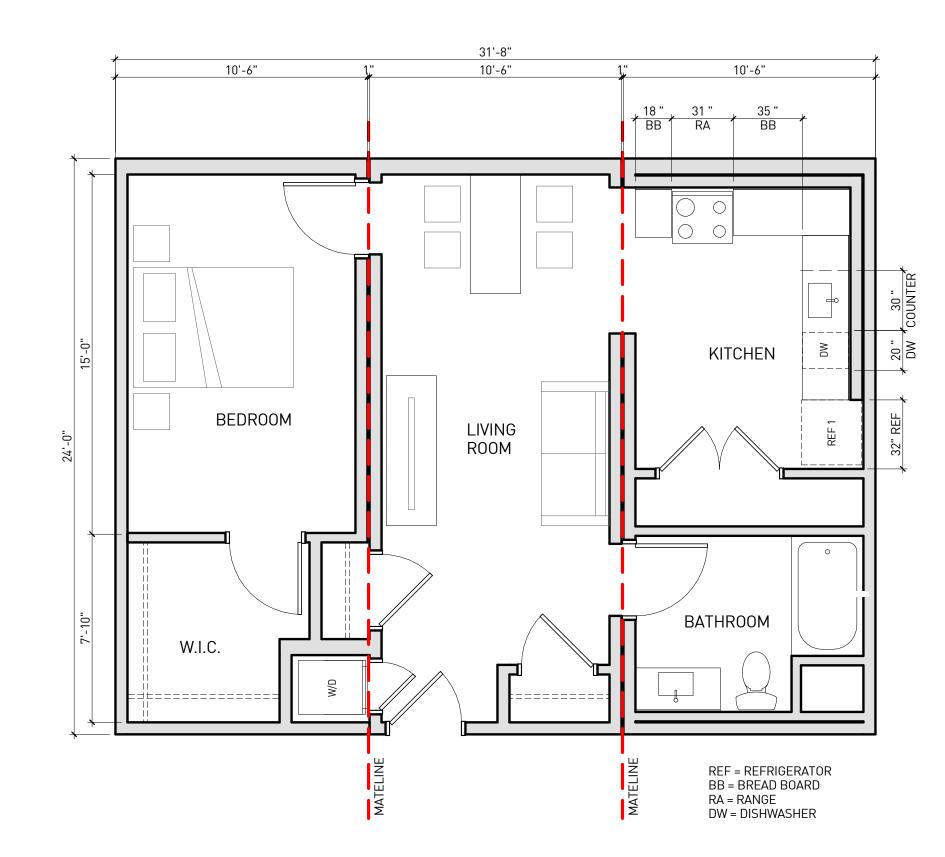


UNIT B : TYPICAL 1 BEDROOM UNIT PLAN 2



HABITABLE ROOM COUNT PER LAMC SEC.12.03. - 2 HABITABLE ROOMS (FOR PARKING SPACE REQUIREMENTS) - 1 HABITABLE ROOMS (FOR OPEN SPACE REQUIREMENTS)

UNIT E: TYPICAL STUDIO UNIT PLAN 5



HABITABLE ROOM COUNT PER LAMC SEC.12.03. - 3 HABITABLE ROOMS (FOR PARKING SPACE REQUIREMENTS) - 2 HABITABLE ROOMS (FOR OPEN SPACE REQUIREMENTS)

UNIT A: 1 BEDROOM UNIT PLAN 1

HABITABLE ROOM COUNT PER LAMC SEC.12.03.
- 3 HABITABLE ROOMS (FOR PARKING REQUIREMENTS)
- 2 HABITABLE ROOMS (FOR OPEN SPACE REQUIREMENTS)

UNIT D : TYPICAL 1 BEDROOM UNIT PLAN 4

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SITE 1 DEVELOPEMENT

to 1638 N. Las Palmas Ave. Los Angeles CA 90028 1623

REVISIONS

ENLARGED MODULAR UNIT PLANS

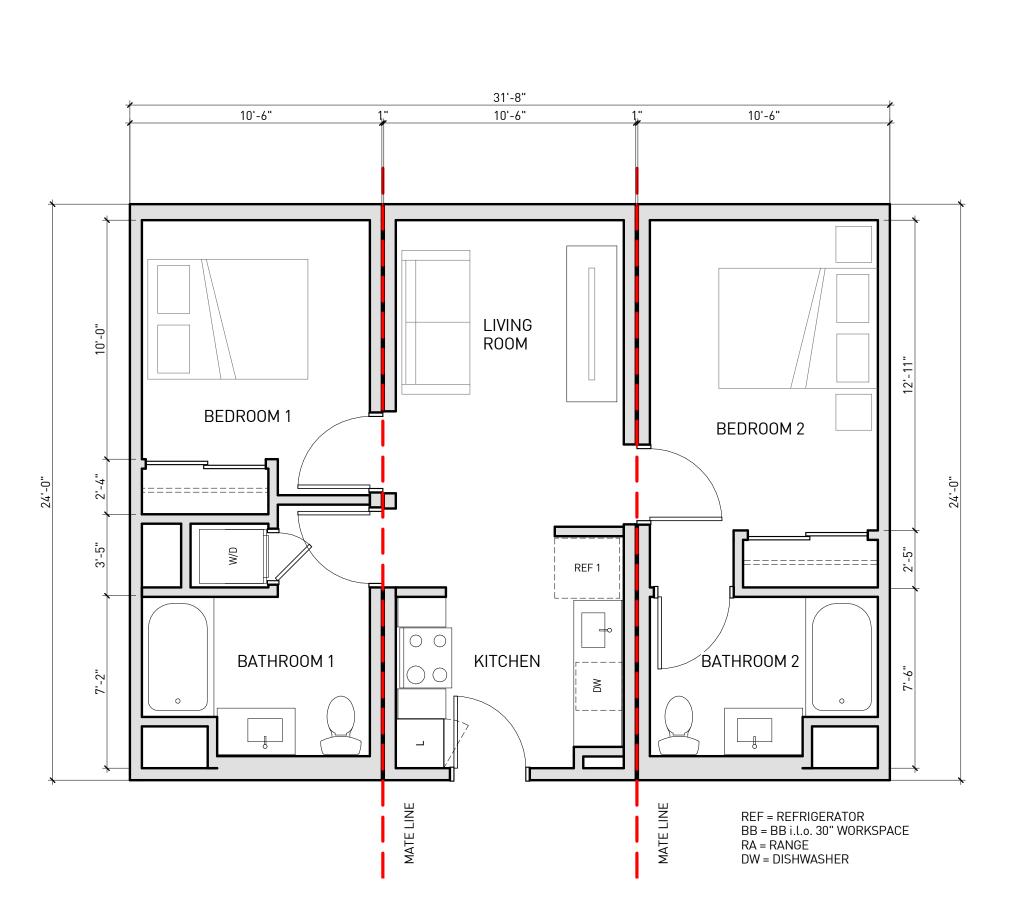
A4.01

UNIT H: TYPICAL CORNER 2 BEDROOM W/ BALCONY UNIT PLAN 3

RA = RANGE DW = DISHWASHER MATELINE

MATELI

UNIT F: TYPICAL CORNER 2 BEDROOM UNIT PLAN 1



HABITABLE ROOM COUNT PER LAMC SEC.12.03. - 4 HABITABLE ROOMS (FOR PARKING SPACE REQUIREMENTS) - 3 HABITABLE ROOMS (FOR OPEN SPACE REQUIREMENTS)

UNIT G: TYPICAL 2 BEDROOM UNIT PLAN 2

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HOLLYWOOD CENTRAL
SITE 1 DEVELOPEMENT
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to 1645 N. Cherokee Ave. Los Angeles CA 90028

ENLARGED MODULAR UNIT PLANS

DATE

REVISIONS

A4.02

HABITABLE ROOM COUNT PER LAMC SEC.12.03.
- 4 HABITABLE ROOMS (FOR PARKING SPACE REQUIREMENTS)
- 3 HABITABLE ROOMS (FOR OPEN SPACE REQUIREMENTS)

UNIT I : CORNER 2 BEDROOM UNIT PLAN 1

1/4" = 1'-0"

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REVISIONS

ENLARGED MODULAR UNIT PLANS

A4 03



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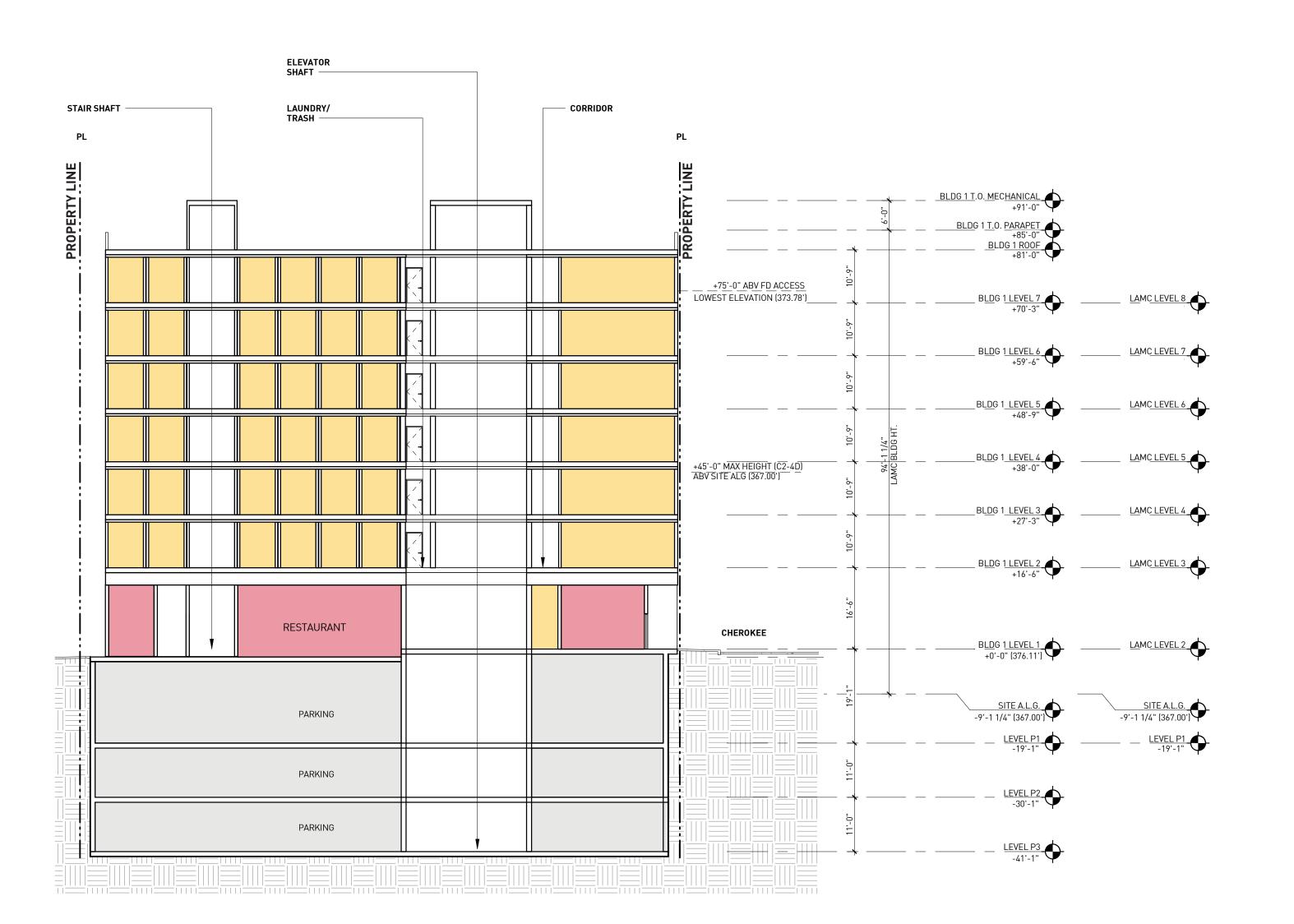
HOLLYWOOD CENTRAL
SITE 1 DEVELOPEMENT
10 to 1638 N. Las Palmas Ave. Los Angeles CA 9002
to 1645 N. Cherokee Ave. Los Angeles CA 9002

DATE

REVISIONS

SITE SECTION

A5.01



GRAPHICS LEGEND

RESIDENTIAL
RESTAURANT
MARKET
OFFICE
PARKING
AMENITY



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J+J НОLLYWOOD, LLC

SITE 1 DEVELOPEMENT

10 to 1638 N. Las Palmas Ave. Los Angeles CA 90028 162

to 1645 N. Cherokee Ave. Los Angeles CA 90028

REVISIONS

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DATE

BUILDING 1 SECTION

BLDG 5 (E)
BUILDING 3

BUILDING 1 SECTION 1

45.02

GRAPHICS LEGEND

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HOLLYWOOD CENTRAL

SITE 1 DEVELOPEMENT

10 to 1638 N. Las Palmas Ave. Los Angeles CA 90028 162:
to 1645 N. Cherokee Ave. Los Angeles CA 90028

REVISIONS

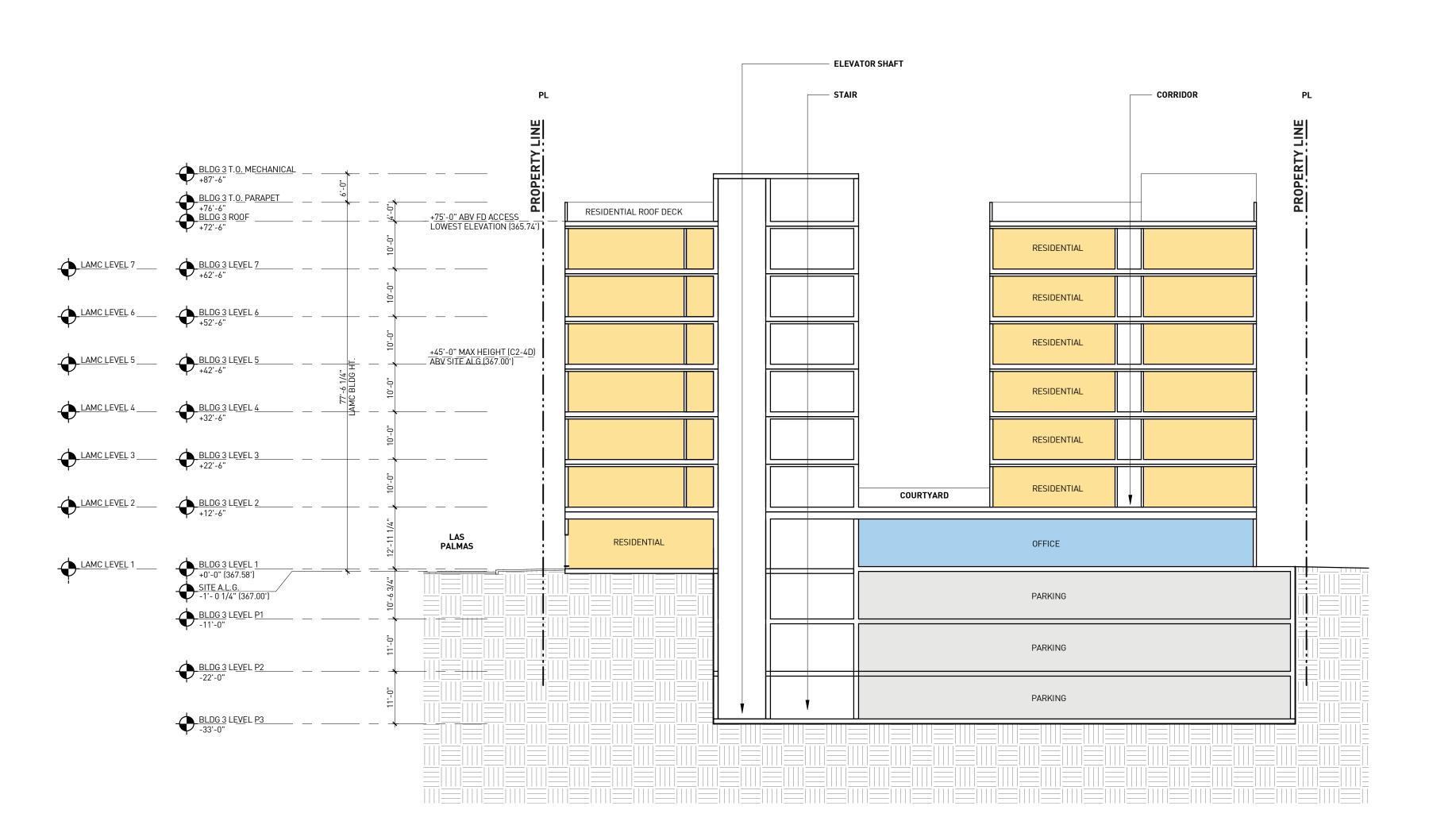
A ISSUE

DATE

BUILDING 2 SECTION

A5.03

BUILDING 2 SECTION 1



GRAPHICS LEGEND

RESIDENTIAL

RESTAURANT

MARKET

OFFICE

PARKING

AMENITY



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HOLLYWOOD CENTRAL

SITE 1 DEVELOPEMENT

o 1638 N. Las Palmas Ave. Los Angeles CA 90028 1623
to 1645 N. Cherokee Ave. Los Angeles CA 90028

BUILDING 3 SECTION

BUILDING 2

BUILDING 3 SECTION **1**1/16" = 1'-0"

A5.04

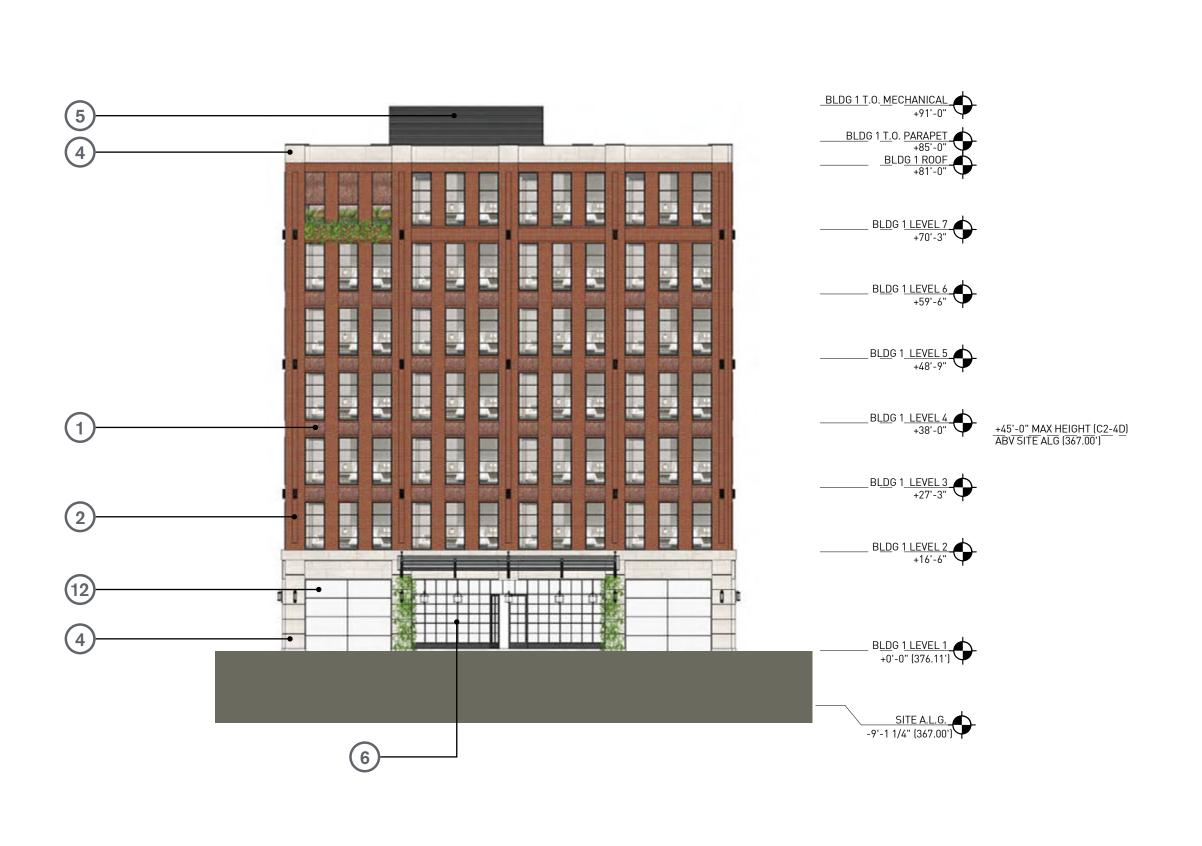


BUILDING1 - NORTH ELEVATION 4

BUILDING 1 - SOUTH ELEVATION **2**1/16" = 1'-0"



BUILDING 1 - WEST ELEVATION 3



BUILDING 1 - EAST ELEVATION

1/16" = 1'-0"

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SITE 1 DEVELOPEMENT

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to 1645 N. Cherokee Ave. Los Angeles CA 90028

REVISIONS	
\triangle ISSUE	DATE
BUILDIN	G 1

A6 01

ELEVATIONS

BUILDING 2

BLDG 5 (E)

BUILDING 3

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HOLLYWOOD CENTRAL
SITE 1 DEVELOPEMENT
10 to 1638 N. Las Palmas Ave. Los Angeles CA 900;
to 1645 N. Cherokee Ave. Los Angeles CA 900;

REVISIONS DATE

BUILDING 2 ELEVATIONS

BLDG 2 T.O. PARAPET +177'-0" BLDG 2 ROOF +173'-0" BLDG 2 LEVEL 15 - ROOF DECK +158'-0" BLDG 2 LEVEL 14 +141'-3" BLDG 2 LEVEL 13 +130'-6" BLDG 2 LEVEL 12 +119'-9" _____BLDG 2 LEVEL 11 +109'-0" BLDG 2 LEVEL 10 +98'-3" BLDG 2 LEVEL 9 +87'-6" _____BL_DG 2 LEVEL 8 +76'-9" _____BLDG 2 LEVEL 7 +66'-0" +45'-0" MAX HEIGHT (C2-4D) BLDG 2 LEVEL 5 +44'-6" ABV SITE ALG (367.00') BLDG 2 LEVEL 4 +33'-9" _____BL_DG 2 LEVEL 3 +23'-0" BLDG 2 LEVEL 2 +11'-0" BLDG 2 LEVEL 1 +0'-0" (372.59) ______SITE_A.L.G._______ 12

BUILDING 2 - EAST ELEVATION **2**

11

BLDG (E) BLDG 5 (E)

BUILDING 2 - SOUTH ELEVATION 1

BUILDING 3 4-+-+----

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BLDG 2 LEVEL 14 +141'-3"

BLDG 2 LEVEL 13 +130'-6"

BLDG 2 LEVEL 12 +119'-9"

BLDG 2 LEVEL 10 +98'-3"

BLDG 2 LEVEL 9 +87'-6"

BLDG 2 LEVEL 2 +11'-0"

BLDG 2 LEVEL 1 +0'-0" (372.59)

HOLLYWOOD CENTRAL

SITE 1 DEVELOPEMENT

1610 to 1638 N. Las Palmas Ave. Los Angeles CA 900

to 1645 N. Cherokee Ave. Los Angeles CA 9002

REVISIONS

DATE

BUILDING 2 ELEVATIONS

A6.03

BLDG 2 T.O. PARAPET +177'-0"
BLDG 2 ROOF +173'-0" BLDG 2 LEVEL 15 - ROOF DECK +158'-0" _____BLDG 2 LEVEL 11 +109'-0" _____BL_DG 2_LEVEL 8 +76'-9" _____BLDG 2 LEVEL 7 +66'-0" +45'-0" MAX HEIGHT (C2-4D) BLDG 2 LEVEL 5 +44'-6" ABV SITE ALG (367.00') 2 _____BLDG 2 LEVEL 4 +33'-9" _____BL_DG 2_LEVEL 3 +23'-0" 16 14 15 6 12 5 12 14 13 6 _2 12

BUILDING 2 - NORTH ELEVATION **2**1/16" = 1'-0"

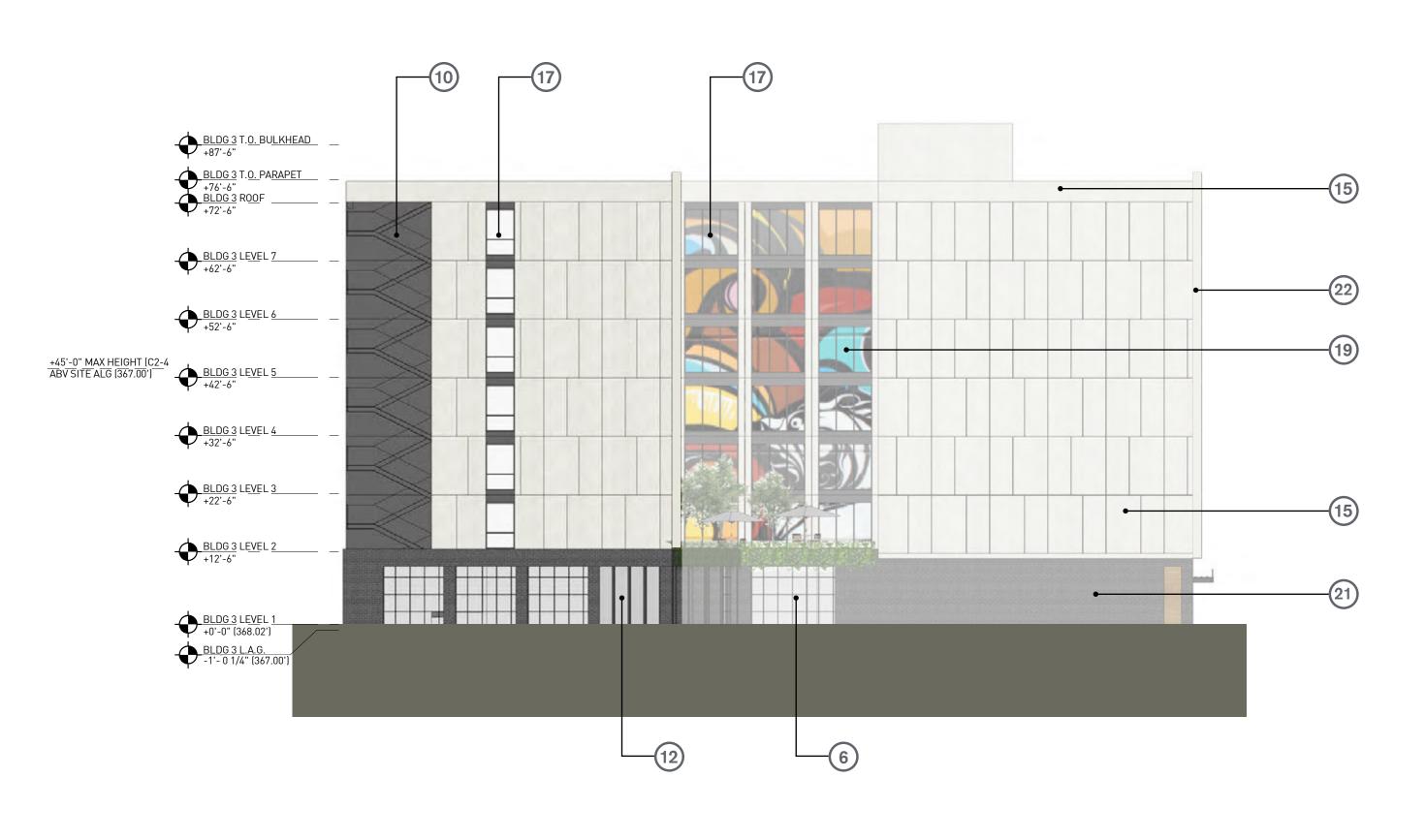
BUILDING 1 LAS-PALMAS AVE BUILDING 2

BUILDING 2 - WEST ELEVATION 1

BLDG 5 (E)

BUILDING 3

4-----



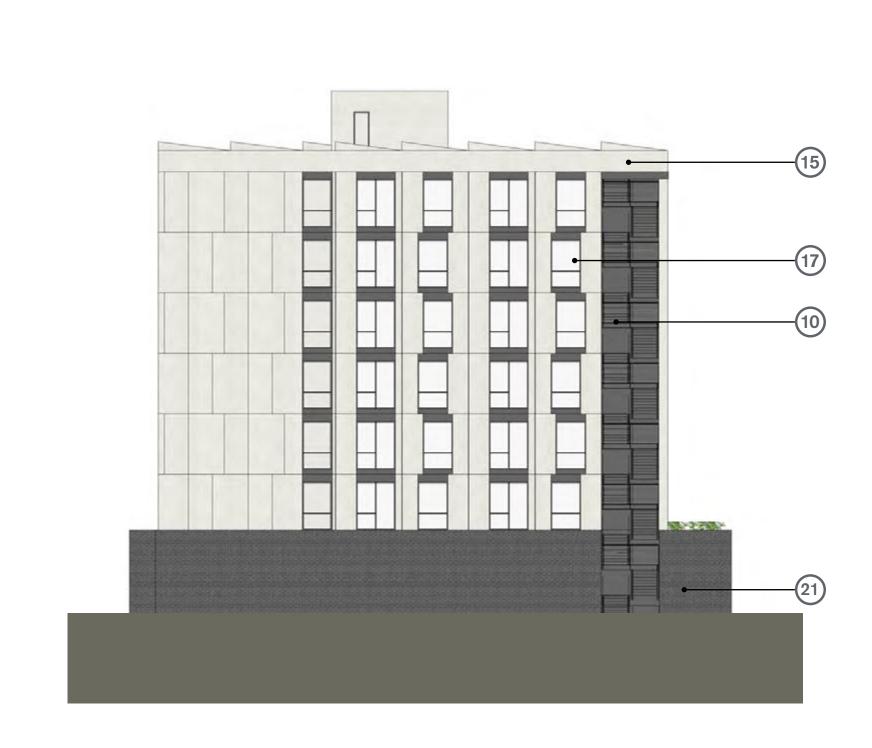
-(15)

BUILDING 3 - NORTH ELEVATION 4

BUILDING 3 - WEST ELEVATION 3

BUILDING 3 - SOUTH ELEVATION 2





BLDG (E) BUILDING 2

BUILDING 3 - EAST ELEVATION 1

1/16" = 1'-0"

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DATE

BUILDING 3 ELEVATIONS

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A7.01



20. CORRUGATED METAL ROOF



15. STUCCO, WHITE



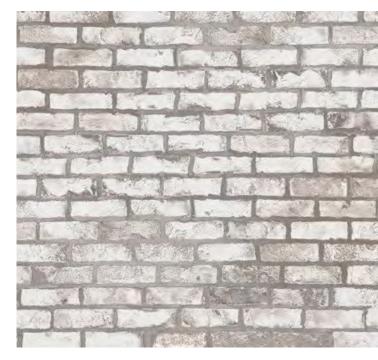
10. METAL GUARDRAIL



05. METAL SIDING, DARK GREY



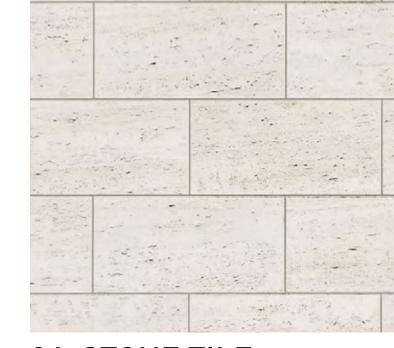
19. ART BY OTHERS



14.BRICK, WHITE



09. GLASS GUARDRAIL



04. STONE TILE



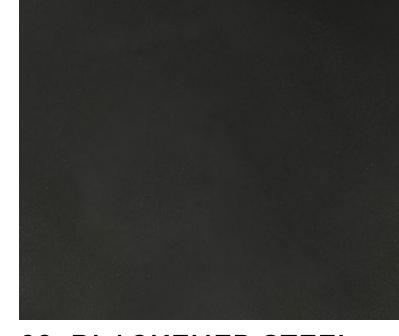
18. STEEL BEAM, DARK GREY



13. GLASS FOLDING DOORS



08. DARK BRONZE PANEL



03. BLACKENED STEEL





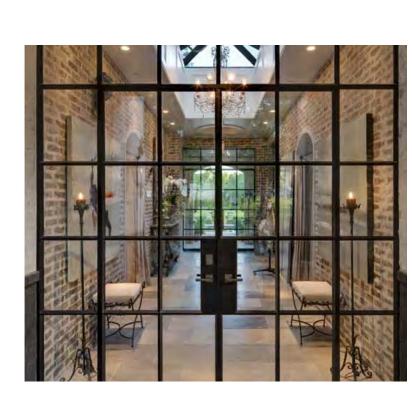
17. WINDOW WALL SYSTEM



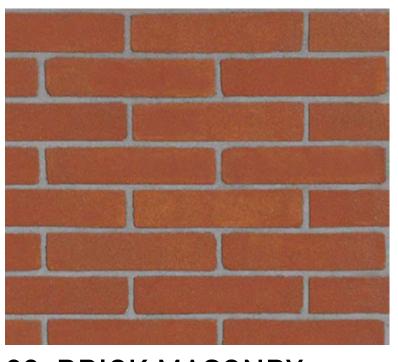
12. DARK ANODIZED **ALUMINUM STOREFRONT**



07. BRASS PANEL



06. STEEL STOREFRONT

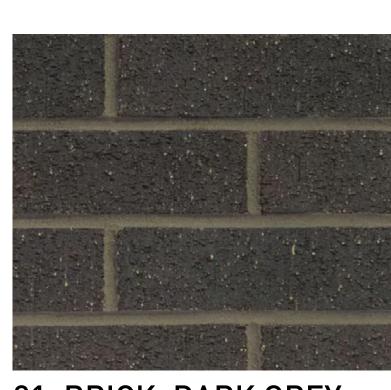


02. BRICK MASONRY





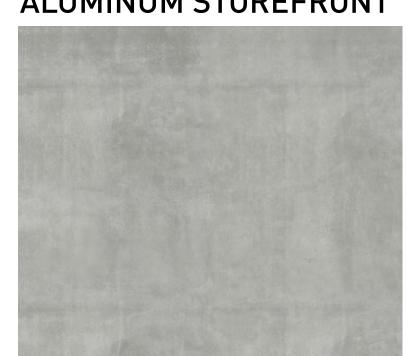
22. WOOD SIDING



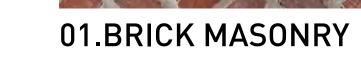
21. BRICK, DARK GREY



16. STUCCO, BEIGE



11. CONCRETE



RENDERINGS





PLANTING AREA REQUIRED
(25% MINIMUM OF COMMON OPEN SPACE)

10,194 SF

PLANTING AREA PROVIDED

11,864 SF

NOTE: THE 25% PLANTING REQUIREMENT IS BASED ON THE "COMMON OPEN SPACE" REQUIRED FOR THE PROJECT AS A WHOLE PER LAMC 12.21-G.2(A)

TREE REQUIREMENTS

CANOPY TREES PROVIDED

CANOPY TREES REQUIRED
(1 TREE PER 4 RESIDENTIAL UNITS)

99

393 RES. UNITS

110

NOTE: THE TREE COUNT REQUIREMENT IS BASED ON TOTAL RESIDENTIAL AND INCLUDES STREET TREES IN ROW

RAISED PLANTER WITH
CANTILEVER SEATING

PAVING OVER
CONCRETE SLAB

TREE PIT SOIL: SOIL VOLUME 900 CU. FT
MINIMUM FOR MEDIUM SIZED TREE (25'-40' H)

DEEPENED BEAM TO
SUPPORT TREE

COLUMNS
(SEE ARCHITECTS DRAWINGS)

TREE IN RAISED PLANTER OVER PODIUM | SOIL VOLUME DIAGRAM

TREE + PLANTING NOTES:

- MINIMUM TREE WELL DEPTH FOR TREES IS 42 INCHES. MINIMUM DEPTH FOR SHRUBS IS 30 INCHES, AND MINIMUM DEPTH FOR HERBACEOUS PLANTING AND GROUND COVERS IS 18" INCHES.
- ALL TREE WELLS ALONG STREET SCAPE OVER GRADE TO BE 4'X10'X42'" DEEP (MIN.)
- ALL SMALL TREES OVER PODIUM (LESS THAN 25' IN HEIGHT AT MATURITY) HAVE 600 CUBIC FEET MINIMUM OF SOIL PROVIDED.
- ALL MEDIUM SIZED TREES OVER PODIUM (25'-40' IN HEIGHT AT MATURITY) HAVE 900 CUBIC FEET MINIMUM OF SOIL PROVIDED.
 ALL LARGE SIZED TREES (GREATER THAN 40' IN HEIGHT AT MATURITY) HAVE 1,200
- CUBIC FEET MINIMUM OF SOIL PROVIDED.

 ALL TREES ON PODIUM OR DECKS SHALL BE IN PLANTERS THAT ARE A MINIMUM
- OF 3' IN DEPTH

 NEW TREES PLANTED IN THE PUBLIC R.O.W. TO BE SPACED NOT MORE THAN AN
- AVERAGE SPACING OF 30' ON CENTER.
- ALL CANOPY TREES SHALL BE PLANTED AT A SIZE OF 24" BOX MINIMUM
- PLANTING TO BE COMPRISED OF A MAJORITY OF DROUGHT TOLERANT VARIETIES

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HOLLYWOOD CENTRAL

SITE 1 DEVELOPMENT

to 1638 N. Las Palmas Ave. Los Angeles CA 90028 1623

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LANDSCAPE

CALCULATIONS

21 3:30:50 PM



- 1. PUBLIC PASEO W/ ACCENT BRICK PAVING RUNNING BOND PATTERN
- 2. HOTEL PLAZA W/ CONCRETE PAVERS
- 3. LINEAR PEDESTRIAN WALK AT FIRE LANE W CONCRETE PAVERS
- 4.ZERO-CURB WITH BOLLARDS AT SHARED STREET
- 5. PEDESTRIAN ALLEY WAY W/ LIGHTING AND FURNITURE
- 6. PEDESTRIAN CORRIDOR W/ COBBLE PAVING SQUARE RUNNING BOND PATTERN
- 7. MOVABLE FURNISHINGS IN FIRE LANE 8. DINING PATIO
- DI NINO I ATTO DI NOCE DININO CENTI
- 9. LOOSE DINING SEATING
- 10. LOOSE LOUNGE SEATING
- 11. STREET TREES AT 30'-0" O.C. MAX. SPACING.
- 12. PLANTING AREA, TYP.
- 13. SPECIMEN TREE IN RAISED PLANTER W/ CANTILEVER SEATING.REFER TO DIAGRAM, 1/L0.01.
- 14. SHORT TERM BICYCLE PARKING
- 15. DINING KIOSK
- 16. WATER FEATURE
- 17. HEXAGONAL TILE AT PATIOS

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PLAZA

PLAZA ILLUSTRATIVE SITE PLAN

L1.00

KEYMAP

BLDG 4 (E)

BLDG 5 (E)

BLDG 5 (E)

BUILDING 1

BLDG 5 (E)



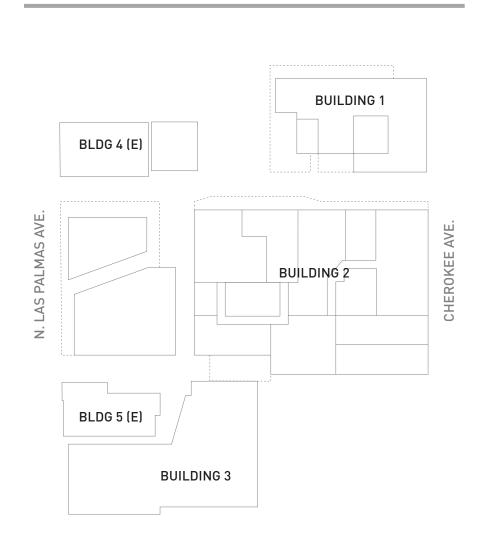
1. PRECAST CONCRETE PAVERS ON PEDESTAL SYSTEM 2.ARTIFICIAL TURF FLEX SPACE 3. CAFE STYLE SEATING 4.UMBRELLAS WITH LOUNGE SEATING, TYP. 5.LOUNGE SEATING 6. FITNESS CENTER PATIO 7. PRIVATE PATIO, TYP. 8. PLANTING AREA, TYP.

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KEYMAP



LEVELS 2 AND 3 DECK ILLUSTRATIVE PLAN

BUILDING 3 | LEVEL 8 ROOF DECK ILLUSTRATIVE PLAN 1

KEY NOTES:

- 1. PRECAST CONCRETE PAVERS ON PEDESTAL SYSTEM
- 2. SKINNY PLANTER AT ACCESS WALK
- 3. OUTDOOR DINING
- 4. LOUNGE SEATING AT PARAPET WALL
- 5. SHADE TREES
- 6. PLANTING AREA, TYP.
- 7. PARAPET WALL ACCENT PLANTERS

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YMAP	
	BUILDING 1
BLDG 4 (E)	
	CHEROKEE AVE.
BLDG 5 (E) BUILDING	; 3

BUILDING 3 LEVEL 8 ROOF DECK ILLUSTRATIVE PLAN

1. PRECAST CONCRETE PAVERS ON PEDESTAL SYSTEM

2.ARTIFICIAL TURF FLEX SPACE

3.BBQ AND COUNTER TOP

4. FIRE PIT, TYP

5. RAISED GARDEN BEDS

6.DOG RUN

7. CAFE STYLE SEATING

8. COMMUNAL STYLE SEATING

9. LOUNGE SEATING

10. PLANTING AREA, TYP.

11. POOL DECK PAVERS

12. POOL DECK ENCLOSURE

13. OVERHEAD STRING LIGHTS

14. OVERHEAD CANTILEVER SHADE STRUCTURE AT OUTDOOR WORK SPACE

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REVISIONS

BUILDING 2 LEVEL 15 ROOF DECK ILLUSTRATIVE PLAN

BUILDING 2

BUILDING 1

BUILDING 2

COMMUNITY ROOM

BUILDING 2 | LEVEL 15 ROOF DECK ILLUSTRATIVE PLAN | 1

KEYMAP

BUILDING 3

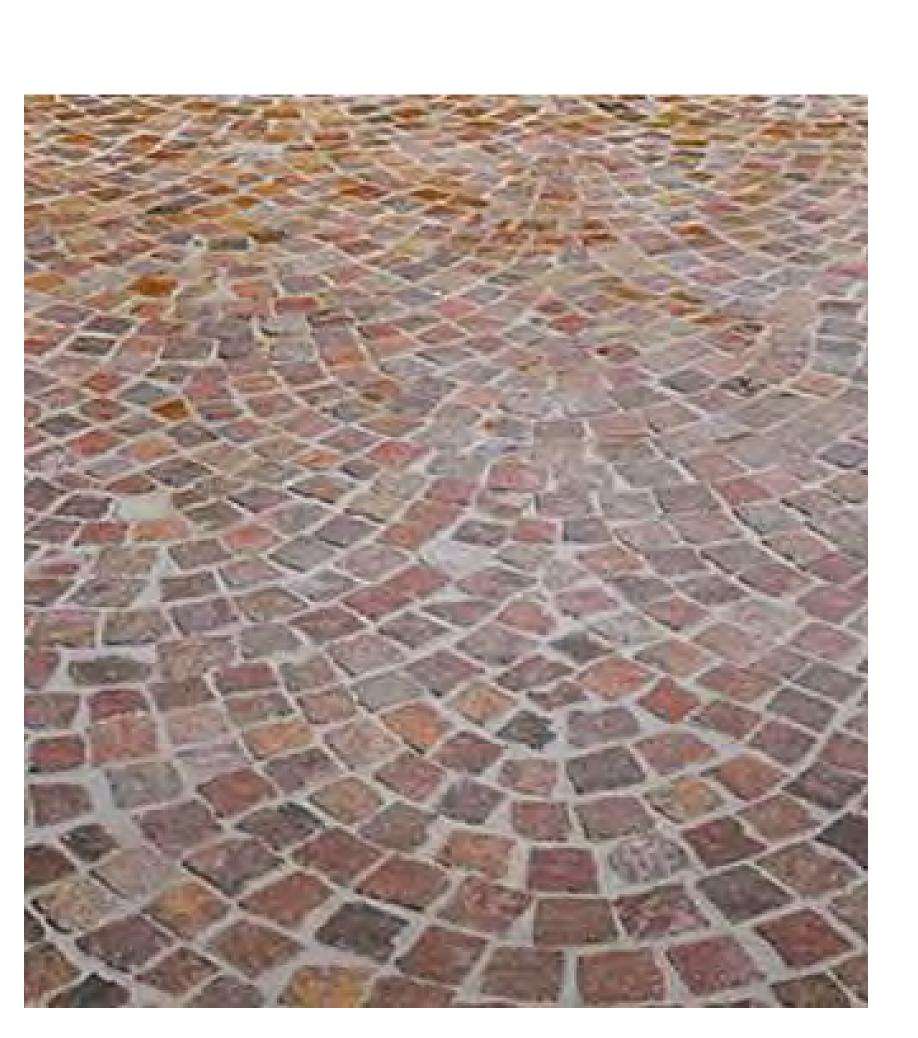


BRICK PAVING

GRANITE/ COBBLE PAVING (VARYING COLORS AND SIZES)



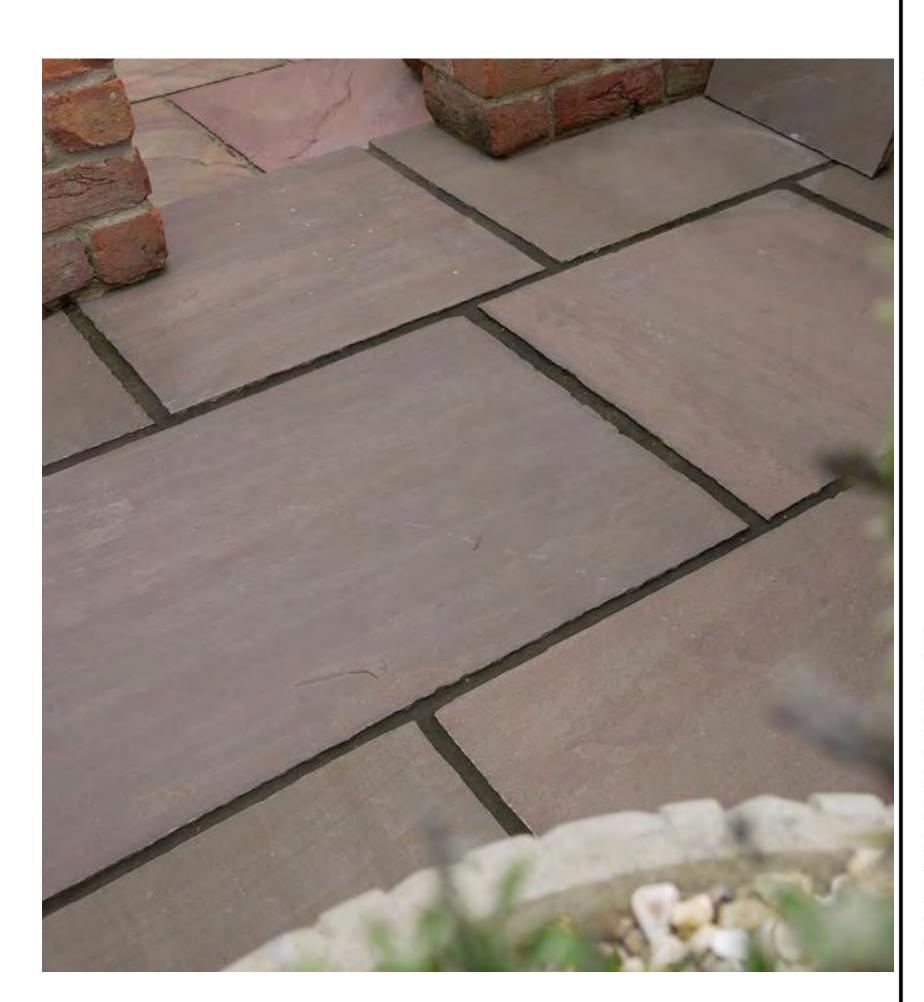
HEXAGONAL TILE



COBBLE FAN PAVING PATTERN



DECORATIVE METAL TREE GRATES



COLORED CONCRETE PAVERS



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GROUND LEVEL LANDSCAPE MATERIALS PALETTE

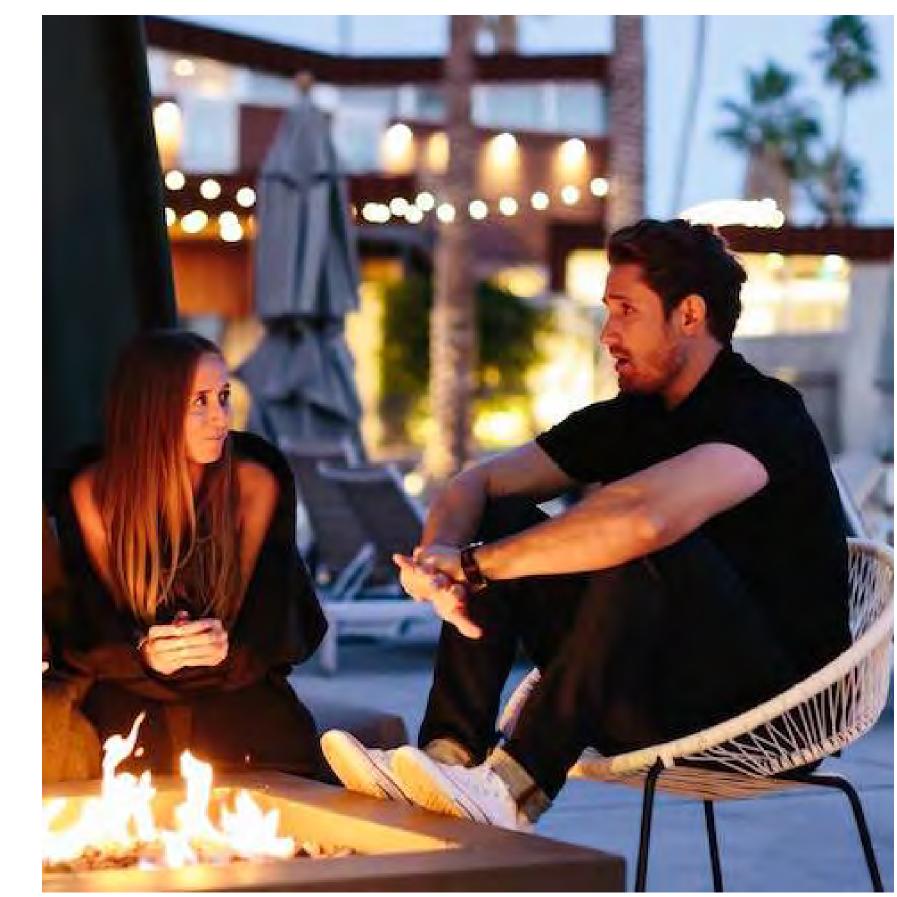
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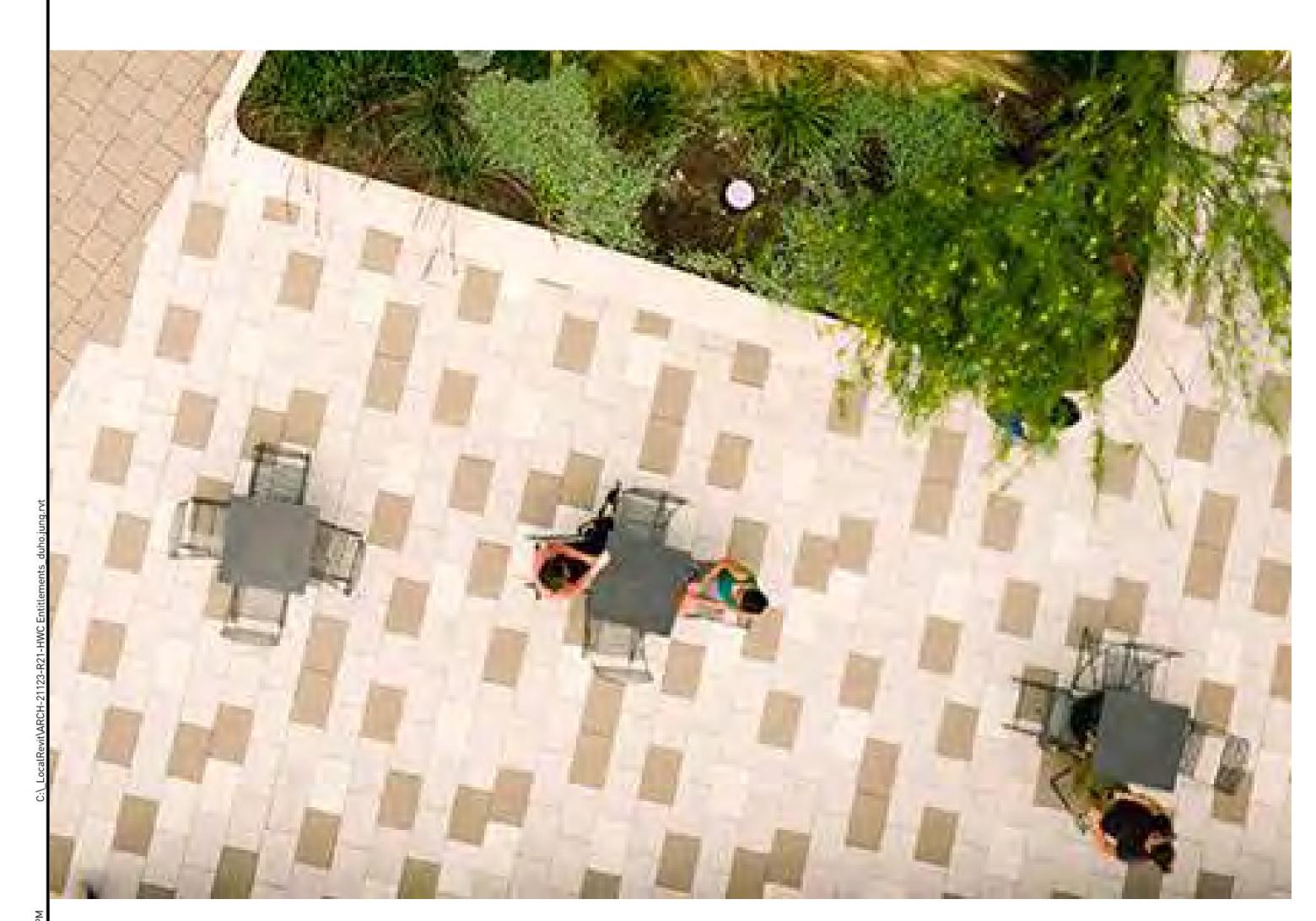




POOL DECK PAVER



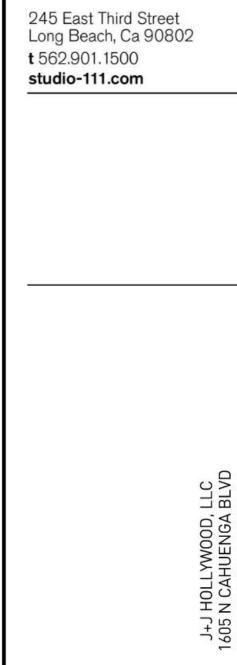
METAL FIREPITS AND LOUNGE SEATING



COLORED CONCRETE PAVERS



CANTILEVER SHADE STRUCTURE WORKSAPCE



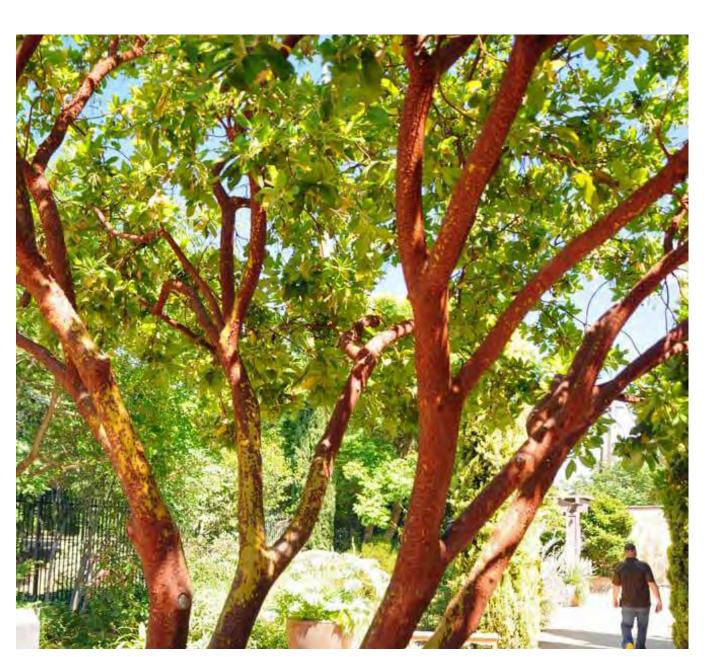
HULLYWOOD CENIKAL

SITE 1 DEVELOPMENT

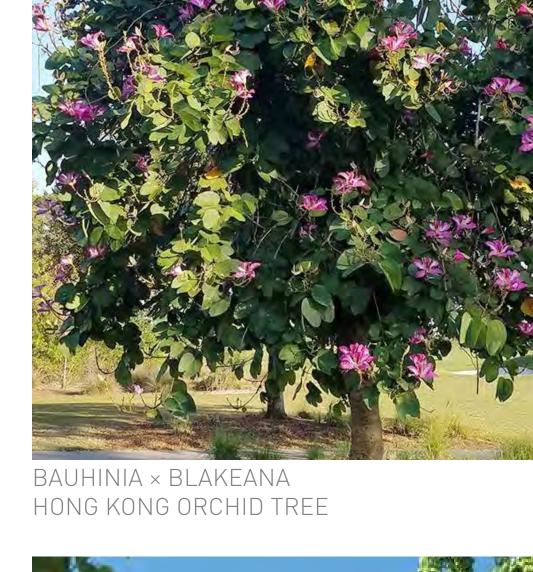
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ROOF DECK LANDSCAPE MATERIALS PALETTE



ARBUTUS MARINA STRAWBERRY TREE

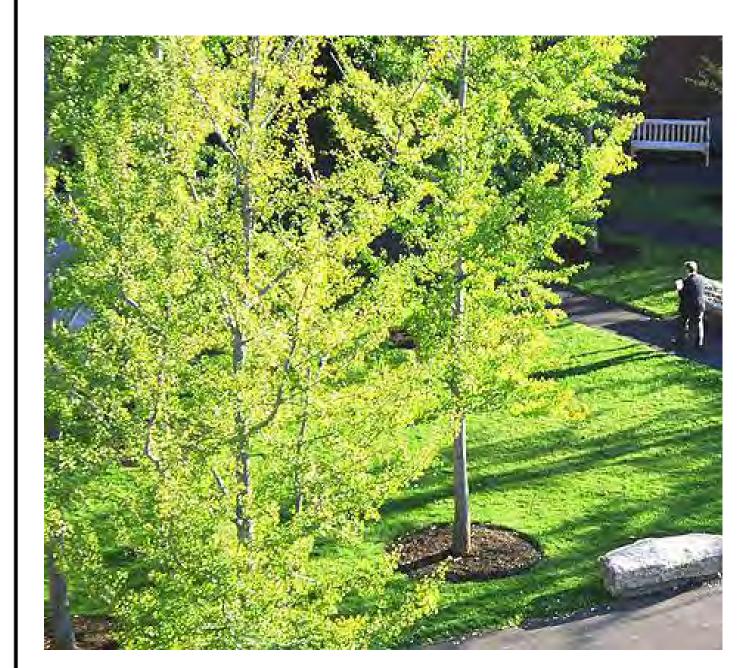




CERCIS OCCIDENTALIS WESTERN REDBUD



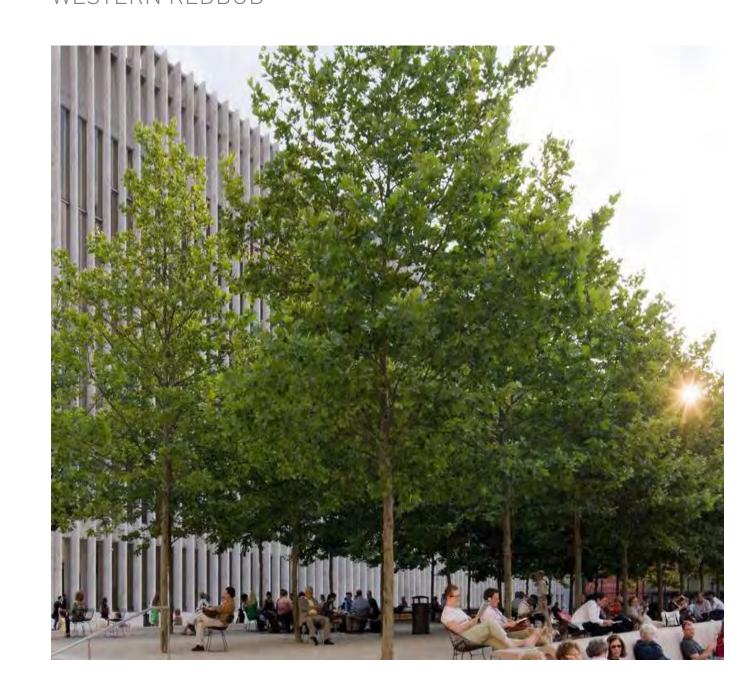
GLEDITSIA TRIACANTHOS 'SHADEMASTER SHADEMASTER HONEY LOCUST



GINKGO BILOBA (MALE) MAIDENHAIR TREE



PYRUS CALLERYANA 'CAPITAL' CAPITAL CALLERY PEAR



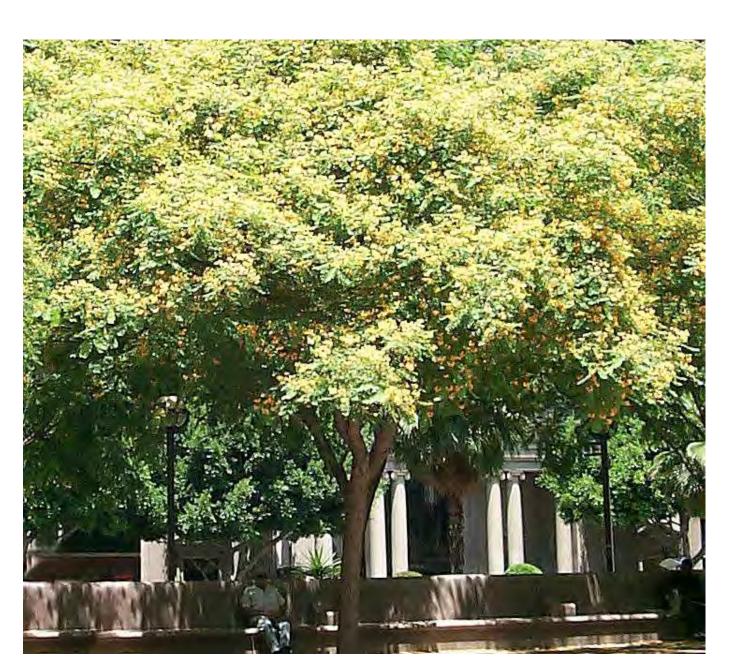
PLATANUS X ACERFOLIA LONDON PLANE TREE



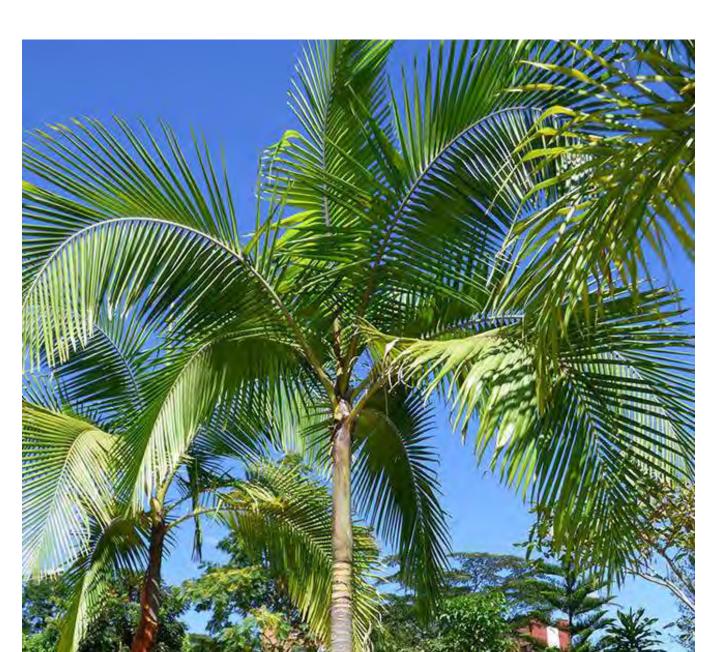
OLEA EUROPAEA 'SWAN HILL' SWAM HILL OLIVE



FICUS SPECIES
FIG TREE SPECIMEN



TIPUANA TIPU TIPU TREE



ARCHONTOPHOENIX CUNNINGHAMIANA KING PALM



WASHINGTONIA FILIFERA CALIFORNIA FAN PALM

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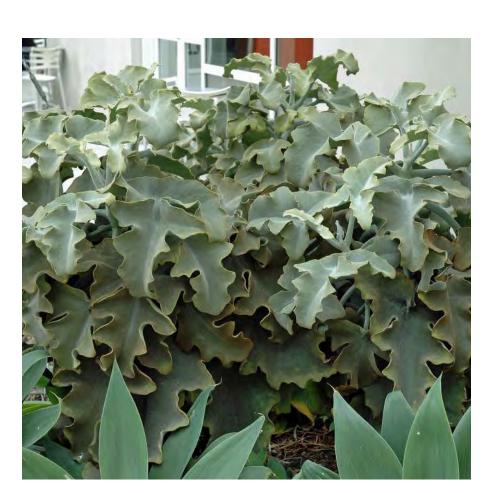
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LANDSCAPE TREE PALETTE

L2.03

BAMBUSA MULTIPLEX 'ALPHONSE KARR' ARCTOSTAPHYLOS 'PACIFIC MIST' ALPHONSE KARR BAMBOO (SCREEN/HEDGE)



KALANCHOE BEHARENSIS VELVET ELEPHANT EAR



PACHYCEREUS MARGINATA FENCE POST CACTUS



KALANCHOE BEHARENSIS VELVET LEAF FELT PLANT



PENNISETUM SPATHIOLATUM SLENDER VELDT GRASS



LOMANDRA LONGIFOLIA 'PLANTINUM BEAUTY' PLATINUM BEAUTY LOMANDRA



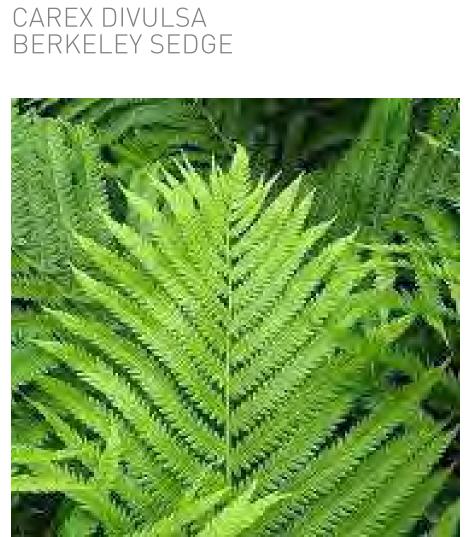
AEONIUM ARBOREUM 'ELECTRA' 'ELECTRA' PURPLE AEONIUM



MANZANITA



XANADU PHILODENDRON



MATTEUCCIA STRUTHIOPTERIS OSTRICH FERN



DIANELLA REVOLUTA 'LITTLE REV' LITTLE REV FLAX LILY

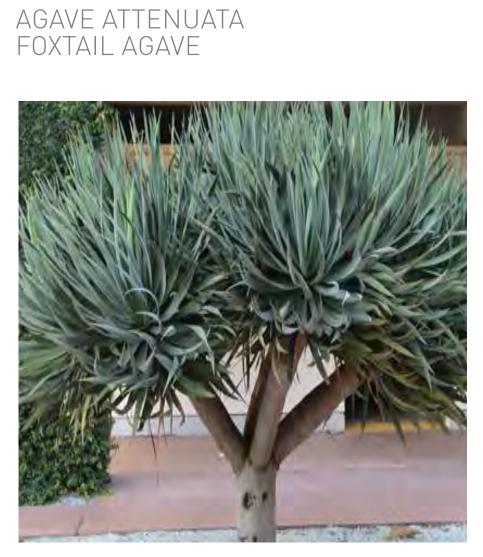


CISSUS ANTARCTICA KANGAROO VINE



DRACAENA MARGINATA DRAGON TREE

THE ABOVE PLANTS ARE A SELECTION OF WHAT MAY BE IN INCLUDED ON THE FINAL PROJECT PLANTING PLAN.



DRACEANA DRACO DRAGON TREE



CRASSULA OVATA 'TRICOLOR' VARIEGATED JADE PLANT

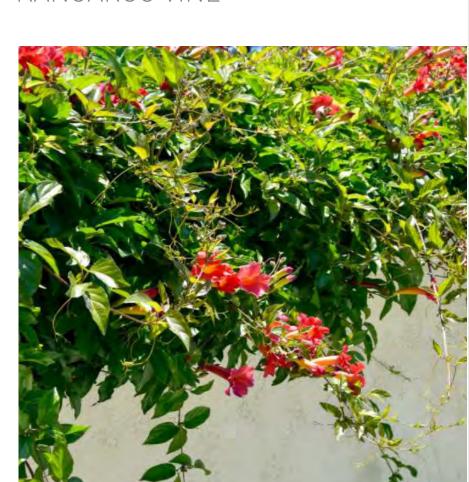
ALOE ARBORESCENS TORCH ALOE



CAREX FLACCA BLUE SEDGE



CAREX AUREA GOLDEN SEDGE



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DISTICTIS BUCCINATORIA TRUMPET VINE

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LANDSCAPE
LANDSCAPE
PLANTING
PALETTE

HISTORIC RESOURCES TECHNICAL REPORT

Hollywood Central

HISTORIC RESOURCES GROUP

HOLLYWOOD CENTRAL SITE 2 DEVELOPMENT



ENTITLEMENT SUBMITTAL, AUGUST 2022

PROJECT OVERVIEW								
	UNITS							
	RESIDENTIAL	171,640 SF	240 UNITS					
PROGRAM	RESTAURANT / RETAIL	7,441 SF						
	OFFICE	22,799 SF						
	EXISTING BUILDINGS	27,881 SF						
TOTAL GROSS BUILDING AREA		229,761 SF						
OVERALL FAR		4.50						
TOTAL PARKING	REQUIRED	158 STALLS						
TOTAL PARKING	PROVIDED	158 STALLS						
TOTAL BICYCLE	REQUIRED	165 SPACES						
SPACES	PROVIDED	165 SPACES						

REQUESTED ACTIONS:

MINISTERIAL:

- 1.THE PROJECT WILL SET ASIDE 10% OF BASE DENSITY, 24 DWELLING UNITS, FOR VLI
- 2. THE PROJECT REQUESTS A PARKING REDUCTION OF 0.5 SPACES PER UNIT

DISCRETIONARY:

- 1. THE PROJECT REQUESTS A MASTER CONDITIONAL USE PERMIT TO PERMIT ON-SITE SALE AND CONSUMPTION OF A FULL LINE OF ALCOHOLIC BEVERAGES
- 2. A WAIVER OF DEVELOPMENT STANDARDS TO ALLOW FOR A MAX HEIGHT OF APPROXIMATELY 154' 6 1/4" IN LIEU OF THE OTHERWISE REQ. 45'-0"
- 3. THE PROJECT REQUESTS AN OFF MENU INCENTIVE TO ALLOW AN FAR OF APPROXIMATELY 4.5:1.
- 4. THE PROJECT REQUESTS A WAIVER OF DEVELOPMENT STANDARDS TO ALLOW A RESIDENTIAL SIDE YARD REQUIREMENT OF 10'
- 6" IN LIEU OF OTHERWISE REQUIRED 16' SIDE YARD
- 5. THE PROJECT ALSO REQUESTS SITE PLAN REVIEW

TEAM DIRECTORY							
APPLICANT	APPLICANT ARCHITECT						
J+J HOLLYWOOD, LLC.	STUDIO ONE ELEVEN						
	245 E 3rd ST.						
	LONG BEACH, CA 90802						
ATTN:	ATTN: MARCUS LUCIANI						
E-MAIL:	E-MAIL: MARCUS.LUCIANI@STUDIO-111.COM						
TEL:	TEL: (562) 901-1500						

LAND USE ATTORNEY	LANDSCAPE ARCHITECT
GONZALES LAW GROUP	STUDIO ONE ELEVEN
800 WILSHIRE BLVD., SUITE 860	245 E 3rd ST.
LOS ANGELES, CA 90017	LONG BEACH, CA 90802
ATTN: MICHAEL GONZALES	ATTN: KIRK KELLER
E-MAIL: MGONZALES@GONZALESLAWGROUP.COM	E-MAIL: KIRK.KELLER@STUDIO-111.COM
TEL: (213) 279-6965	TEL: (562) 901-1500

TRANSPORTATION AND MOBILITY CONSULTING
GIBSON TRANSPORTATION CONSULTING, INC.
555 W 5th ST., SUITE 3375
LOS ANGELES, CA 90013
ATTN: EMILY WONG
EMAIL: EWONG@GIBSONTRANS.COM
TEL: (213) 683-0088

SHEET INDEX							
SHEET#	DESCRIPTION	SCALE					
GENE	RAL						
A0.01	PROJECT INFORMATION						
A0.02	VICINITY MAP						
A0.03	SITE PHOTOS						
A0.04	PROJECT SUMMARY						
A0.05	PROJECT SUMMARY						
A0.06	PROGRAM DIAGRAM						
A0.07	SITE SURVEY						
A0.08	SITE SURVEY						
A0.09	FAR CACULATIONS AND PLAN DIAGRAMS	1" = 60'-0"					
A0.10	OPEN SPACE CALCULATIONS AND DIAGRAMS	1" = 40'-0"					
A1.01	BUILDING 7 (E) EXISTING FLOOR PLANS	1/16" = 1'-0"					
A1.02	BUILDING 8 (E) EXISTING FLOOR PLANS	1/16" = 1'-0"					
A1.03	LEVEL P1 DEMO PLAN	1" = 40'-0"					
A1.04	LEVEL 1 DEMO PLAN	1" = 40'-0"					
A1.05	LEVEL 2 DEMO PLAN	1" = 40'-0"					
A1.06	PLOT PLAN	1" = 40'-0"					
A1.07	OVERALL SITE PLAN	1" = 40'-0"					

FLOOR	PLANS	
A2.01	LEVEL P2 FLOOR PLAN	1/16" = 1'-0"
A2.02	LEVEL P1 FLOOR PLAN	1/16" = 1'-0"
A2.02	LEVEL 1 FLOOR PLAN	1/16" = 1'-0"
A2.03	LEVEL 2 FLOOR PLAN	1/16" = 1'-0"
A2.04	LEVEL 3 FLOOR PLAN	1/16" = 1'-0"
A2.05	LEVELS 4-12 FLOOR PLAN	1/16" = 1'-0"
A2.06	LEVEL 13 ROOF DECK PLAN	1/16" = 1'-0"
A2.07	ROOF PLAN	1/16" = 1'-0"
A3.01	MCUP - OVERALL PLAN	1/16" = 1'-0"
A3.02	MCUP - ENLARGED PLANS	1/8" = 1'-0"
A3.03	MCUP - ENLARGED PLANS	1/8" = 1'-0"
UNIT P	LANS	
A4.01	ENLARGED MODULAR UNIT PLANS	1/4" = 1'-0"
A4.02	ENLARGED MODULAR UNIT PLANS	1/4" = 1'-0"
SECTIO	N	
A5.01	SITE SECTION	1/16" = 1'-0"
A5.02	BUILDING 6 SECTION	1/16" = 1'-0"
ELEVAT	ION & EXTERIOR MATERIALS	
A6.01	BUILDING 6 ELEVATIONS	1/16" = 1'-0"
A6.02	BUILDING 6 ELEVATIONS	1/16" = 1'-0"
A7.01	EXTERIOR MATERIALS	
RENDE	RINGS	
A8.01	VIEW OF NEW OUTDOOR DINING PATIO	

LANDSCAPE							
L0.01	LANDSCAPE CALCULATIONS						
L1.00	PLAZA ILLUSTRATIVE PLAN	1/16" = 1'-0"					
L1.01	BUILDING 6 LEVEL 3 ILLUSTRATIVE PLAN	1/16" = 1'-0"					
L1.02	BUILDING 6 LEVEL 13 ROOF DECK ILLUSTRATIVE PLAN	1/16" = 1'-0"					
L2.01	GROUND LEVEL LANDSCAPE MATERIALS PALETTE						
L2.02	ROOF DECK LANDSCAPE MATERIALS PALETTE						
L2.03	LANDSCAPE TREE PALETTE						
L2.04	LANDSCAPE PLANTING PALETTE						



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HOLLYWOOD CENTRAL
SITE 2 DEVELOPEMENT
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PROJECT INFORMATION

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SITE 2 DEVELOPEMENT

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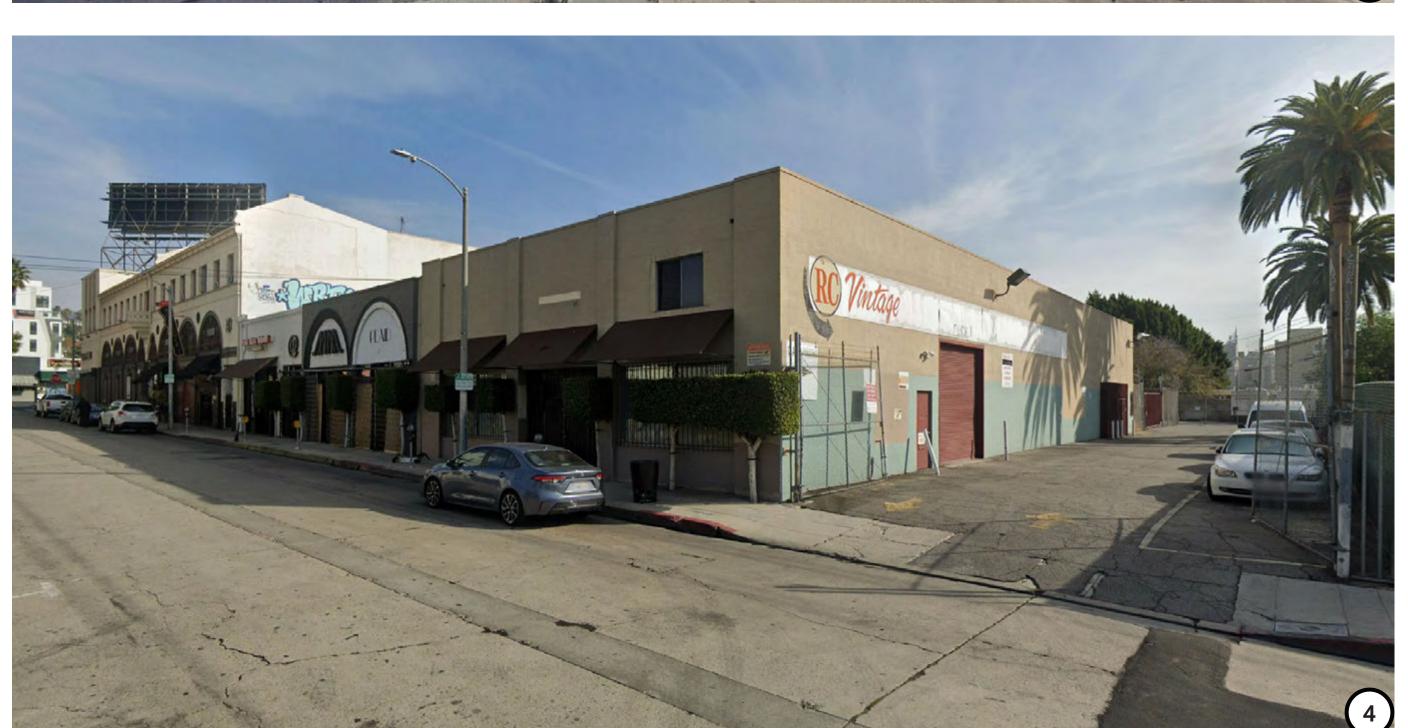
DATE

VICINITY MAP











		ALLOWED UNDER EXISTING ZONING	PROPOSED PROJECT				
ZC	NE	C4-2	2D-SN				
F.	AR	2.00	4.50				
RFAR			3.36				
GROSS BUILDING AREA		102,116 SF 229,761 SF					
FRONT		NONE					
		NONE FOR COI	MMERCIAL USES				
	SIDE	5FT + 1FT FOR EACH STORY OVER					
	SIDE	2ND, NOT TO EXCEED 16 FT	10 FT FOR RESIDENTIAL USES				
SETBACKS		FOR RESIDENTIAL USES					
	ETBACKS	NONE FOR COMMERCIAL USES					
	DEAD	5FT + 1FT FOR EACH STORY					
REAR		OVER 3RD, 20 FT MAX.	NOT APPLICABLE - NO REAR YARD				
	OSS BUILDING AREA FRONT SIDE	FOR RESIDENTIAL USES					
		255 UNITS	240 UNITS				
DEN	ICITV	(200 SF PER DWELLING UNIT)	240 011113				
		UNLIMITED					
HEIGHT		75'-0" (45'-0")	154'-6 1/4"				
LOT CO	VERAGE		72%				

						PROGR	AM					
					RESIDENTIAL						EXISTING SF TO	
	RESTAURANT	SF	UNITS			UNIT M	IX			OFFICE	REMAIN	TOTAL
		Ji	OWITS		1 BR			2 BR			NEIVIAIIN	1
			TOTAL	# UNITS	AVG SF	%	# UNITS	AVG SF	%			
BUILDING 6	7,441	171,640	240	180	486 SF	75%	60	754 SF	25%	22,799		201,880
BUILDING 7 (E) RESTAURANT / OFFICE											16,324 SF	16,324 SF
	•		•				•					
BUILDING 8 (E) RESTAURANT											11,557 SF	11,557 SF
			•									
SITE 2 TOTALS	7,441 SF	171,640 SF	240 UNITS	180 UNITS	486 SF	75%	60 UNITS	754 SF	25%	22,799 SF	27,881 SF	229,761 SF
SITE 2 SITE AREA (SURVEY)												51,058 SF
SITE 2 FAR		-										4.50

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HOLLYWOOD CENTRAL
SITE 2 DEVELOPEMENT
26 to 6636 W. Hollywood Blvd. Los Angeles CA 90028 1638

PROJECT SUMMARY

10.04

TOTAL S	181 STALLS				
ALLOWABLE REDUCTIONS	RATIO	BICYCLE	VEHICLE SDAC	E REDUCTION	
FOR BICYCLE PARKING****	KATIO	SPACES	VEHICLE SPAC	LE REDUCTION	
RESIDENTIAL	15%	72	18 STALLS		
OFFICE	5%	12	3 STALLS		
RESTAURANT*	1%	8	2 STALLS		
TOTAL SITE 2 CODE PA	158 STALLS				
RESIDENTIAL PARKING REQ	102 STALLS				
OFFICE PARKING REQUIRED	43 STALLS				
RESTAURANT PARKING REC	13 STALLS				

*PARKING RATES PER LAMC SECTION 12.21.A4(X)(3) FOR COMMERCIAL USES WITHIN A STATE ENTERPRISE ZONE.

*** PER CALIFORNIA GOVERNMENT CODE 6915(p) PARKING INCENTIVE, BICYCLE PARKING SPACES CAN REPLACE UP TO 15% FOR RESIDENTIAL BUILDINGS THAT QUALIFY FOR A DENSITY BONUS AND UP TO 15% OF REQUIRED VEHICLE PARKING SPACES WITHIN NON-RESIDENTIAL BUILDINGS AT A RATE OF 1 VEHICLE SPACE FOR EVERY 4 BICYCLE SPACES PROVIDED.

VEHICULAR PARKING - PROVIDED								
RESIDENTIAL PARKING - PROVIDED								
STANDARD	ADA				EVCS		TOTAL	
STANDARD	STANDARD	VAN	STANDARD	ADA	ADA VAN	ADA AMB.	TOTAL	
47							47	
44	1	1	7	1		1	55	
	• • • • • • • • • • • • • • • • • • • •	STANDARD ADA STANDARD 47	STANDARD ADA STANDARD VAN	STANDARD RESIDENTIAL PARKING - PROVIDED ADA STANDARD VAN STANDARD 47	RESIDENTIAL PARKING - PROVIDED STANDARD ADA STANDARD VAN STANDARD ADA 47	STANDARD RESIDENTIAL PARKING - PROVIDED STANDARD ADA EVCS STANDARD VAN STANDARD ADA ADA VAN 47	RESIDENTIAL PARKING - PROVIDED STANDARD ADA EVCS STANDARD VAN STANDARD ADA ADA VAN ADA AMB. 47	

102 STALLS TOTAL ON-SITE RESIDENTIAL PARKING PROVIDED

OFFICE PARKING - PROVIDED								
LEVEL	STANDARD	ADA				EVCS		TOTAL
LEVEL	STANDARD	STANDARD	VAN	STANDARD	ADA	ADA VAN	ADA AMB.	TOTAL
SITE 2 - LEVEL P1		1	1		1	1		4
SITE 2 - LEVEL P2								0
SITE 1 - LEVEL P1	36			3				39

TOTAL ON-SITE OFFICE PARKING PROVIDED	4 STALLS

RESTAURANT PARKING - PROVIDED									
LEVEL STANDARD		STANDARD COMBACT	ADA		EVCS			TOTAL	
LEVEL	STANDARD	COMPACT	STANDARD	VAN	STANDARD	ADA	ADA VAN	ADA AMB.	IOIAL
SITE 2 - LEVEL P1				1			1		2
SITE 2 - LEVEL P2									0
SITE 1 - LEVEL P1	9				2				11

	2 STALLS
TOTAL ON-SITE SITE 2 VEHICULAR PARKING PROVIDED	108 STALLS

	BICYCLE PARKING - REQUIRED								
PROGRAM		SIZE	SHORT TERM		LONG TERM		TOTAL		
PROGRAM	JKAIVI SIZE		RATIO*	STALL#	RATIO*	STALL#	TOTAL		
RESIDENTIAL		240							
	1-25 UNITS	25	1 PER 10 UNITS	3	1 PER 1 UNIT	25			
	26-100 UNITS	75	1 PER 15 UNITS	5	1 PER 1.5 UNIT	50	149		
	101-200 UNITS	100	1 PER 20 UNITS	5	1 PER 2 UNIT	50			
	200+ UNITS	40	1 PER 40 UNITS	1	1 PER 4 UNIT	10			
OFFICE		22,799 SF	1 PER 10,000 SF	3	1 PER 5,000 SF	5	8		
RESTAURANT		7,441 SF	1 PER 2,000 SF	4	1 PER 2,000 SF	4	8		
	TOTAL BI	CYCLE PARKING RI	EQUIREMENT	21 SPACES		144 SPACES			

*BICYCLE PARKING RATES PER LAMC SECTION 12.21.A16.

BICYCLE PARKING - PROVIDED						
TOTAL SITE 2 BICYCLE PARKING PROVIDED	SHORT-TERM	LONG-TERM				
RESIDENTIAL	14 SPACES	135 SPACES				
NON-RESIDENTIAL	8 SPACES	9 SPACES				

PROPOSED BUILDING CODE AREA

PER CBC TABLE 506.2

BUILDING 6 - RESIDENTIAL

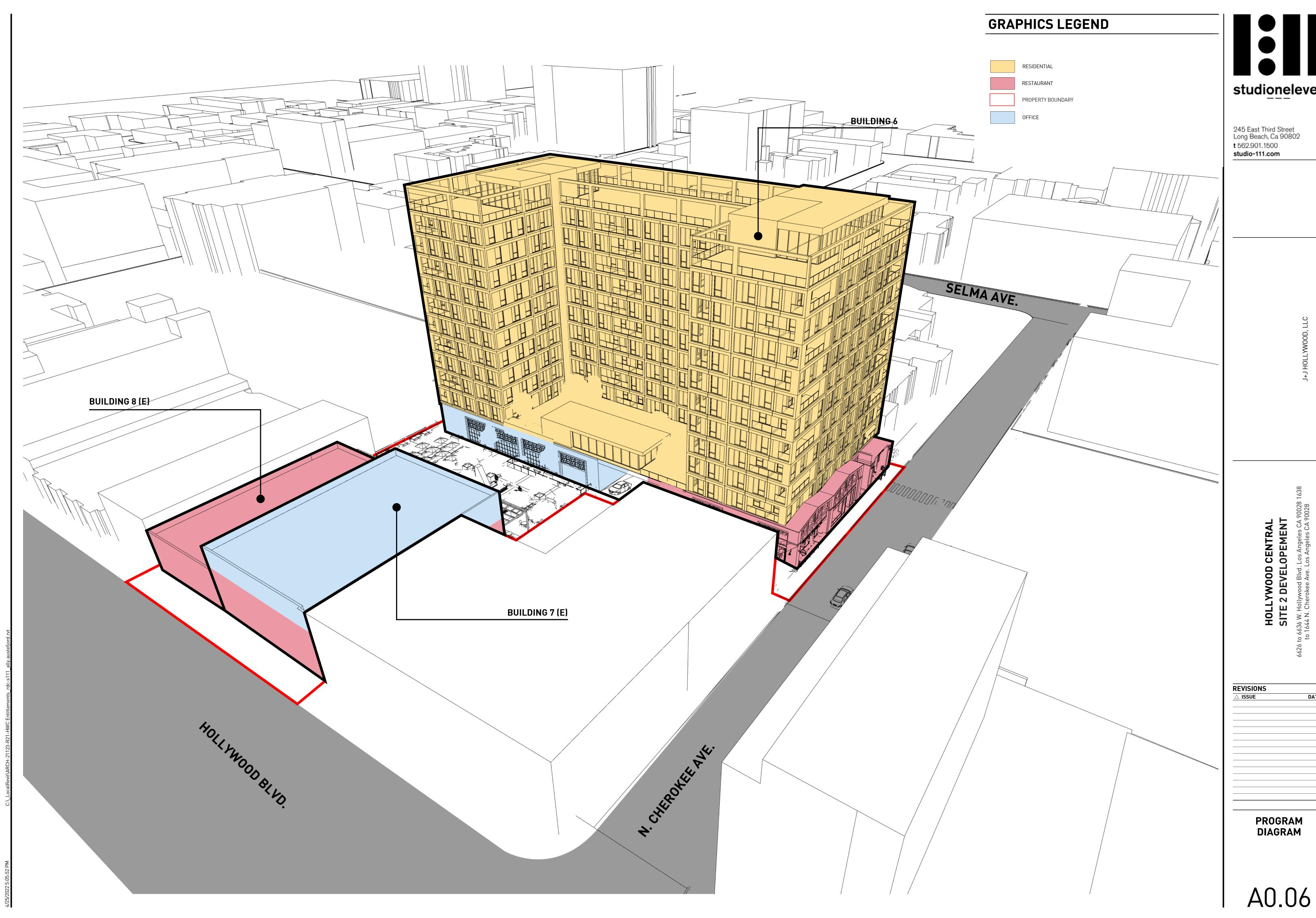
LEVEL	CONSTRUCTION TYPE	OCCUPANCY	AREA	
LEVEL P2	TYPE I-A	S-2	31,373 SF	
LEVEL P1	TYPE I-A	S-2	30,172 SF	
LEVEL 1	TYPE I-A	A-2 / B	24,343 SF	
LEVEL 2	TYPE I-A	A-2 / B	15,633 SF	
LEVEL 3	TYPE I-B	R-2	18,691 SF	
LEVEL 4	TYPE I-B	R-2	17,148 SF	
LEVEL 5	TYPE I-B	R-2	17,148 SF	
LEVEL 6	TYPE I-B	R-2	17,148 SF	
LEVEL 7	TYPE I-B	R-2	17,148 SF	
LEVEL 8	TYPE I-B	R-2	17,148 SF	
LEVEL 9	TYPE I-B	R-2	17,148 SF	
LEVEL 10	TYPE I-B	R-2	17,148 SF	
LEVEL 11	TYPE I-B	R-2	17,148 SF	
LEVEL 12	TYPE I-B	R-2	17,148 SF	
LEVEL 13	TYPE I-B	R-2	4,786 SF	
TOTAL TYPE I	OTAL TYPE I-A SF 101,521 SF			
TOTAL TYPE I	-B SF	177,809 SF		
TOTAL BUILD	ING SF	279,330	SF	

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PROJECT SUMMARY

^{**}PARKING RATES PER LAMC SECTION 11.5.11(e)



LOT 3 OF EULALIE TRACT NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGLES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3 PAGE 64 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LOTS 4. 5. AND 6 OF EULALIE TRACT NO. 2, IN THE CITY OF LOS ANGELES, DOUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3 PAGE 84 OF MAPS. IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LOT 7 OR EULALIE TRACT NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGE 84 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PART OF LOTS 8, 9, AND 10 OF THE EULALIE TRACT NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGE 84 OF WAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT TO. THENCE RUNNING EASTERLY ALONG THE NORTHERLY LINES OF SAID LOTS 8. 9 AND 10, 160.85 FEET TOT HE NORTHEAST CORNER OF SAID LOT 8; THENCE SOUTHERLY ALONG THE EAST LINE OF SAID LOT 8, 56,60 FEET; THENCE WESTERLY TO A POINT IN THE WEST LINE OF SAID LOT TO DISTANT 55,725 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 10; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 10, 55.725 FEET TO THE POINT OF BEGINNING.

LOT 12 AND THE SOUTH 50 FEET OF LOT 13 OF EULALIE TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1 PAGE 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

DESCRIBED AS FOLLOWS:

THE NORTH 50 FEET OF LOT 13 OF EULALIE TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1 PAGE 35 OF MAPS. IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

THE SOUTH 42 FEET OF LOT 14 OF EULALIE TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1 PAGE 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5547-014-025, 024, 023; 5547-014-022, 21, 044; 5547-014-009, 006 & 005

PARCEL 1: THAT PORTION OF LOT I OF THE EULALIE TRACT IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1, PAGE 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTH LINE OF HOLLYWOOD BOULEVARD DISTANT NORTH 89°58' EAST 192,45 FEET FROM THE INTERSECTION OF SAID SOUTH LINE OF HOLLYWOOD BOULEVARD, WITH THE EAST LINE OF CHEROKEE AVENUE (FORMERLY EULALIE AVENUE) AS SHOWN ON SAID WAP; THENCE ALONG SAID SOUTH LINE OF HOLLYWOOD BOULEVARD NORTH 89'58' EAST 50 FEET TO THE NORTHEAST CORNER OF SAID LOT 1; THENCE ALONG THE EAST LINE OF SAID LOT SOUTH 0"02"30" EAST 142:61" FEET TO A POINT DISTANT NORTH 0°02'30" WEST 140 FEET FROM THE SOUTHEAST CORNER OF LOT 3 OF SAID EULALIE TRACT; THENCE PARALLEL WITH THE SOUTH LINE OF SAID LOT 3 NORTH 89"32" WEST 50 FEET; THENCE NORTH 0"02'30" WEST 142,17 FEET TO THE POINT OF BEGINNING.

THE EASTERLY 50 FEET OF THAT PORTION OF LOT 1 OF THE EULALIE TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK I PAGE 35 OF MAPS. IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, WHICH LIES SOUTHERLY OF A LINE THAT IS PARALLEL WITH AND DISTANT NORTHERLY 140,00 FEET FROM THE SOUTHERLY LINE OF LOT 3 OF SAID EULALIE TRACT.

THE EASTERLY SO FEET OF LOT 3 OF THE EULALIE TRACT. IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1, PAGE 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

AN EASEMENT FOR INCRESS AND EGRESS TO BE USED IN COMMON WITH OTHERS, OVER THE SOUTHERLY 15 FEET OF SAID LOT 3 OF THE EULALIE TRACT. IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1, PAGE 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. EXCEPTING FROM SAID SOUTHERLY 15 FEET, THE EASTERLY 50.00 FEET OF SAID LAND.

THAT PORTION OF LOT I OF THE EULALIE TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1 PAGE 35 OF MAPS. IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS

BEGINNING AT A POINT IN THE SOUTH LINE OF HOLLYWOOD BOULEVARD, DISTANT NORTH 89° 58 EAST 122,45 FEET FROM THE SOUTHEAST CORNER OF CHEROKEE AVENUE AND HOLLYWOOD BOULEVARD; THENCE NORTH 89" 58 EAST, ALONG THE SOUTH LINE OF HOLLYWOOD BOULEVARD. 70 FEET: THENCE SOUTH 0" 02 30 EAST 142,17 FEET TO A POINT WHICH IS NORTH 0" 02 30 WEST 140 FEET FROM THE SOUTH LINE OF LOT 3 OF SAID EULALIE TRACT; THENCE NORTH 89" 32 WEST, PARALLEL WITH THE SOUTH LINE OF SAID LOT 3, 70 FEET; THENCE NORTH 0° 02'30 WEST, 141.57 FEET, TO THE POINT OF BEGINNING. EXCEPT THEREFROM ALL MINERAL, DIL AND GAS RIGHTS BELOW A DEPTH OF FIVE HUNDRED FEET, WITHOUT THE RIGHT OF SURFACE ENTRY. AS RESERVED IN DEED RECORDED MAY 30, 1985 AS INSTRUMENT NO. 85-603027, OFFICIAL RECORDS.

THOSE PORTIONS OF LOTS 1, 2 AND 3 OF THE EULALIE TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1, PAGE 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE EAST LINE OF CHEROKEE AVENUE, DISTANT NORTH 0" 02' 30" WEST, 140 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 3; THENCE SOUTH 89" 32' EAST PARALLEL WITH THE SOUTH LINE OF SAID LOT 3, 242,56 FEET TO THE EAST LINE OF SAID LOT 1: THENCE SOUTH 0" 02" 30" EAST ALONG THE EAST LINE OF LOTS 1 AND 3, 140 FEET TO THE SOUTHEAST CORNER OF SAID LOT 3; THENCE NORTH 89" 32' WEST, ALONG THE SOUTH LINE OF LOT 3, 242,46 FEET, MORE OR LESS, TO THE EAST LINE OF CHEROKEE AVENUE: THENCE NORTH 0" 02' 30" WEST ALONG SAID LAST MENTIONED LINE 140 FEET TO THE POINT OF

EXCEPT THEREFROM THE EASTERLY 50.00 FEET OF SAID LAND.

ALSO EXCEPT THEREFROM ALL MINERAL, OIL AND GAS RIGHTS BELOW A DEPTH OF FIVE HUNDRED FEET, WITHOUT THE RIGHT OF SURFACE ENTRY, AS RESERVED IN DEED RECORDED MAY 30, 1985 AS INSTRUMENT NO. 85-603027, OFFICIAL RECORDS,

APN: 5547-015-001, 5547-015-026, 5514-015-004

SURVEYOR'S NOTES

THIS SURVEY HAS BEEN PREPARED FOR TITLE INSURANCE PURPOSES

1. THE BOUNDARY DATA AND TITLE MATTERS AS SHOWN HEREON HAVE BEEN DEVELOPED FROM THE REFERENCED TITLE REPORT.

2. THIS SURVEY MAY NOT CONTAIN SUFFICIENT DETAIL FOR DESIGN PURPOSES.

3, THIS SURVEY DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON, NOR DOES IT SHOW THE LOCATION OF, OR ENCROACHMENTS BY SUBSURFACE FOOTINGS AND/OR FOUNDATIONS OF BUILDINGS SHOWN ON THIS MAP.

4. IF UNDERGROUND PUBLIC UTILITIES AND OTHER SUBSTRUCTURES, ZONES, SET BACK AND STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM A GENERAL REQUEST AT THE LOCAL AGENCY'S PUBLIC COUNTER AND/OR OTHER SOURCES NOT CONNECTED WITH THIS COMPANY. NO REPRESENTATION IS MADE AS TO THE ACCURACY, CURRENCY OR COMPLETENESS OF SAID INFORMATION AND ANY USERS OF SAID INFORMATION IS URGED TO CONTACT THE UTILITY OR LOCAL AGENCY

SURVEYOR'S CERTIFICATE:

L.T.L.

TO RELEVANT GROUP AND CHICAGO TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS WAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b1), 7(c), 5, 9, 11, 13, 14, 16 AND 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 4, 2020.

NOTE: SECTION 8770.6 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE STATES THAT THE USE OF THE MORD CERTIFY OF CERTIFICATION BY A LICENSED. LAND SURVEYOR IN THE PRACTICE OF LAND SURVEYING OR THE PREPARATION OF MAPS, PLATS, REPORTS, DESCRIPTIONS OR OTHER SURVEYING DOCUMENTS ONLY CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE CONTITIONAND COES NOT CONSTITUTE A MARKANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

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COMMENTS

LEGAL DESCRIPTION _

WERE ESTABLISHED FROM RECOVERED CITY, COUNTY AND/OR PRIVATE SURVEY MONUMENTS WHOSE

PLOTTABLE EASEMENTS ARE SHOWN FROM A CLIENT SUPPLIED TITLE REPORT, AS NOTED BELOW. NON-PLOTTABLE ONES ARE NOTED ON THE SURVEY AS HAVING "EFFECT OF". BECAUSE OUR SERVICE IS LIMITED TO REPORTING ON EASEMENT LOCATIONS WE STRONGLY RECOMMEND LEGAL COUNSEL BE

CHICAGO INSURANCE COMPANY PRELIMINARY TITLE ORDER NO. 00129574-994-LT2-DB (SITE A2) &

O INDICATES TITLE REPORT EXCEPTION NO. (ORDER NO: 00129574-994-LT2-DB)

■ INDICATES TITLE REPORT EXCEPTION NO. (ORDER NO: 00129578-994-LT2-DB)

NORTH 89"48"30" EAST ON THE MAP OF TRACT NO. 15680, RECORDED IN BOOK 424 PAGES 3 AND

4 OF MAPS RECORDS OF LOS ANGELES COUNTY WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS

WHERE "GROSS" IS DEFINED AS THE AREA OF THE SUBJECT FEE PARCEL AS LEGALLY DESCRIBED.

PER CITY OF LOS ANGELES STANDARD PLAN, LAS PALMAS AVE IS CLASSIFIED AS A LOCAL STREET

WITH 60' REQUIRED RIGHT OF WAY WIDTH, EXISTING RIGHT OF WAY IS 60'. CHERCKEE AVE IS

CLASSIFIED AS A LOCAL STREET WITH 60' REQUIRED RIGHT OF WAY WIDTH, EXISTING RIGHT OF

WAY IS 60', HOLLYWOOD BLVD IS CLASSIFIED AS AN AVENUE I WITH 100' REQUIRED RIGHT OF

WAY WIDTH, EXISTING RIGHT OF WAY IS 100'. THERE IS NO DESERVABLE EVIDENCE OF RECENT

. SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X, AREAS DETERMINED TO BE AREA MINIMAL FLOOD

HAZARD AND AREA WITH 0.2% ANNUAL CHANCE FLOOD HAZARD, AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06037C1605F, DATED SEPTEMBER 26, 2008, AS PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY.

THERE IS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION

PORTION OF

STREET OR SIDEWALK CONSTRUCTIONS. LOCAL AGENCIES SHOULD BE CONSULTED FOR ANY

HEREON AND "NET" IS DEFINED AS THE REMAINING SUBJECT PARCEL AFTER SUBTRACTION OF

THE BEARING NORTH 89"53"51" EAST OF THE CENTERLINE OF BEVERLY BOULEVARD, SHOWN AS

BASED UPON MEASURED BEARINGS AND DISTANCES AS SHOWN HEREON THE AREA IS.

78,737 SO. FT. = 1.8076 ACRES (SITE A2)

1,083,163 SQ, FT, = 24,8660 ACRES (GROSS)

51,007 SQ. FT. = 1.1710 ACRES (SITE A3)

EXISTING STREET EASEMENTS.

ANTICIPATED STREET WIDENING.

. BASED UPON ON-SITE STRIPING. THE PARKING IS:

BUILDING SETBACK ZONING INFORMATION NOT PROVIDED.

REGULAR SPACES .

HOLLYWOOD BLVD

TRACT

PARCEL :

TANDEM SPACES (X4)

OR BUILDING ADDITIONS.

CHARACTER AND SOURCE ARE SO NOTED ON THE SURVEY.

FROM TITLE REPORT SUPPLIED BY CLIENT, AS NOTED BELOW.

RETAINED TO REPORT ON TITLE PAPERS IN THEIR ENTIRETY.

00129578-994-LT2-DB (SITE A3) DATED MARCH 26, 2020.

BOUNDARY LINES

TITLE REPORT .

BASIS OF BEARINGS

STREET WIDENING .

FLOOD ZONE

589'29'05"E 122.45"

EARTH WORK

Nothing fd. Est d by

rec'd dist per CEFB 147-185/138

Fd LA County Surveyor S&W per

CEFB 147-185/138

LEULALLE TRACTI

S89'26'44"E 122.07'

PARCEL 7

BK. 1, PG 35 1

1618 & 1638 LAS PALMAS AVE, 1645 CHEROKEE AVE (SITE A2) 1642 & 1644 CHEROKEE AVE, 6638 & 6628 HOLLYWOOD BLVD (SITE A3) N THE CITY OF LOS ANGELES COUNTY OF LOS ANGLELES

APRIL 24, 2020 1" = 50" IREL020700 T100

PROJECT SITE GRAPHIC SCALE

(A)(B)(C)(D) (A)(B)(C)(D) AFFECTS PARCEL 1 DEEDS, AFFECTS PARCEL 2. EFFECT OF 1 + 1 1 1 1 1 1 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED IN BOOK 2273 PAGE 22 AND BOOK 2607 PAGE 32. BOTH OF DEEDS, AFFECTS PARCEL 4. COVENANT AND AGREEMENT WHEREIN THE OWNERS AGREE TO HOLD SAID LAND AS DNE PARCEL EFFECT OF RECORDED DECEMBER 23, 1963 AS INSTRUMENT NO. 3090 IN BOOK M1415 PAGE 769, D.R.

AND 5 OF PARCEL 2 & OTHER LAND. RECORDED MAY 9 1986 A MAINTENANCE OF SUMP PUMP RECORDED DECEMBER 21, 1995 AS INSTRUMENT NO. 95-2031455, COVENANT AND AGREEMENT REGARDING WAINTENANCE OF OFF-STREET PARKING SPACE RECORDED JANUARY 23, 1996 AS INSTRUMENT NO. 96-125218, D.R. AFFECTS PARCEL 1 AND OTHER LAND

COVENANT AND AGREEMENT WHEREIN THE OWNERS AGREE TO HOLD SAID LAND AS ONE PARCEL RECORDED APRIL 23, 1996 AS INSTRUMENT NO. 96-638675, O.R. AFFECTS PARCELS 1 & 6. COVENANT AND AGREEMENT WHEREIN THE OWNERS AGREE TO HOLD SAID LAND AS ONE PARCEL RECORDED SEPTEMBER 22, 2011 AS INSTRUMENT NO. 20111289113, O.R. AFFECTS PARCEL 1, PORTION OF PARCEL 5 AND ALL OF PARCEL 6.

INSTRUMENT NO. 20120465372, O.R. AFFECTS PARCEL 1. 20130706877, ALL O.R. AFFECTS PARCEL 1

20160090617, O.R. AFFECTS THE HEREIN DESCRIBED LAND AND OTHER LAND. RESOLUTION HISTORICAL RESOURCES DESIGNATION RECORDED JUNE 27, 2017 AS INSTRUMENT NO. EFFECT OF

(T) (7

COMMENTS CONT

. WATER RICHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC . COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED WAY 31, 1902 IN BOOK 1600 PAGE 26 AND MODIFICATIONS OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED FEBRUARY 10. 1905 IN BOOK 2204 PAGE 163, BOTH OF DEEDS. AFFECTS PARCELS 5 AND 7. COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN BOOK 2058 PAGE 244, OF DEEDS COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS RECORDED IN BOOK 2070 PAGE 79 OF AGREEMENT RECORDED DECEMBER 22, 1942 IN BOOK 19647 PAGE 341, D.R. AFFECTS PARCELS 5 &

VICINITY MAP

. COVENANT AND AGREEMENT REGARDING MAINTENANCE OF OFF-STREET PARKING SPACE RECORDED OCTOBER 29, 1971 AS INSTRUMENT NO 4094 IN BOOK M3887 PAGE 182, D.R. AFFECTS LOTS 4

EFFECT OF EFFECT OF YOUNGE OF

COVENANT AND AGREEMENT REGARDING MAINTENANCE OF BUILDING RECORDED MARCH 27, 2012 AS

MASTER COVENANT AND AGREEMENT RECORDED APRIL 6, 2012 AS INSTRUMENT NO. 20120523440, EFFECT OF APRIL 27, 2012 AS INSTRUMENT ND. 20120627975 AND MAY 10, 2013 AS INSTRUMENT NO. DEED OF TRUST TO SECURE AN INDEBTEDNESS RECORDED JANUARY 28, 2016 AS INSTRUMENT NO. EFFECT OF

. ANY RIGHTS OF THE PARTIES IN POSSESSION OF, OR ALL DF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS. EFFECT OF

PZA SUBMITTA

REVISIONS

DATE

10/25/21

YWOOD CENTRAL

DEVELOPEMENT

studioneleven

245 East Third Street

t 562.901.1500

studio-111.com

Long Beach, Ca 90802

SITE SURVEY

DOUGLAS R. HOWARD

(213) 223-1400 (213) 223-1444 fax

ALTA/NSPS LAND TITLE SURVEY FOR:

CEFB 147-185/162

Fd ML & Hooks in

CEFB 147-185/162

Fd LA County Surveyor S&W per CEFB 147-185/140

L/T.L: D.L.R.

to 12 and - 17 and use home in last control/control/control/control-control labored by federical

N. 89'24'01" W

LEGEND

.

AD III

PP/TP .

N/E/S/W

NAME .

_____8* 5D____.

____E___.

_8- D____.

S/SL P(m)

PROPERTY / BOUNDARY LINE

FLOW LINE / PARCEL LINE

EASEMENT LINE (W-WIDTH

CONC. BLOCK WALL EDGE OF ASPHALT PAYING

CATCH BASIN W/ACCESS HOLE

TRAFFIC SIGNAL W/STREET LIGHT

FIRE DEPARTMENT CONNECTION

DIRECTION OF WATER DRAINAGE FLOW

TREE IN WELL W/TRUNK DIAMETER

TOPOGRAPHIC SPOT ELEVATION, NO LEADER

POST INDICATOR VALVE

MANHOLE (SEWER, STORM DRAIN, POWER, TELEPHONE)

POWER POLE (P.P.) / TELEPHONE POLE (T.P.)

GAS / WATER VALVE ELEC./STREET LIGHT/TRAFFIC/UNKNOWN PULL BOX

RECORD DIMENSION OR BEARING IF DIFFERENT THAN MEASURED

NORTH/EAST/SOUTH/WEST LOCATION OF IMPROVEMENT / RESPECT TO REFERENCE NORTH AND PROPERTY LINE

CONTOUR LINE (APPROXIMATE) BUILDING FOOT PRINT LINE

CENTER LINE

OVERHANG LINE

RETAINING WALL

AREA DRAIN

CONCRETE PAVING

SIGN (ALL KINDS)

STREET LIGHT TRAFFIC SIGNAL

YARD LIGHT FIRE HYDRANT

PARKING METER

GUARD POST

BENCHMARK

GAS / WATER METER

APPROACH (DRIVEWAY)

BACKFLOW PREVENTER

CHAINLINK (FENCE/GATE)

BACK OF WALK ELEVATION EDGE OF CONCRETE ELEVATION

EDGE OF GUTTER ELEVATION EDGE OF PAVEMENT ELEVATION

FLOW LINE ELEVATION TOP OF CURB ELEVATION TOP OF GRATE ELEVATION TOP OF WALL ELEVATION

MANHOLE INVERT ELEVATION

IMPROVEMENT FACE

IMPROVEMENT EDGE

SANITARY SEWER (SIZE) STORM DRAIN (SIZE)

COMMUNICATION LINE

BK. 3, .

Fd Int. 4 hooks in SMHM per CEFB 147-185/155

9

8

\$ 89°28'05' E 501.97" SELMA AVE

DVERHEAD UTILITY LINE(S)

IL/PETROLEUM LINE (SIZE)

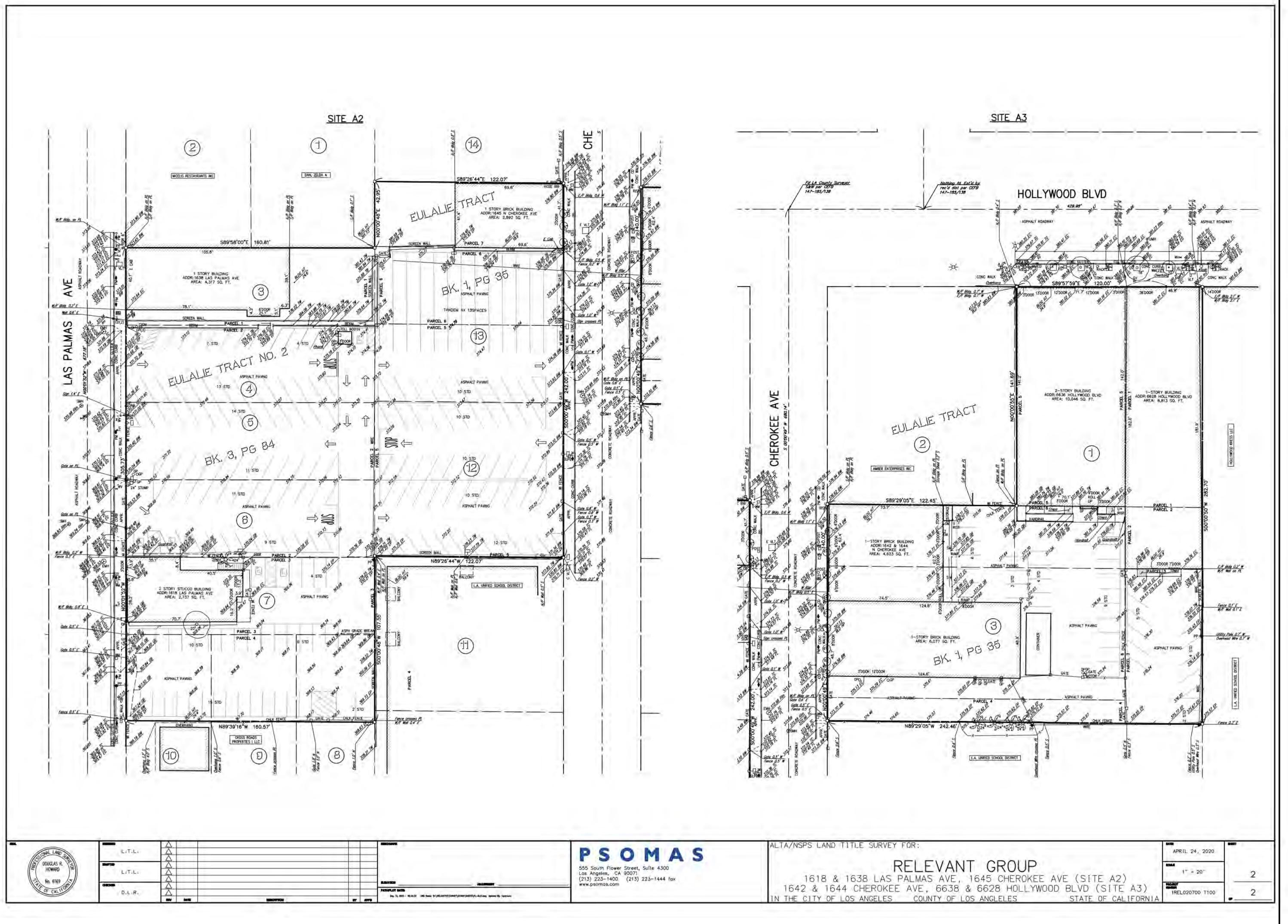
IMPROVEMENT END

RECORD LOT / PARCEL NUMBER

CURB LINE (FROM 1"+20' ON TO 1"+200')
CURB LINE (1"+10', 1"+8', 1"+16')

Los Angeles, CA 90071

RELEVANT GROUP



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J+J HOLLYWOOD, LLC

HOLLYWOOD CENTRAL
SITE 2 DEVELOPEMENT
to 6636 W. Hollywood Blvd. Los Angeles CA 90028 163

REVISIONS

A ISSUE
PZA SUBMITTAL

DATE 10/25/21

SITE SURVEY 2



LEVEL P1 11" = 60'-0"

LEVEL 3 (4 - 12 SIM.) **4**

			BUILDING 6					
			FLOOI	R AREA				
LEVEL	TOTAL SF	RESIDENTIAL		REST	RESTAURANT		OFFICE	
	TOTAL SF	SF	USES	SF	USES	SF	USES	
LEVEL P2	693 SF	373 SF	ELEV. LOBBY	211 SF	ELEV. LOBBY	109 SF	ELEV. LOE	
LEVEL P1	777 SF	457 SF	ELEV. LOBBY	211 SF	ELEV. LOBBY	109 SF	ELEV. LOE	
				444 SF	ELEV. LOBBY			
LEVEL 1	22,646 SF	2,497 SF	MAIN LOBBY	2,293 SF	RESTAURANT 1	13,130 SF	OFFICE	
	22,040 31	2,437 31	WAIN LODD!	1,481 SF	RESTAURANT 2	15,150 51	OTTICE	
				2,801 SF	RESTAURANT 3			
LEVEL 2	9,451 SF					9,451 SF	OFFICE	
LEVEL 3	17,855 SF	17,855 SF						
LEVEL 4	16,312 SF	16,312 SF						
LEVEL 5	16,312 SF	16,312 SF						
LEVEL 6	16,312 SF	16,312 SF						
LEVEL 7	16,312 SF	16,312 SF	DWELLING UNITS					
LEVEL 8	16,312 SF	16,312 SF	DWELLING UNITS					
LEVEL 9	16,312 SF	16,312 SF						
LEVEL 10	16,312 SF	16,312 SF						
LEVEL 11	16,312 SF	16,312 SF						
LEVEL 12	16,312 SF	16,312 SF						
LEVEL 13	3,650 SF	3,650 SF	AMENITY SPACES					
BUILDING 6 TOTAL	201,880 SF	171,640 SF		7,441 SF		22,799 SF		
			BUILDING 7 (E)					
			FLOOR AREA					
LEVEL	TOTAL SF		RESTAURANT	O	FFICE			
	TOTAL SF	SF	USES	SF	USES			
LEVEL 1	8,149 SF	7,862 SF	RESTAURANT 4	287 SF	ELEV. LOBBY			
LEVEL 2	8,175 SF			8,175 SF	OFFICE			
BUILDING 7 (E) TOTAL	16,324 SF	7,862 SF		8,462 SF				
			BUILDING 8 (E)					
		FLOOR A	REA					
LEVEL	TOTAL SF		RESTAURANT					
	TOTALSE	SF	USES					
LEVEL P1	5,761 SF	5,761 SF	RESTAURANT 5 BOH					
LEVEL 1	5,796 SF	5,796 SF	RESTAURANT 5					
BUILDING 8 (E) TOTAL	11,557 SF	11,557 SF						
			SITE 2 TOTAL					
SITE 2 TOTAL FAR SF	229,761 SF							
SITE AREA	51,058 SF	1						
	- 1	-1						



4.50

NON-RESIDENTIAL FAR
RESIDENTIAL FAR
BUILDABLE AREA

LEVEL P2 **6**1" = 60'-0"

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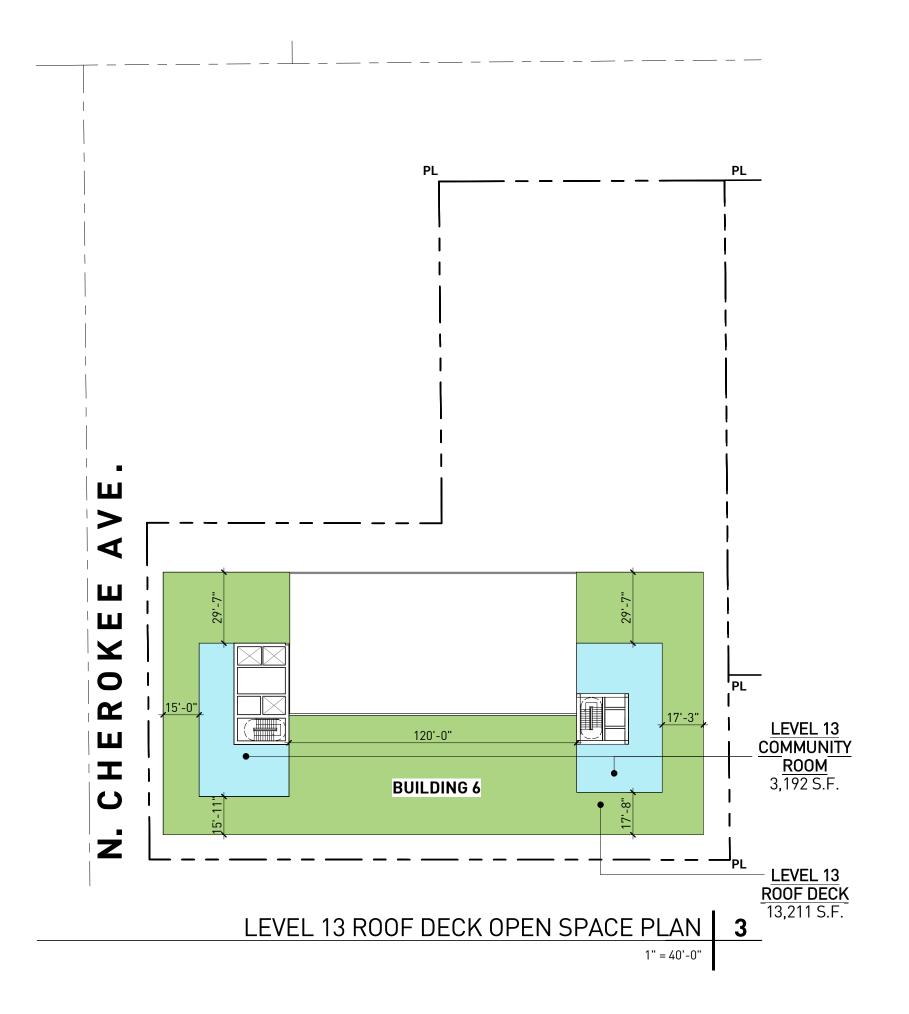
J+J HOLLYWOOD,

HOLLYWOOD CENTRAL

SITE 2 DEVELOPEMENT

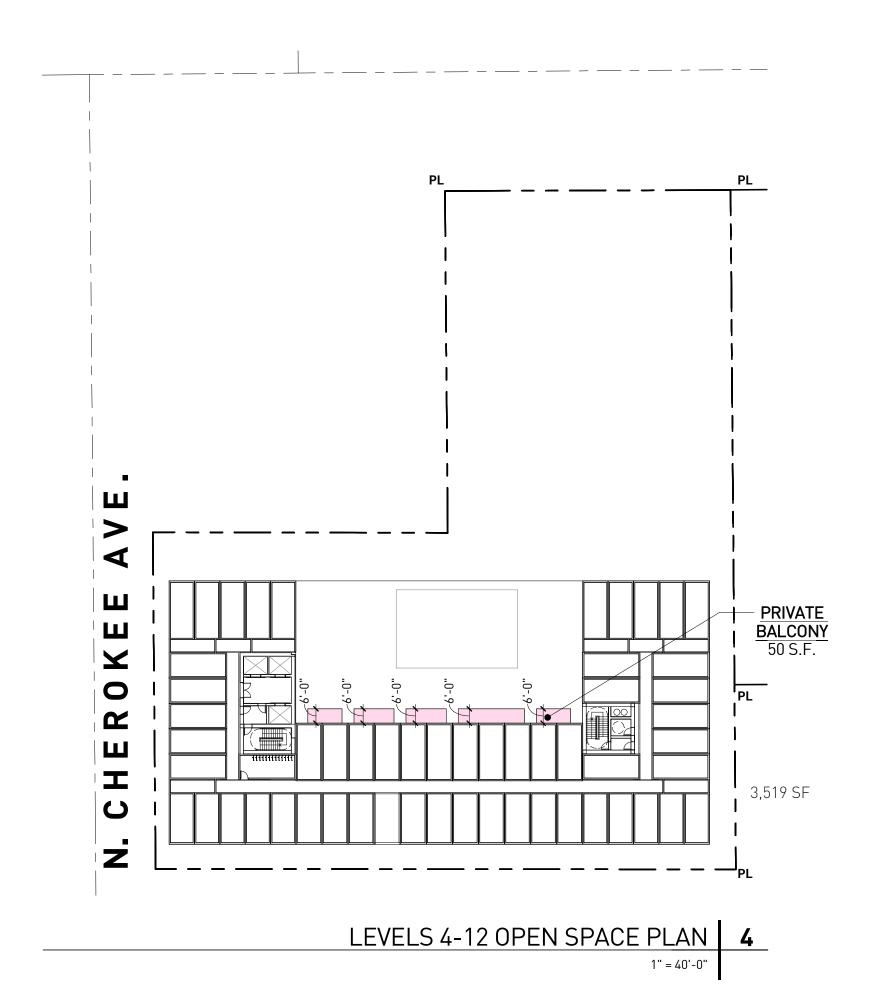
to 6636 W. Hollywood Blvd. Los Angeles CA 90028 16

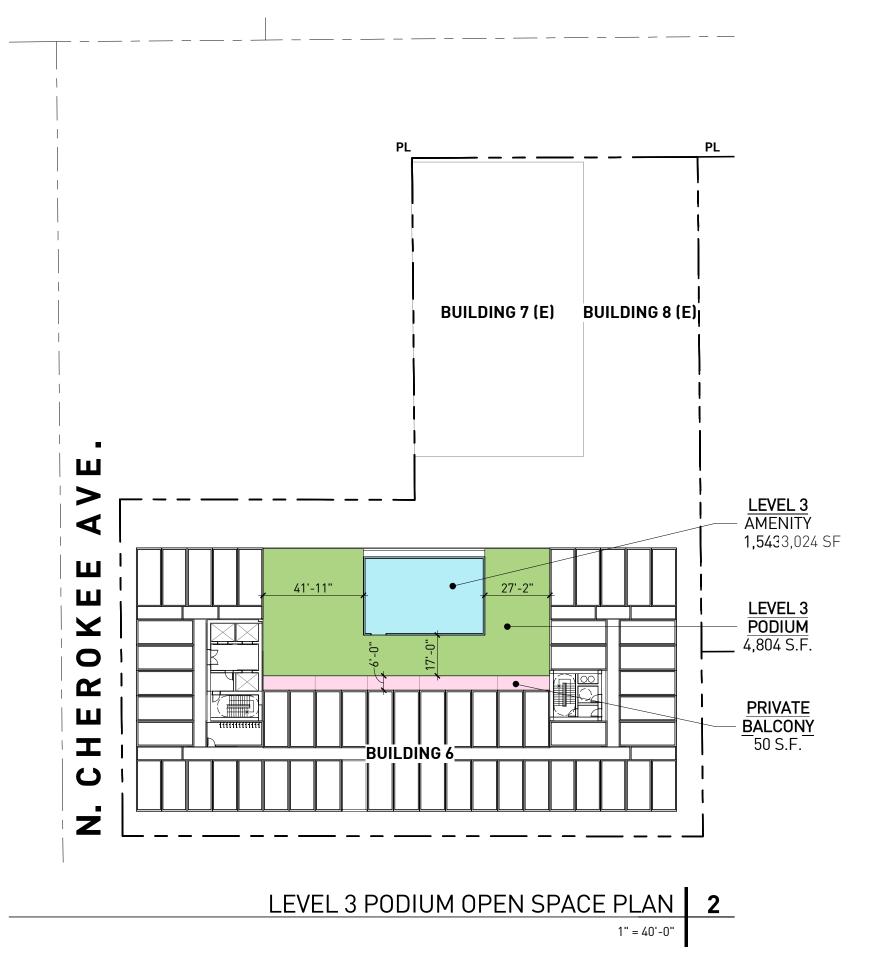
FAR
CALCULATIONS
AND PLAN
DIAGRAMS



OPEN SPACE				
		OPEN SPACE - R	EQUIRED	
ТҮРЕ	COUNT	S.F. PER UNIT	REQUIRED S.F.	%
< 3 HABITABLE ROOMS	180	100	18,000 SF	
3 HABITABLE ROOMS	60	125	7,500 SF	
	TOTAL REQU	JIRED	25,500 SF	
		OPEN SPACE - P	ROVIDED	
LEVEL 3				
COURTYARD			4,804 SF	
	REC. ROOM		1,543 SF	
ROOF LEVE	L (LEVEL 13)			
	ROOF DECK		13,211 SF	
	COMMUNITY	/ ROOM	3,192 SF	
PRIVATE BA	LCONIES (50	S.F. MAX / BALCONY	′)	
	55	50 SF	2,750 SF	_
тот	AL INDOOR C).S. (< 25%)	4,735 SF	19%
TOTAL O	JTDOOR O.S.	(OPEN TO SKY)	18,015 SF	
	TOTAL PROV	/IDED	25,500 SF	

NOTE: OPEN SPACE PROVIDED ASSUMES FULL ROOF AREA WITH NO REDUCTION FOR EQUIPMENT, EBM, OR POTENTIAL JURISDICTIONAL REQUIREMENTS





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REVISIONS

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PZA SUBMITTAL 10/25/2

OPEN SPACE DIAGRAMS AND CALCULATIONS

BALCON 2 2ND FLOOR

EXISTING MEZZANINE FLOOR PLAN - RETAIL 2

EXISTING SECOND FLOOR PLAN - OFFICE 3

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BUILDING 7 (E) EXISTING FLOOR PLANS

ELEVATOR LOBBY +0'-0" GRD. FLOOR

IGNITE SMOKE SHOP 6630A *0'-0"

HITECH
ELECTRONICS
6630B
+0'-0'
6RD, FLOOR

DISCOUNT LUGGAGE 6630C +0'-0" GRD. FLOOR

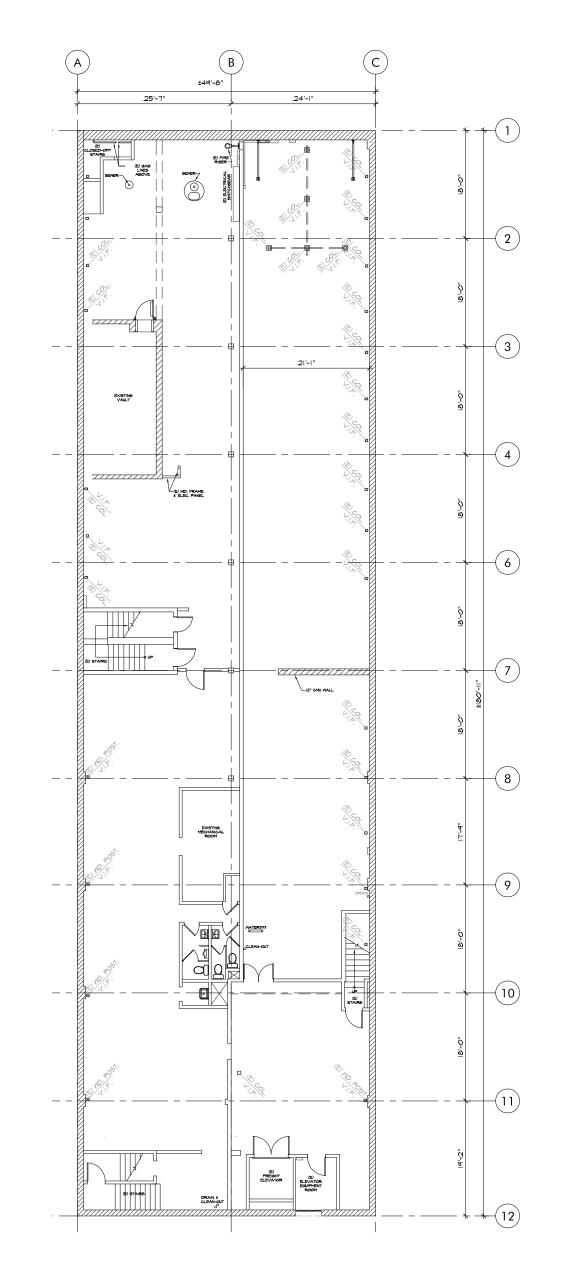
DISCOUNT LUGGAGE 6630C

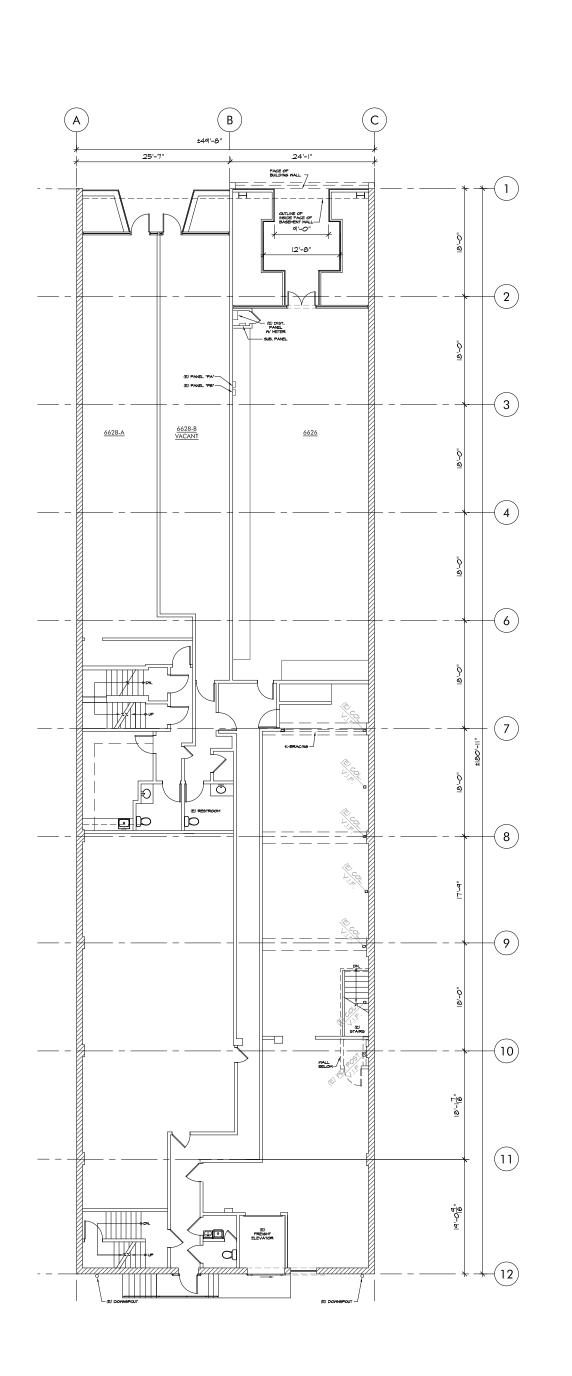
GROUND FLOOR LEVEL

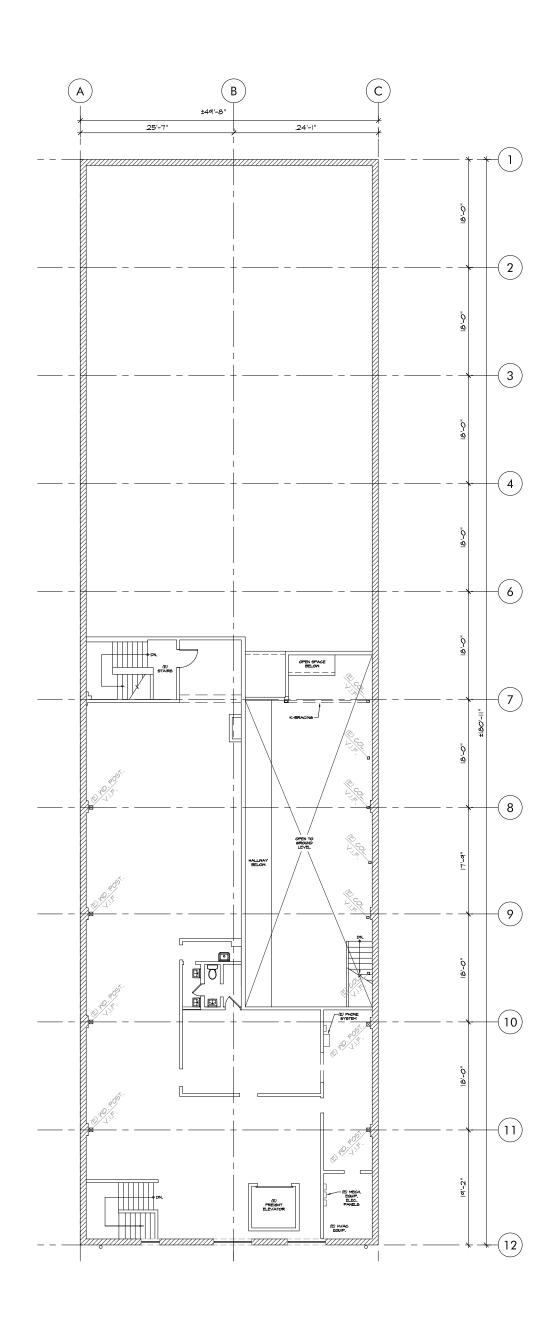
PARKING AREA LEVEL

EXISTING GROUND FLOOR PLAN - RETAIL

GRD. FLOOR







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BUILDING 8 (E) EXISTING FLOOR PLANS

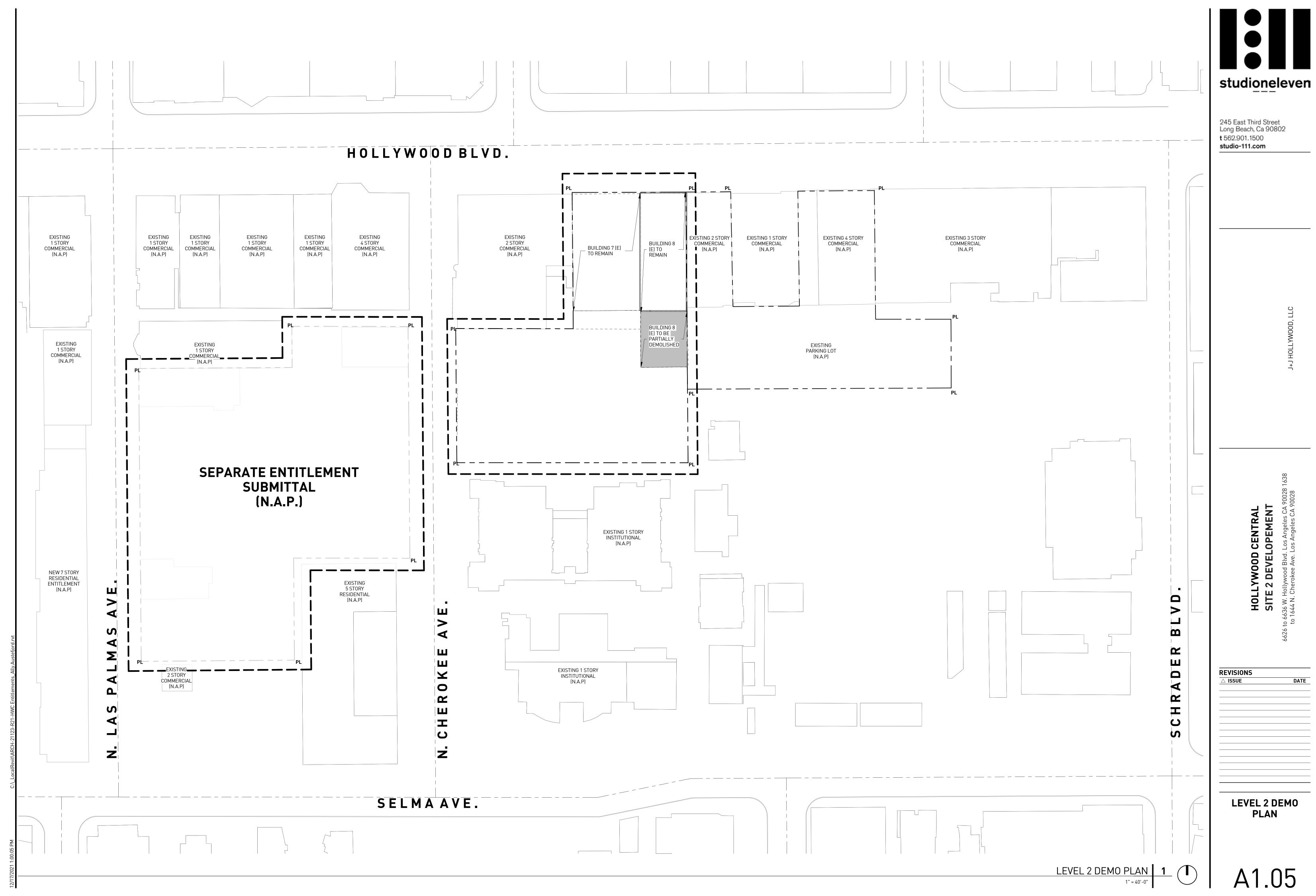
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LEVEL P1 DEMO PLAN

A1.03



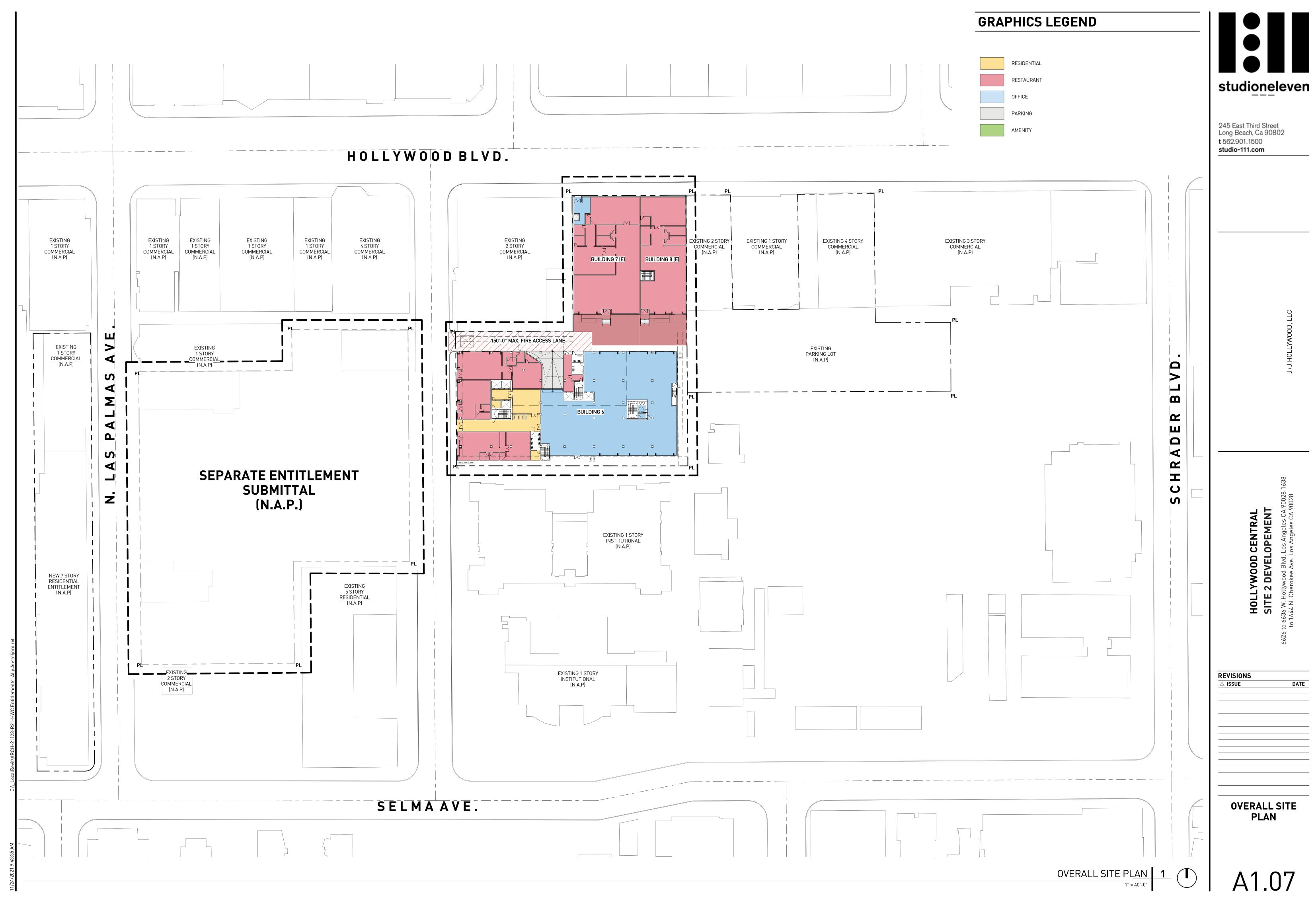
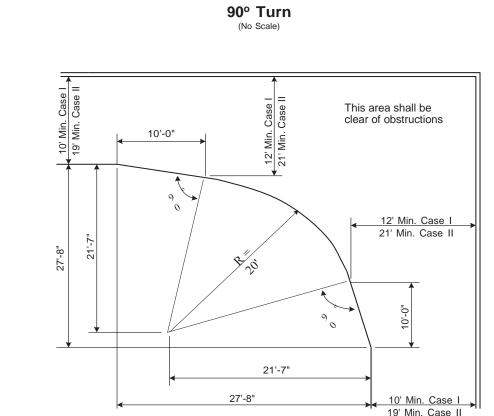


FIGURE 7 - CIRCULATION DRIVEWAYS



Case I - One-way traffic or two-way traffic where no more than 25 cars go around the turn. Case II - Two-way traffic and more than 25 cars go around the turn.

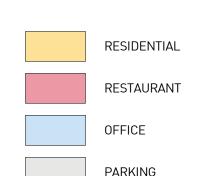
FLOOR PLAN NOTE

*SF ON FLOOR PLANS ARE INFORMATIONAL ONLY. SEE SHEET A0.08 & A0.09 FOR FLOOR AREA CALCULATION.

PARKING					
	# STALLS	PARKING AREA			
P1	45 STALLS	30,712 SF			
P2	63 STALLS	30,712 SF			
TOTAL	108 STALLS	61,424 SF			
EFFICIENCY	586 SF/ STALLS				

	STANDARD	COMPACT
RESIDENTIAL	102	0
NON-RESIDENTIAL	6	0

GRAPHICS LEGEND



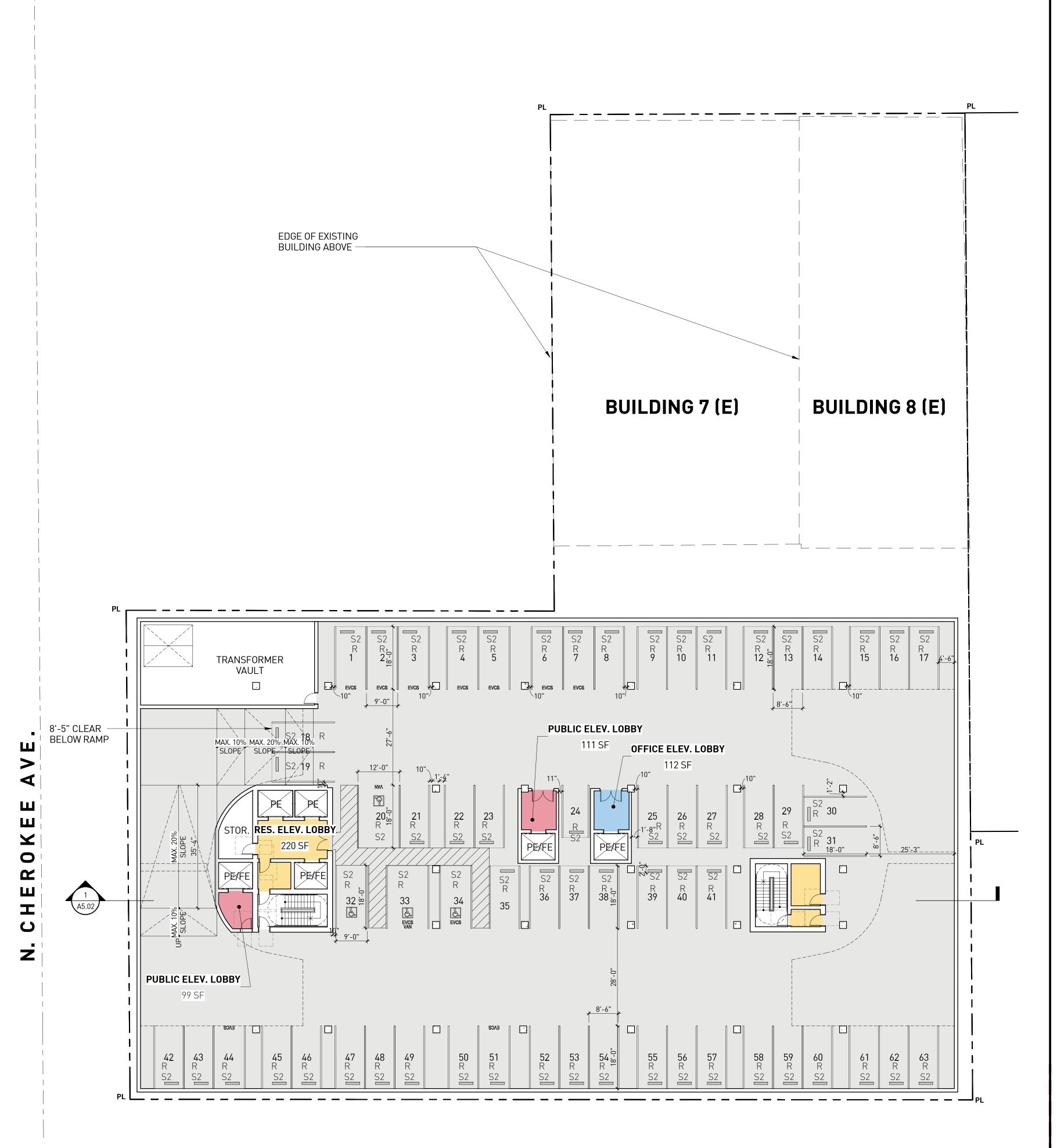
PARKING SYMBOLS

S2 ON-SITE PARKING

F&B RESTAURANT PARKING

O OFFICE PARKING

HOLLYWOOD BLVD.



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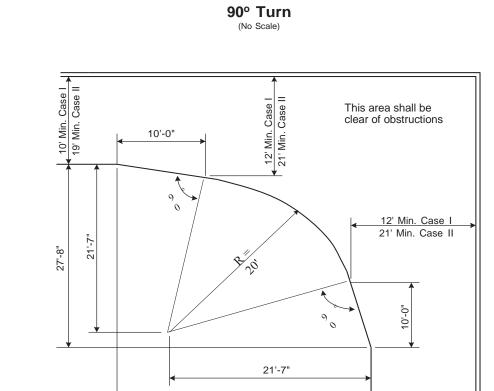
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REVISIONS

LEVEL P2 FLOOR PLAN

LEVEL P2 FLOOR PLAN **1**1/16" = 1'-0"

FIGURE 7 - CIRCULATION DRIVEWAYS



Case I - One-way traffic or two-way traffic where no more than 25 cars go around the turn.

Case II - Two-way traffic and more than 25 cars go around the turn.

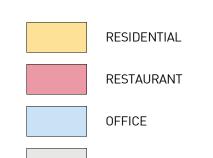
FLOOR PLAN NOTE

*SF ON FLOOR PLANS ARE INFORMATIONAL ONLY. SEE SHEET A0.08 & A0.09 FOR FLOOR AREA CALCULATION.

PARKII	NG	
	# STALLS	PARKING AREA
P1	45 STALLS	30,712 SF
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EFFICIENCY	586 SF/ STALI	.S

	STANDARD	COMPACT
RESIDENTIAL	102	0
NON-RESIDENTIAL	6	0

GRAPHICS LEGEND



PARKING SYMBOLS

S2 ON-SITE PARKING

R RESIDENTIAL PARKING

F&B RESTAURANT PARKING

FOD RESTAURANT FAR

O OFFICE PARKING

HOLLYWOOD BLVD.



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LEVEL P1 FLOOR PLAN

Δ2 Π2

LEVEL P1 FLOOR PLAN 1

FLOOR PLAN NOTE

*SF ON FLOOR PLANS ARE INFORMATIONAL ONLY. SEE SHEET A0.08 & A0.09 FOR FLOOR AREA CALCULATION.

GRAPHICS LEGEND







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LEVEL 1 FLOOR
PLAN

A2.03

LEVEL 1 FLOOR PLAN 1 1/16" = 1'-0"

HOLLYWOOD BLVD. EXISTING 2 STORY COMMERCIAL (N.A.P) **BUILDING 8 (E) BUILDING 7 (E)** OFFICE (LEVEL 2) 8,175 SF **OFFICE**□ | 9,275 SF OPEN TO BELOW OPEN TO--< BELOW BUILDING 6 0" FRONT YARD SETBACK (C2) LEVEL 2 FLOOR PLAN 1 1/16" = 1'-0"

GRAPHICS LEGEND

RESIDENTIAL

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0" SIDE YARD SETBACK (C2)

DATE

LEVEL 2 FLOOR PLAN

EXISTING 2 STORY COMMERCIAL (N.A.P) **BUILDING 7 (E)** 3 A4.01 UNIT A UNIT D 2 BR UNIT A RECREATION ROOM 1,543 SF HEROKEE A6.02 LEVEL 3 AMENITY DECK RES. ELEV. LOBBY UNIT A UNIT E 2 BR 0" FRONT—— SETBACK (R4) BUILDING 6 LONG-TERM RESI. BIKE PARKING (13) 16,312 SF UNIT A 1 BR UNIT E 2 BR 1 BR

GRAPHICS LEGEND

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SITE 2 DEVELOPEMENT

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16'-0" SIDE YARD SETBACK (R4)

11'-0" 16'-0" SIDÉ YARD SETBACK (R4)

LEVEL 3 FLOOR PLAN 1

1/16" = 1'-0"

UNIT D 2 BR

> UNIT E 2 BR

REVISIONS

A ISSUE

DATE

LEVEL 3 FLOOR
PLAN

۸2 N5

EXISTING 2 STORY COMMERCIAL (N.A.P) 3 A4.01 UNIT D 2 BR UNIT D 2 BR 2 A4.01 CHEROKEE RES. ELEV. LOBBY A6.02 16'-8" UNIT A 1 A5.02 UNIT A 1 BR UNIT E 2 BR 0" FRONT—— SETBACK (R4) **BUILDING 6** LONG-TERM RESI. BIKE PARKING (13) UNIT A UNIT A UNIT B 1 BR UNIT E 2 BR 4 A4.01 SIM. A4.01

GRAPHICS LEGEND

RESIDENTIAL

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16'-0" SIDE YARD SETBACK (R4)

UNIT E 2 BR

UNIT A 1 BR

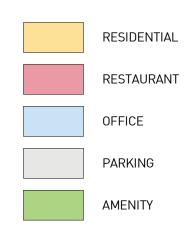
11'-0" 16'-0" SIDÉ YARD SETBACK (R4)

REVISIONS

LEVELS 4-12 FLOOR PLAN

LEVELS 4-12 FLOOR PLAN **1**1/16" = 1'-0"

GRAPHICS LEGEND



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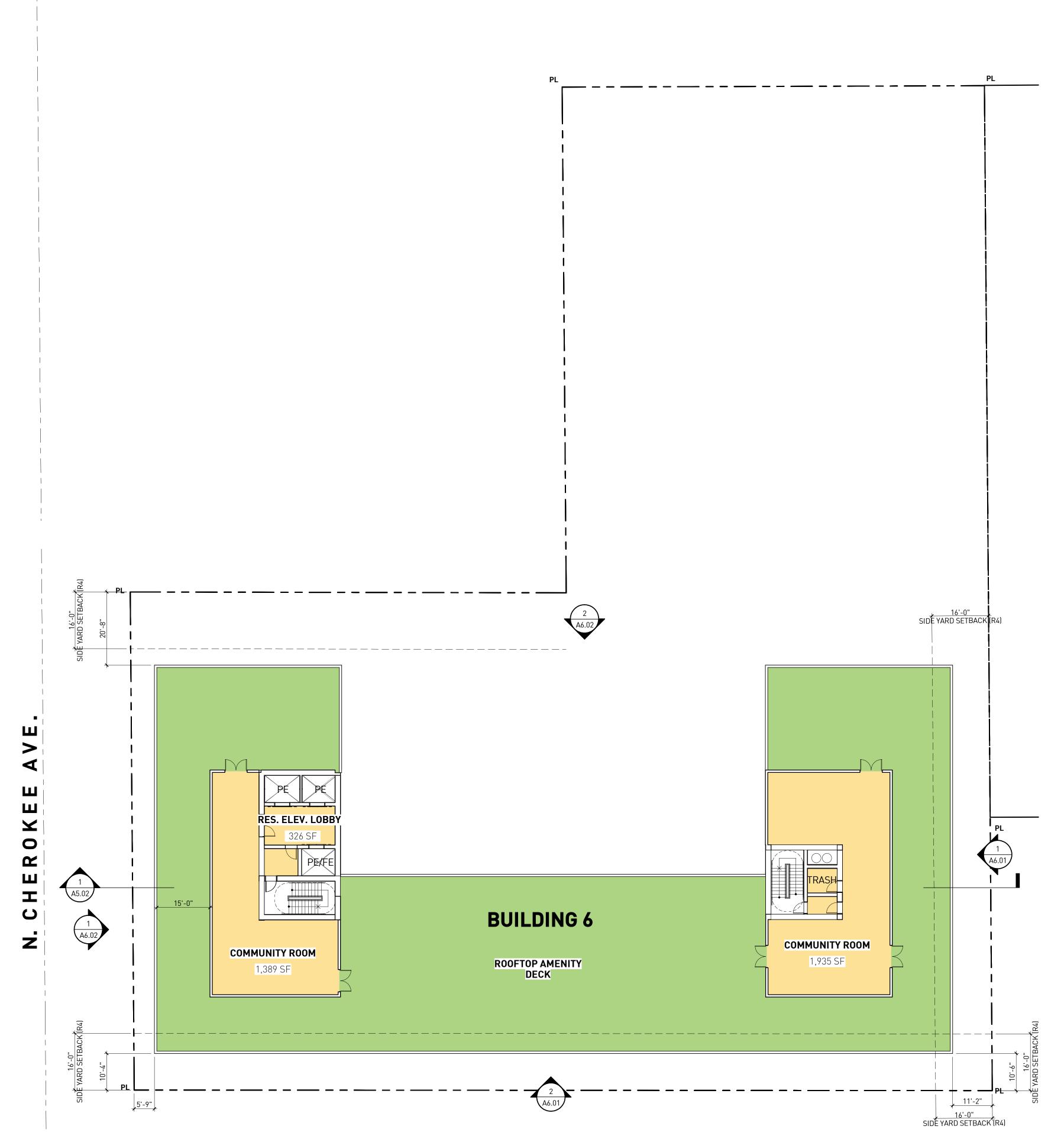
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LEVEL 13 ROOF DECK PLAN

A2.07

LEVEL 13 ROOF FLOOR PLAN 1

1/16" = 1'-0"



GRAPHICS LEGEND

RESIDENTIAL

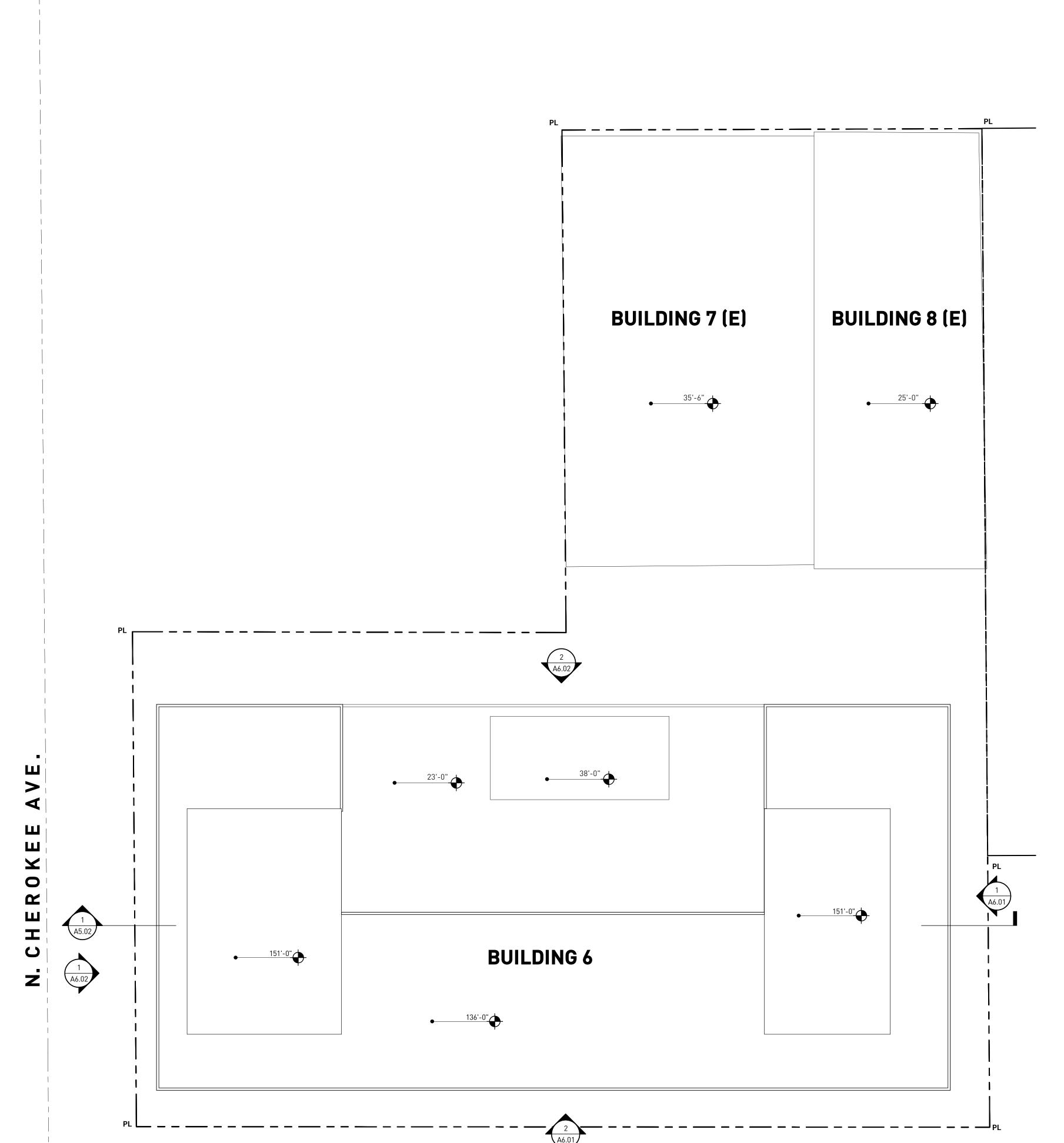
RESTAURANT

OFFICE

PARKING

AMENITY

HOLLYWOOD BLVD.



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ROOF PLAN

HOLLYWOOD BLVD.

RESTAURANT 3

RESTAURANT 2

ALCOHOL TYPE 47 TOTAL AREA: 2,388 SF

ALCOHOL TYPE 47 TOTAL AREA: 1,481 SF

0

C

ALCOHOL TYPE 47 TOTAL AREA: 2,801 SF

BUILDING 7 (E)

RESTAURANT 4

ALCOHOL TYPE 47 TOTAL AREA: 9,507 SF

BUILDING 6

COMMON SPACE OUTDOOR SEATING 32 SEATING COUNT **TOTAL SEATING** 32

*NOT COUNTED TOWARDS INDIVIDUAL RESTAURANT SEATING TOTALS

OUTOOR COMMON AREA KEY PLAN AREA

HOLLYWOOD BLVD.

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MCUP - OVERALL PLAN

REVISIONS

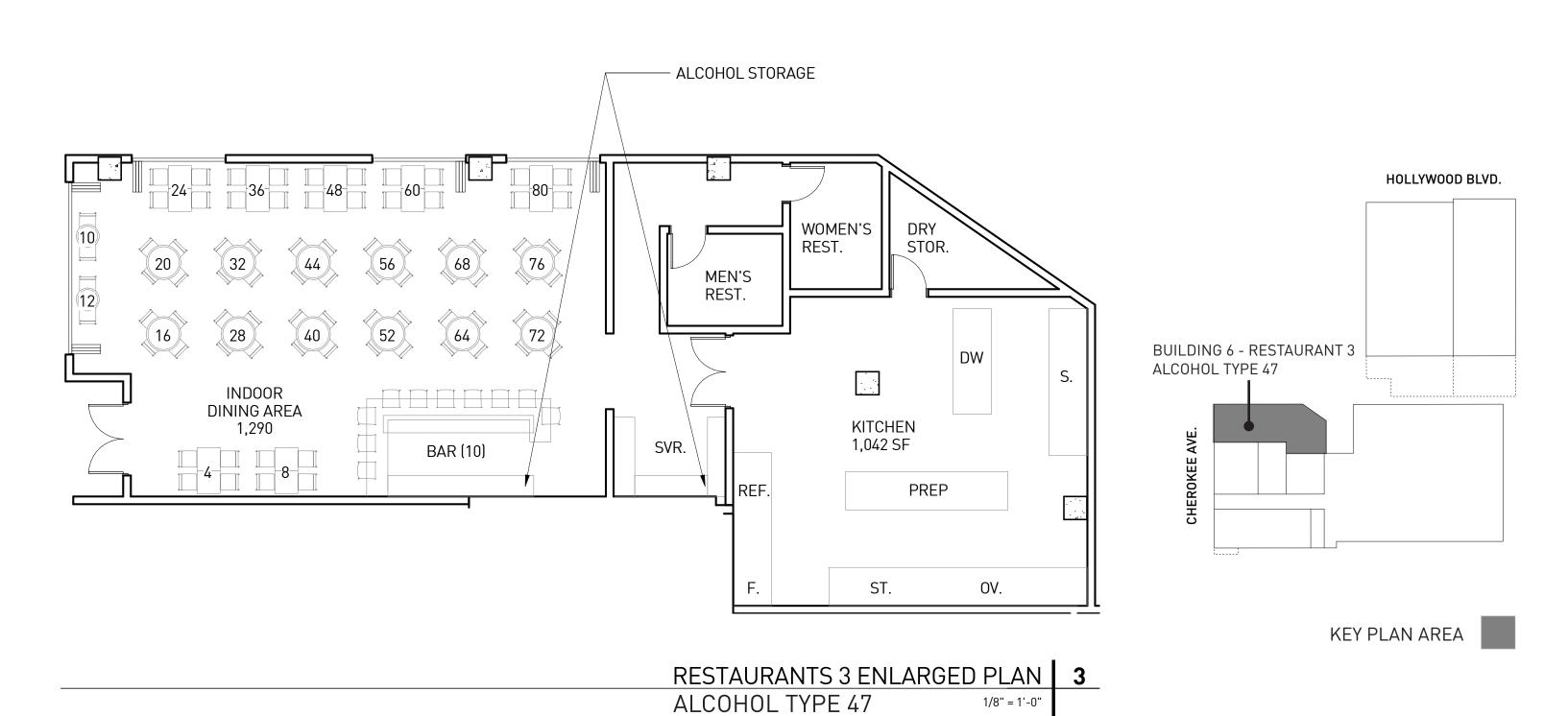
OVERALL SITE PLAN - LEVEL 1 1

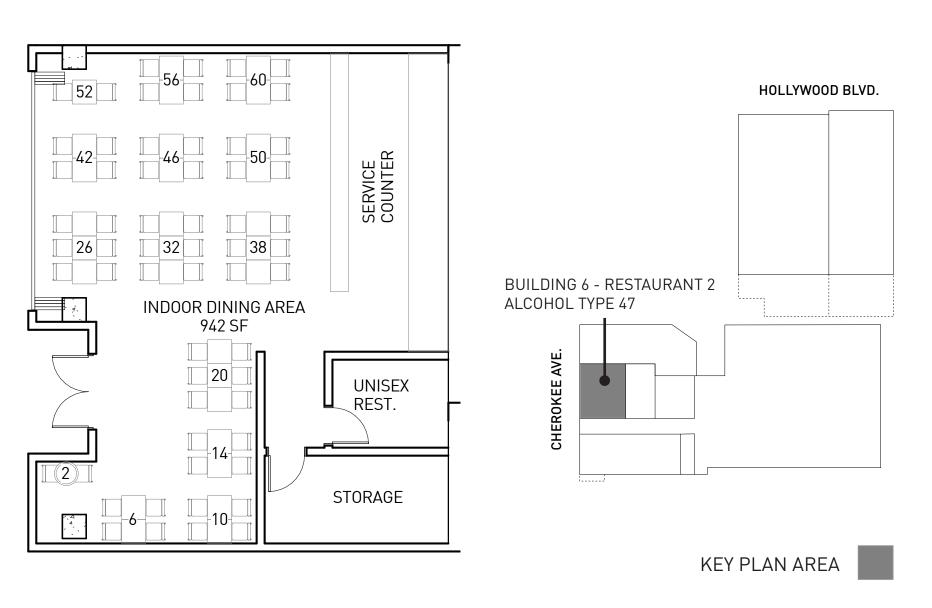
1/16" = 1'-0"

BUILDING 8 (E)

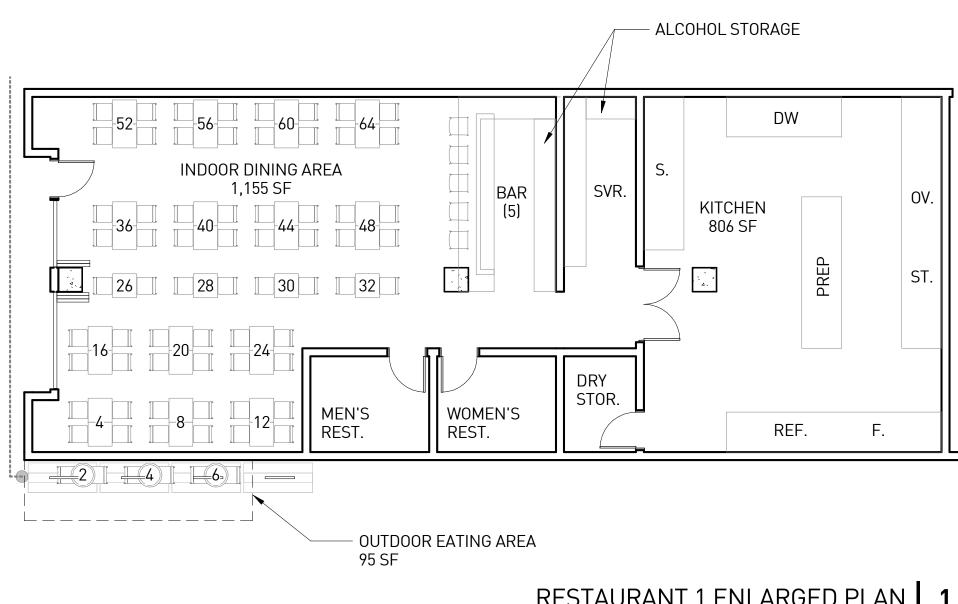
RESTAURANT 5

ALCOHOL TYPE 47 TOTAL AREA: 12,829 SF





RESTAURANT 2 ENLARGED PLAN 2
ALCOHOL TYPE 47 1/8" = 1'-0"



		HOLLYWOOD BLVD.
	G 6 - RESTAURANT 1 L TYPE 47	
VE.		
CHEROKEE AVE.		
CHE		

KEY PLAN AREA

RESTAURANT 1 ENLARGED PLAN	1
ALCOHOL TYPE 47 1/8" = 1'-0"	

		RESTAURANT 1	RESTAURANT 2	RESTAURANT 3
	INDOOR AREA	2,293 SF	1,481 SF	2,801 SF
PROGRAM AREA	INDOOR DINING AREA	1,155 SF	942 SF	1,290 SF
	OUTDOOR EATING AREA	95 SF		
		T		
	INDOOR SEATING	69	60	90
SEATING COUNT	OUTDOOR SEATING	6		
	TOTAL SEATING	75	60	90
A	LCOHOL TYPE	TYPE 47	TYPE 47	TYPE 47

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to 1644 N. Cherokee Ave. Los Angeles CA 90028

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MCUF	-
ENLARGED	PLANS

A3.03

A4.01

TO -6"

10'-6"

10'-6"

10'-6"

10'-6"

10'-6"

10'-6"

10'-6"

ILIVING ROOM

ROOM

REF - REFROERATOR

BE - BREAD BOARD

BE - BREAD BOARD

BE - BRANDE

DW - DISHWASHER

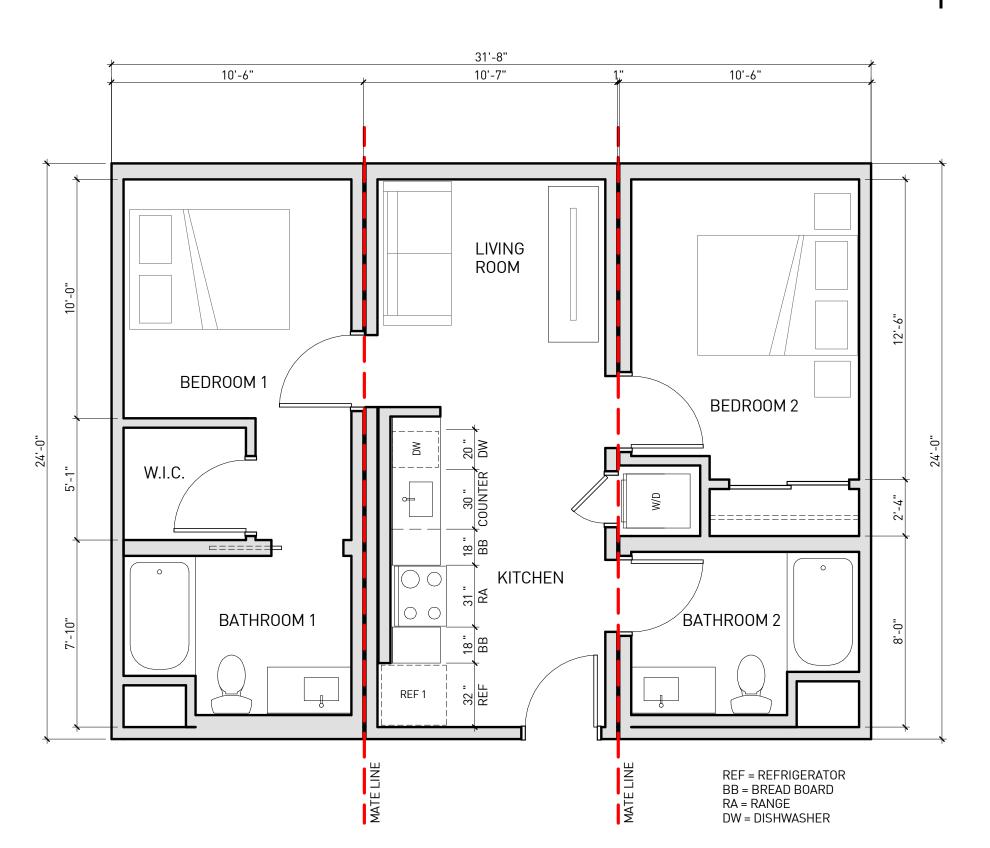
1 14BITABLE ROOM COUNT PER LAMC SEC.12.03.

1 14BITABLE ROOM SIFOR PACE REQUIREMENTS!

2 14BITABLE ROOMS IFOR PACE REQUIREMENTS!

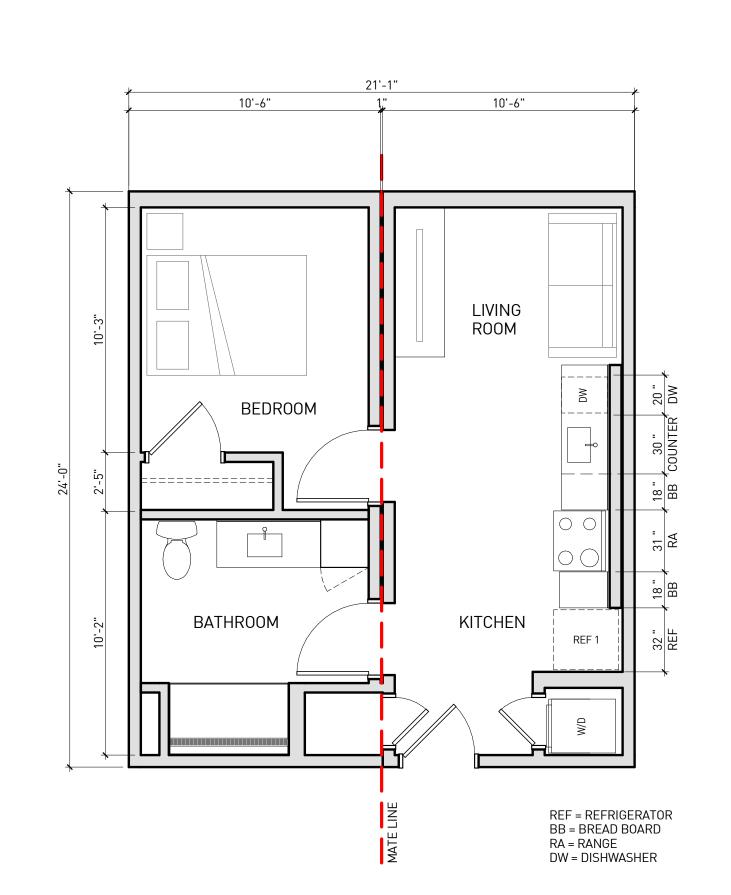
2 14BITABLE ROOMS IFOR PACE REQUIREMENTS!

UNIT B : TYPICAL CORNER 1 BEDROOM UNIT PLAN 2



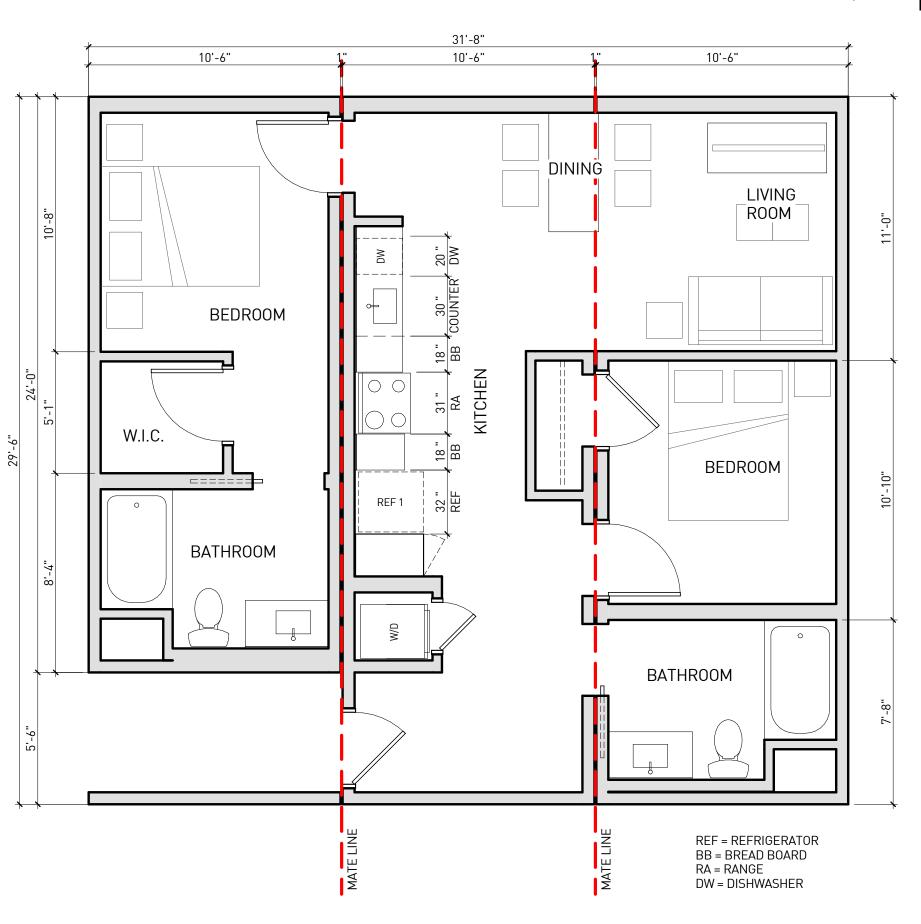
HABITABLE ROOM COUNT PER LAMC SEC.12.03. - 4 HABITABLE ROOMS (FOR PARKING SPACE REQUIREMENTS) 3 HABITABLE ROOMS (FOR OPEN SPACE REQUIREMENTS)

UNIT E : TYPICAL 2 BEDROOM UNIT PLAN 4 UNIT



HABITABLE ROOM COUNT PER LAMC SEC.12.03. - 3 HABITABLE ROOMS (FOR PARKING SPACE REQUIREMENTS) - 2 HABITABLE ROOMS (FOR OPEN SPACE REQUIREMENTS)

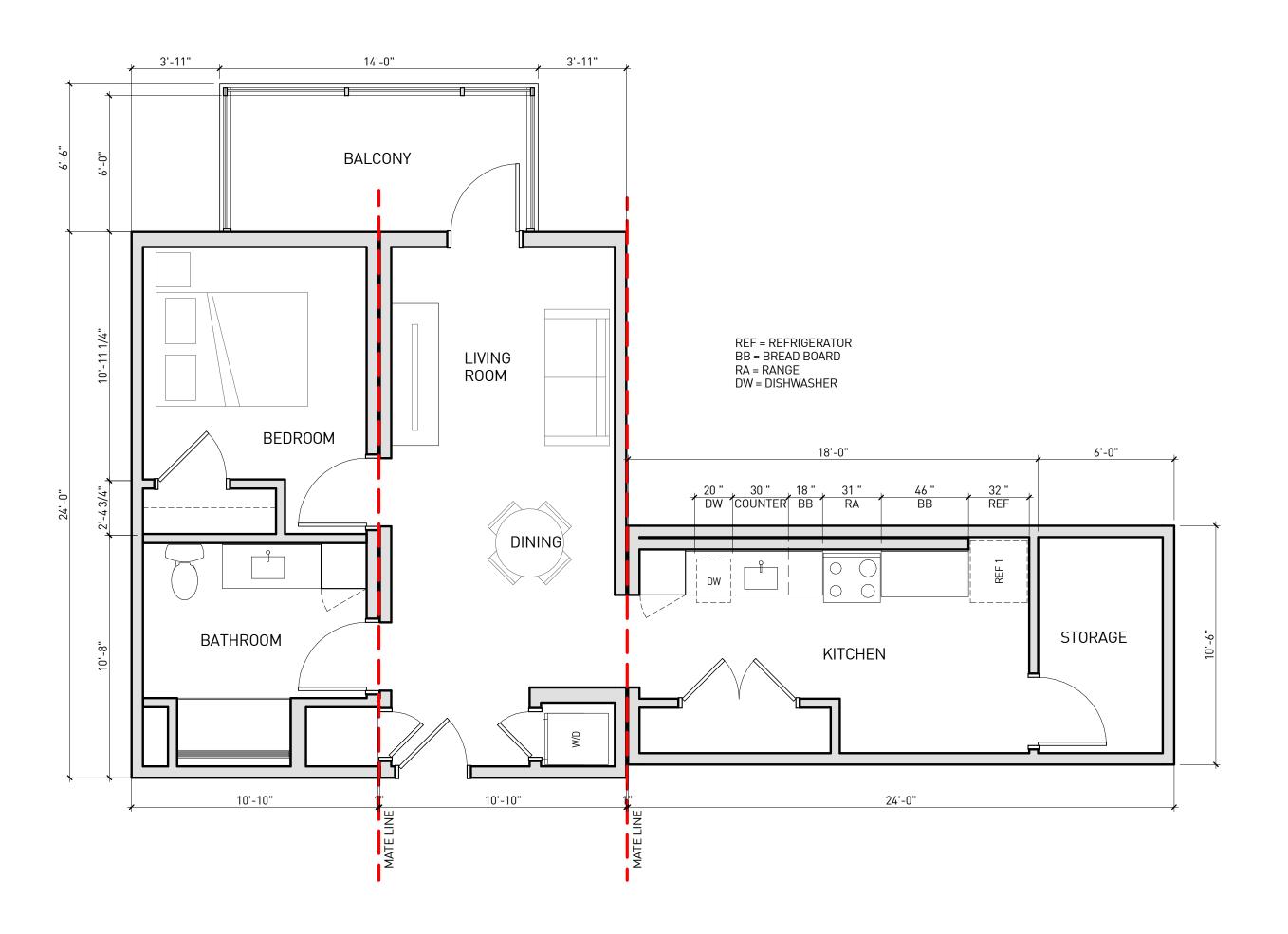
UNIT A: TYPICAL 1 BEDROOM UNIT PLAN 1



HABITABLE ROOM COUNT PER LAMC SEC.12.03. - 4 HABITABLE ROOMS (FOR PARKING SPACE REQUIREMENTS) - 3 HABITABLE ROOMS (FOR OPEN SPACE REQUIREMENTS)

HABITABLE ROOM COUNT PER LAMC SEC.12.03. - 4 HABITABLE ROOMS (FOR PARKING SPACE REQUIREMENTS) - 3 HABITABLE ROOMS (FOR OPEN SPACE REQUIREMENTS)

UNIT F: CORNER 2 BEDROOM UNIT PLAN 2



HABITABLE ROOM COUNT PER LAMC SEC.12.03. - 3 HABITABLE ROOMS (FOR PARKING SPACE REQUIREMENTS) - 2 HABITABLE ROOMS (FOR OPEN SPACE REQUIREMENTS)

UNIT C: INSIDE CORNER 1 BEDROOM UNIT PLAN 1

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ENLARGED MODULAR UNIT PLAN

LAMC LEVEL 1 BLDG 6 LEVEL 1 +0'-0" (375.09')

BLDG 6 A.L.G. -1'-4 3/4" (373.70')

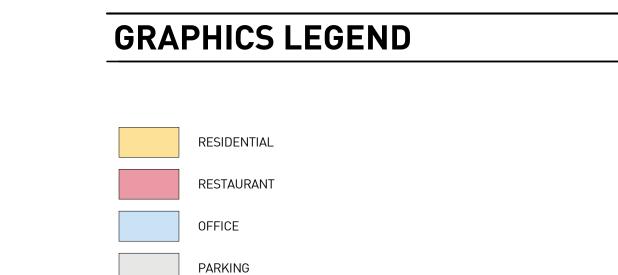
BLDG 6 LEVEL P1 -11'-0"

OFFICE

PARKING

PARKING

BUILDING 6 BUILDING 7 (E)



AMENITY



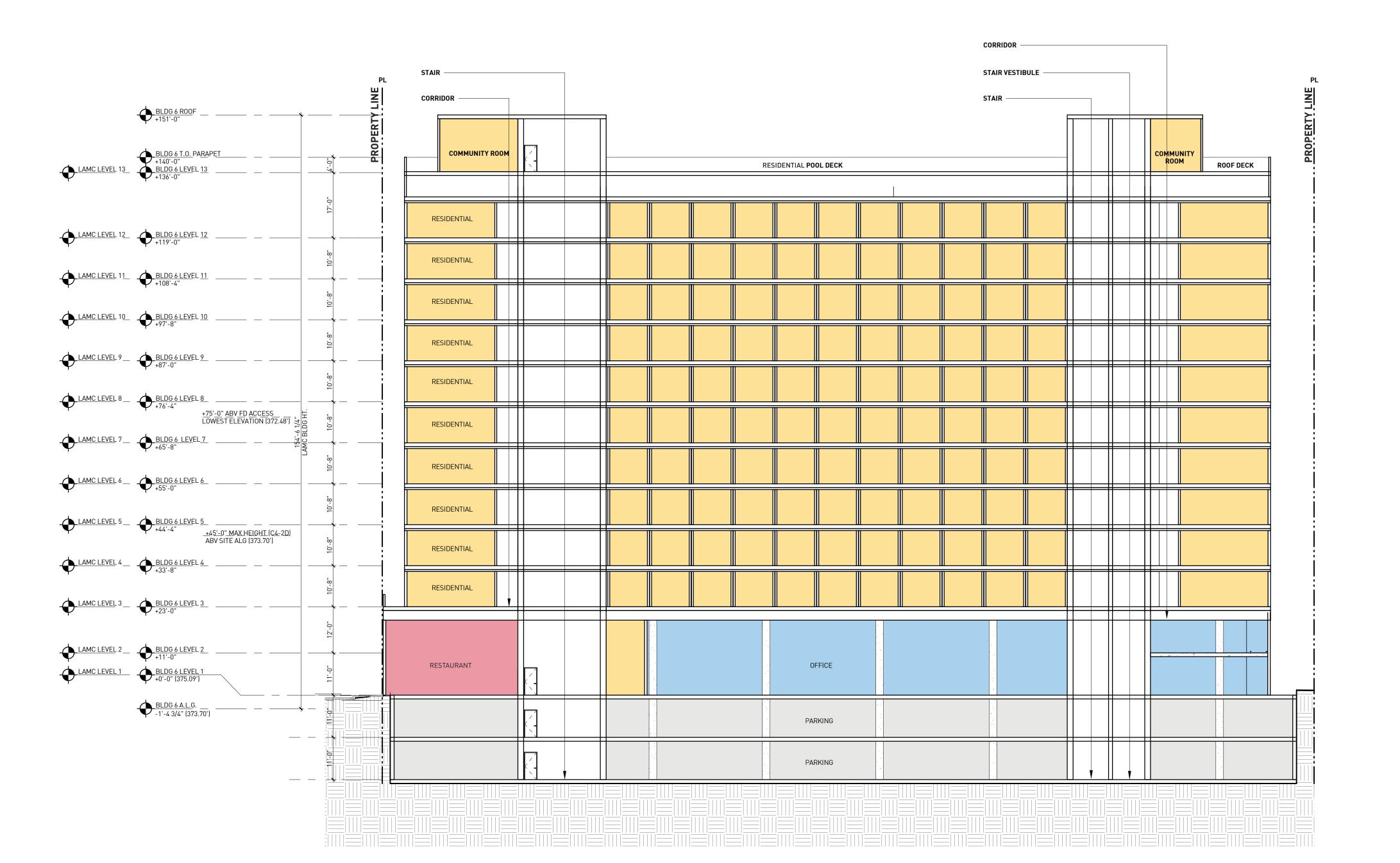
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to 1644 N. Cherokee Ave. Los Angeles CA 9002

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SITE SEC	ΓΙΟΝ

HOLLYWOOD BLVD.

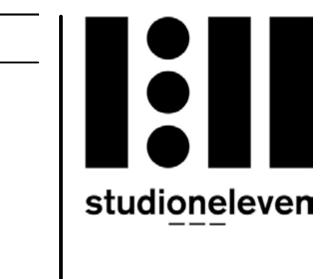
SITE SECTION **1**1/16" = 1'-0"



RESIDENTIAL RESTAURANT OFFICE

PARKING

AMENITY



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to 1644 N. Cherokee Ave. Los Angeles CA 90028

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DIIII DING	Ł
BUILDING	6

HOLLYWOOD BLVD.

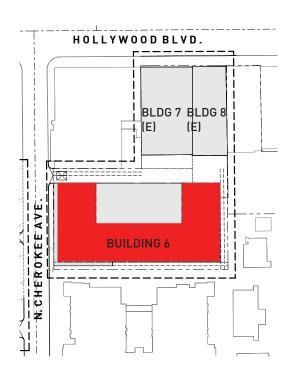
BUILDING 6 SECTION **4**1/16" = 1'-0"

SECTION

A5.02

BUILDING 6 - WEST ELEVATION 2

BUILDING 6 - SOUTH ELEVATION 1



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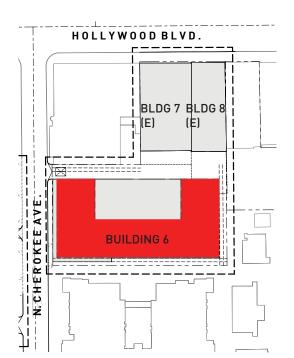
BUILDING 6 ELEVATIONS

DATE

46.01

BUILDING 6 - EAST ELEVATION 2

BUILDING 6 - NORTH ELEVATION 1



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л НОГГУМООВ, ГГС

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DATE

BUILDING 6 ELEVATIONS

46.02

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A7.01

10. ALUMINUM PANEL, SILVER



05. WOOD TRUSS



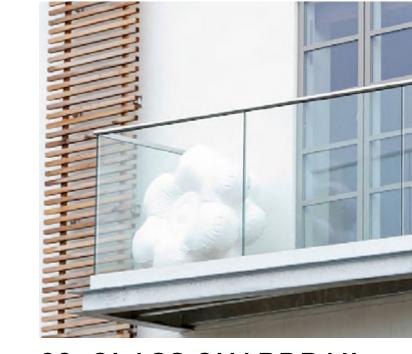
09. STEEL, DARK GREY



04. GLASS FOLDING DOORS



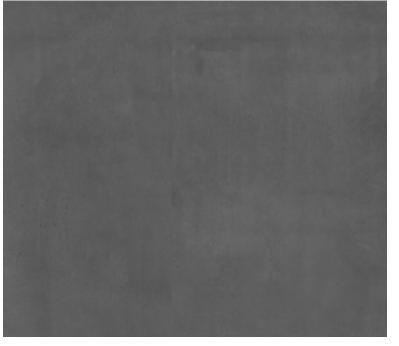
08. WINDOW WALL SYSTEM



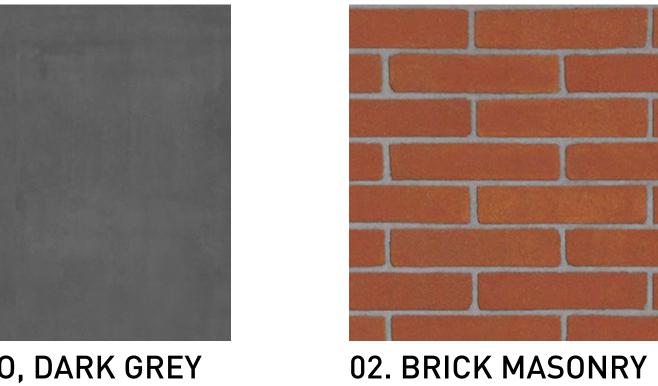
03. GLASS GUARDRAIL



12. ART BY OTHERS

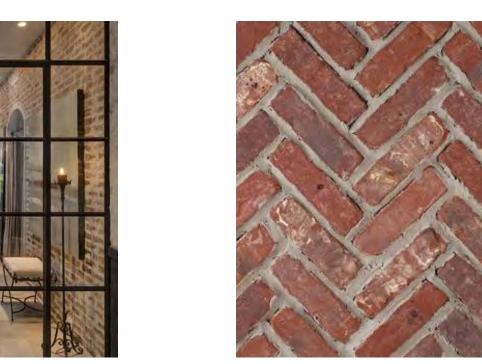


07. STUCCO, DARK GREY





06. STEEL STOREFRONT



01. BRICK MASONRY



11. CORRUGATED METAL SIDING, LIGHT BLUE



VIEW OF NEW OUTDOOR DINING PATIO 1

PLANTING AREA REQUIRED 6,375 SF (25% MINIMUM OF COMMON OPEN SPACE)

PLANTING AREA PROVIDED

6,395 SF

NOTE: THE 25% PLANTING REQUIREMENT IS BASED ON THE "COMMON OPEN SPACE" REQUIRED FOR THE PROJECT AS A WHOLE PER LAMC 12.21-G.2(A)

CANOPY TREES

CANOPY TREES REQUIRED
(1 TREE PER 4 RESIDENTIAL UNITS)
240 RES. UNITS

CANOPY TREES PROVIDED

60

NOTE: THE TREE COUNT REQUIREMENT IS BASED ON TOTAL RESIDENTIAL UNITS OF PROJECT AS A WHOLE AND INCLUDES STREET TREES IN ROW

RAISED PLANTER WITH CANTELIVER SEATING PAVING OVER CONCRETE SLAB TREE PIT SOIL: SOIL VOLUME 900 CU. FT MINIMUM FOR MEDIUM SIZED TREE (25"-40" H) DEEPENED BEAM TO SUPPORT TREE 11' FLOOR TO ISEE ARCHITECTS DRAWINGS) COLUMNS ISEE ARCHITECTS DRAWINGS)

TREE IN RAISED PLANTER OVER PODIUM | SOIL VOLUME DIAGRAM

TREE + PLANTING NOTES:

- MINIMUM TREE WELL DEPTH FOR TREES IS 42 INCHES. MINIMUM DEPTH FOR SHRUBS IS 30 INCHES, AND MINIMUM DEPTH FOR HERBACEOUS PLANTING AND GROUND COVERS IS 18" INCHES.
- ALL TREE WELLS ALONG STREET SCAPE OVER GRADE TO BE 4'X10'X42'" DEEP (MIN.)
- ALL SMALL TREES OVER PODIUM (LESS THAN 25' IN HEIGHT AT MATURITY) HAVE 600 CUBIC FEET MINIMUM OF SOIL PROVIDED.
- ALL MEDIUM SIZED TREES OVER PODIUM (25'-40' IN HEIGHT AT MATURITY) HAVE 900 CUBIC FEET MINIMUM OF SOIL PROVIDED.
 ALL LARGE SIZED TREES (GREATER THAN 40' IN HEIGHT AT MATURITY) HAVE 1,200
- CUBIC FEET MINIMUM OF SOIL PROVIDED.

 ALL TREES ON PODIUM OR DECKS SHALL BE IN PLANTERS THAT ARE A MINIMUM
- OF 3' IN DEPTH
 NEW TREES PLANTED IN THE PUBLIC R.O.W. TO BE SPACED NOT MORE THAN AN AVERAGE SPACING OF 30' ON CENTER.
- ALL CANOPY TREES SHALL BE PLANTED AT A SIZE OF 24" BOX MINIMUM
- PLANTING TO BE COMPRISED OF A MAJORITY OF DROUGHT TOLERANT VARIETIES

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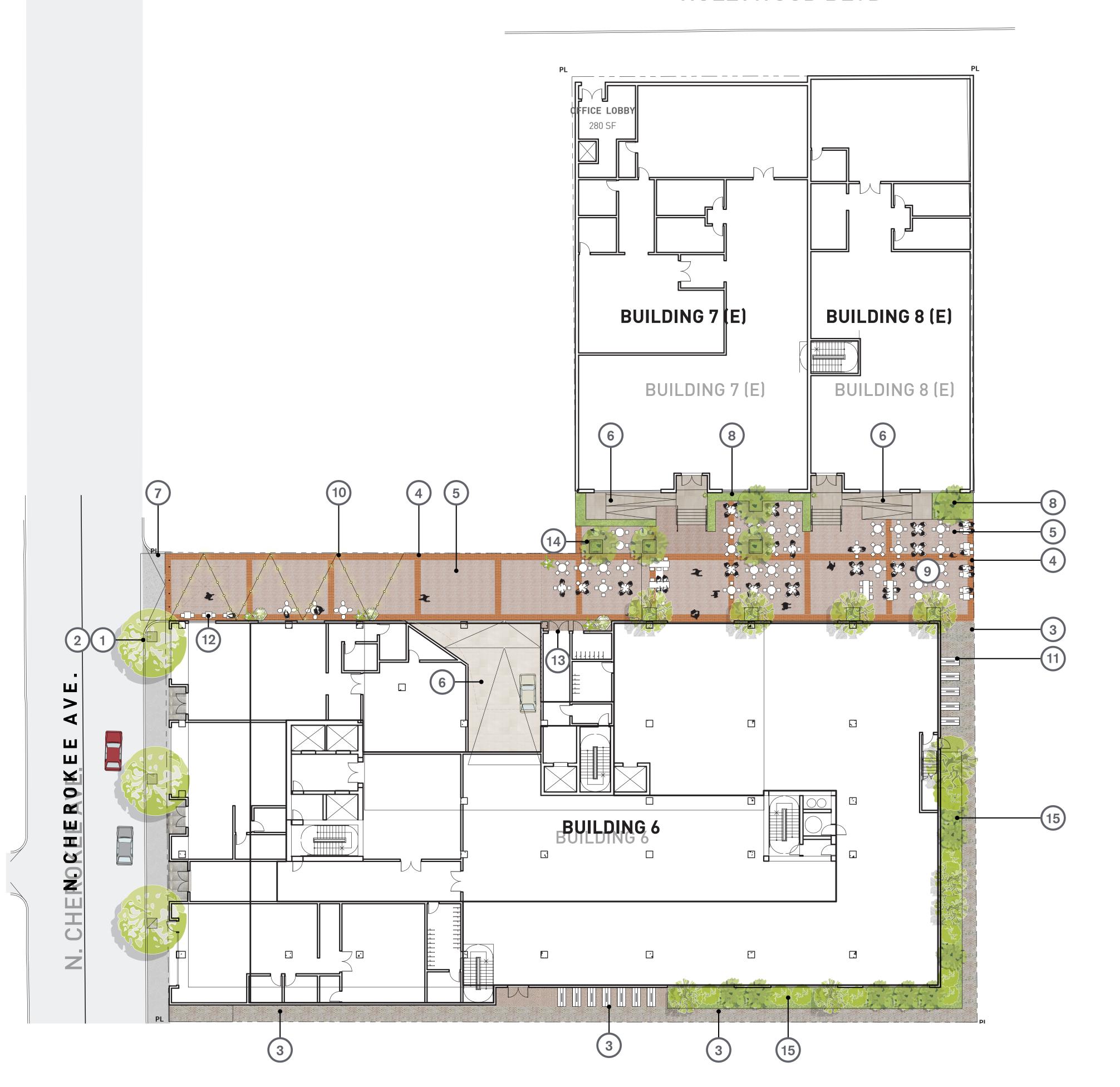
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SITE 2 DEVELOPMENT
to 1638 N. Las Palmas Ave. Los Angeles CA 90028 162

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:- <u>{</u> }		
7" 54 71		
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CALCULATIONS

HOLLYWOOD BLVD



KEY NOTES:

1.STREET TREES AT 30'-0" MAX. O.C. SPACING TYP.

2.STREETSCAPE TREE WELLS

3.COBBLE PAVING SQUARE RUNNING BOND PATTERN

4.BRICK PAVING BAND IN DECORATIVE PATTERN

5.BRICK PAVING IN HERRING BONE PATTERN

6.CONCRETE PAVING W/ GRIDDED SCORE PATTERN AND ACID ETCH FINISH

7. CONCRETE DRIVEWAY

8.PLANTING AREA, TYP.

9. DINING PLAZA, FINAL FURNITURE TBD.

10. OVERHEAD LIGHTING

11. SHORT TERM BIKE PARKING

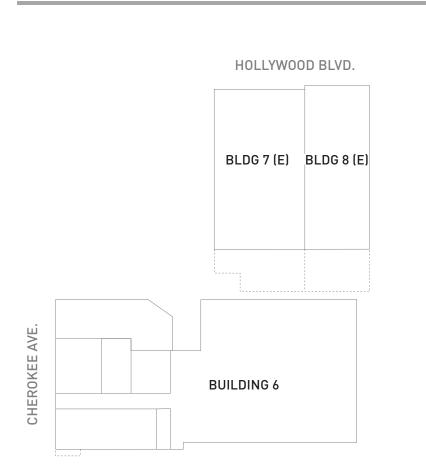
12. MOVABLE FURNISHINGS IN FIRE LANE

13. COBBLE FAN PATTERN AT ENTRANCES

14. SPECIMEN TREE IN RAISED PLANTER W/ CANTILEVER SEATING. REFER TO DIAGRAM, 1/L0.01.

15. TREES IN RAISED PLANTER. REFER TO DIAGRAM, 1/L0.01

KEYMAP



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HOLLYWOOD CENTRAL

SITE 2 DEVELOPMENT

0 to 1638 N. Las Palmas Ave. Los Angeles CA 90028 1623

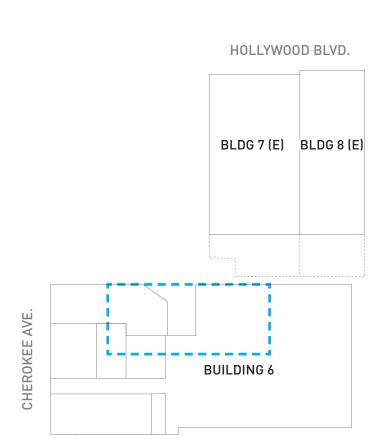
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KEY NOTES:

- 1. CONCRETE PAVERS ON PEDESTAL SYSTEM
- 2. ARTIFICIAL TURF FLEX SPACE
- 3.BBQ AND COUNTER TOP
- 4. RAISED PLANTERS
- 5. DINING STYLE SEATING
- 6. HAMMOCKS
- 7. PLANTING AREA, TYP.

KEYMAP

BUILDING 6-LEVEL 3 DECK ILLUSTRATIVE PLAN 1



D BLVD.

BLDG 8 (E)

L1.01

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BUILDING 6 LEVEL 3 DECK ILLUSTRATIVE PLAN

KEY NOTES:

- 1. CONCRETE PAVERSON PEDESTAL SYSTEM
- 2. ARTIFICIAL TURF FLEX SPACE
- 3.BBQ AND COUNTER TOP
- 4. FIRE PIT, TYP
- 5. RAISED GARDEN BEDS
- 6.DOG RUN
- 7. OVERHEAD CANTILEVER SHADE STRUCTURE AT OUTDOOR WORK SPACE
- 8. COMMUNAL STYLE SEATING
- 9. LOUNGE SEATING
- 10. CABANAS, TYP.
- 11. PLANTING AREA, TYP.
- 12. POOL DECK TILES
- 13. POOL DECK ENCLOSURE
- 14. OVERHEAD STRING LIGHTS
- 15. OUTDOOR DINING--2 TOPS, 4 TOPS, AND COMMUNITY TABLE

KEYMAP HOLLYWOOD BLVD. BLDG 7 (E) BLDG 8 (E) BUILDING 6

REVISIONS

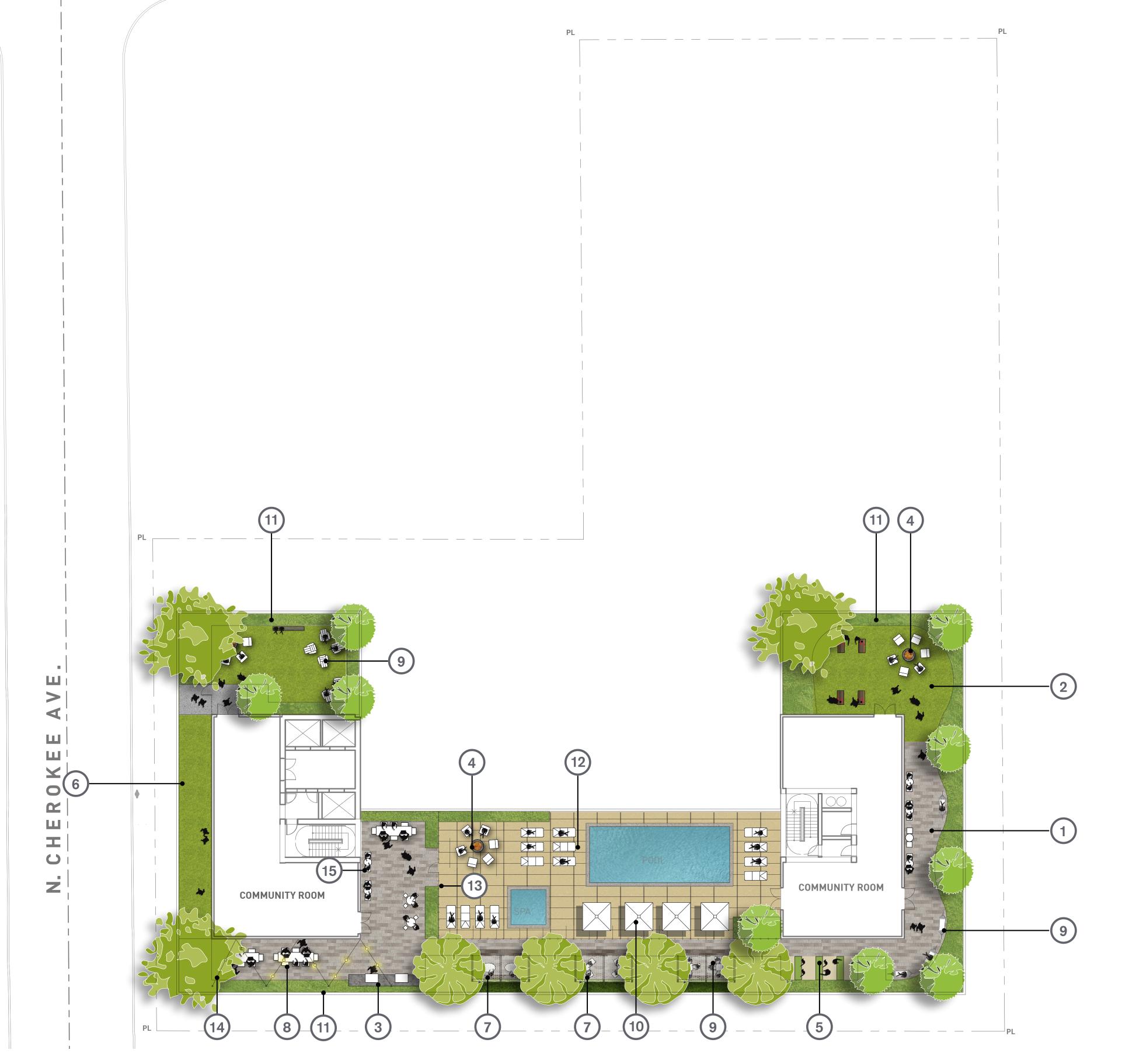
BUILDING 6 LEVEL 13 ROOF DECK ILLUSTRATIVE PLAN

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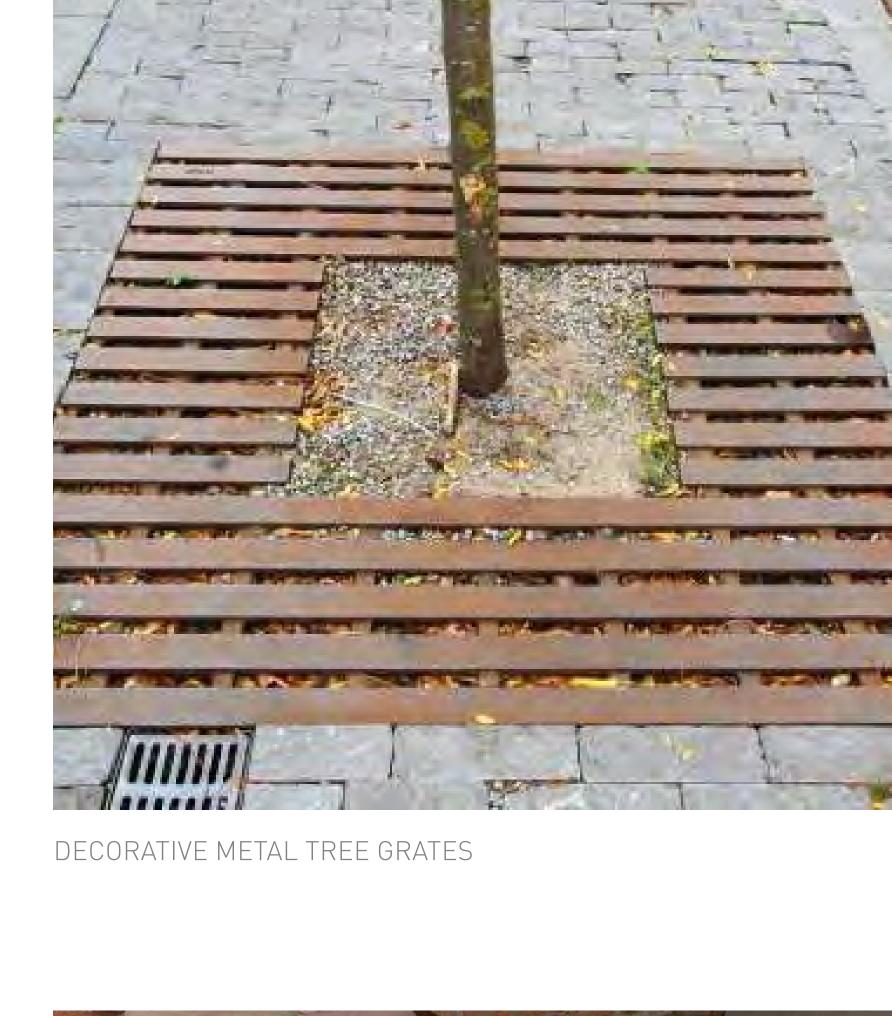
BUILDING 6-LEVEL 13 ROOF DECK ILLUSTRATIVE PLAN | 1



BRICK PAVING

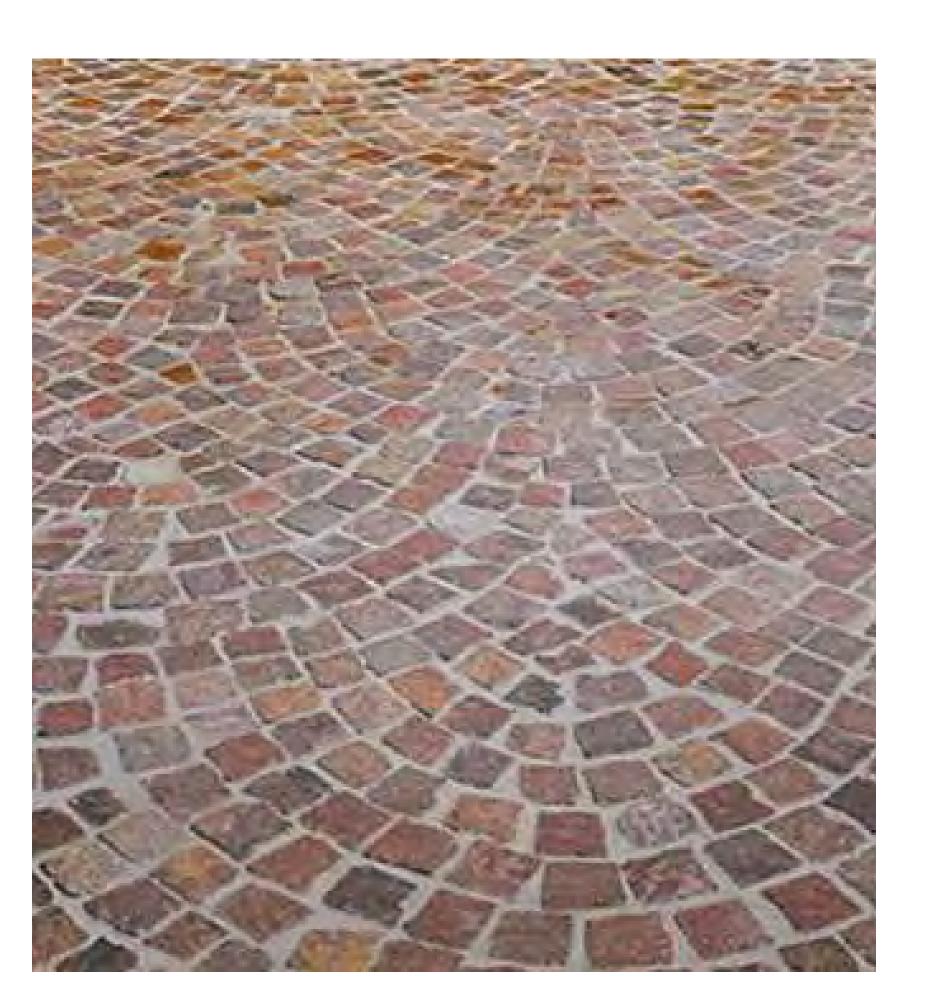


HEXAGONAL TILE





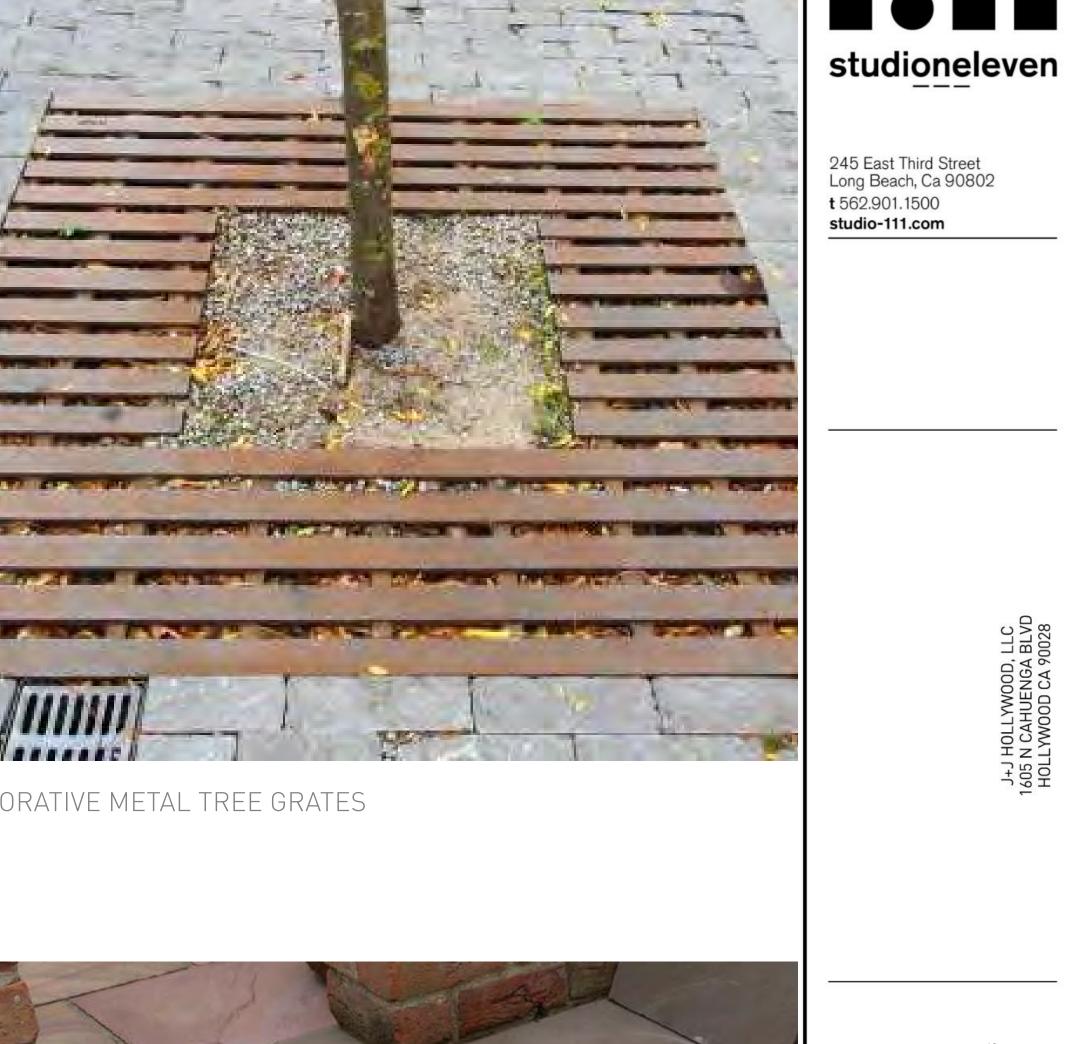
GRANITE/ COBBLE PAVING (VARYING COLORS AND SIZES)



COBBLE FAN PAVING PATTERN



COLORED CONCRETE PAVERS

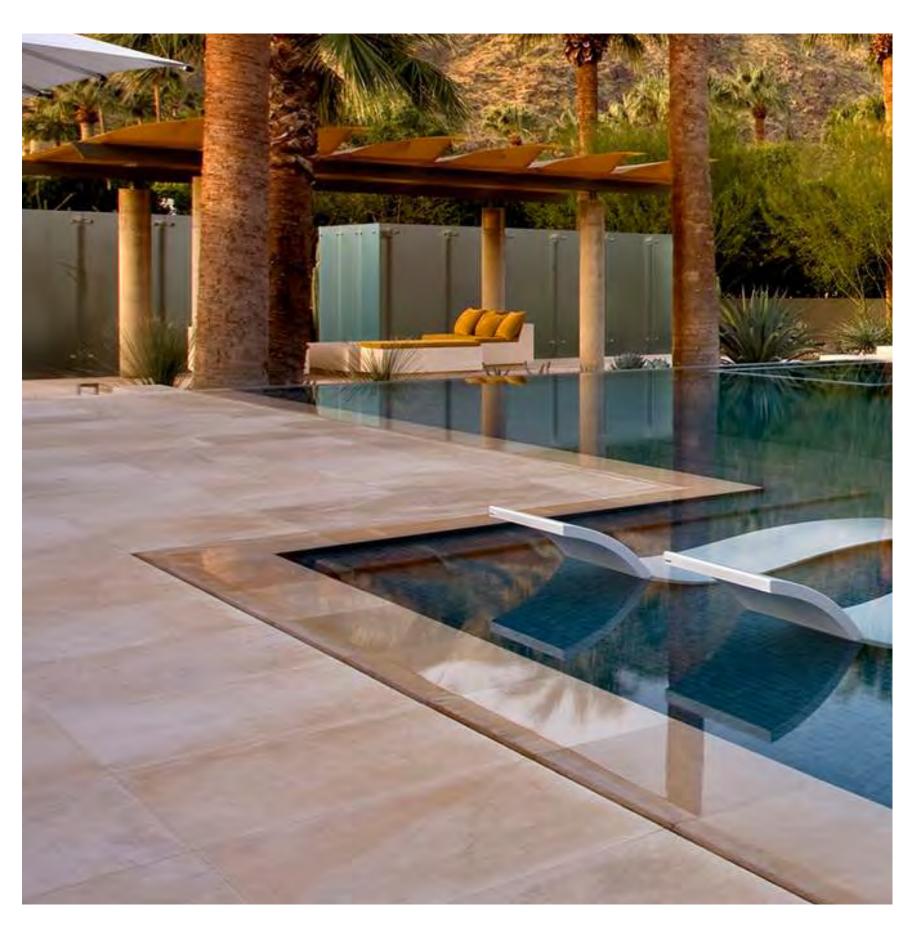


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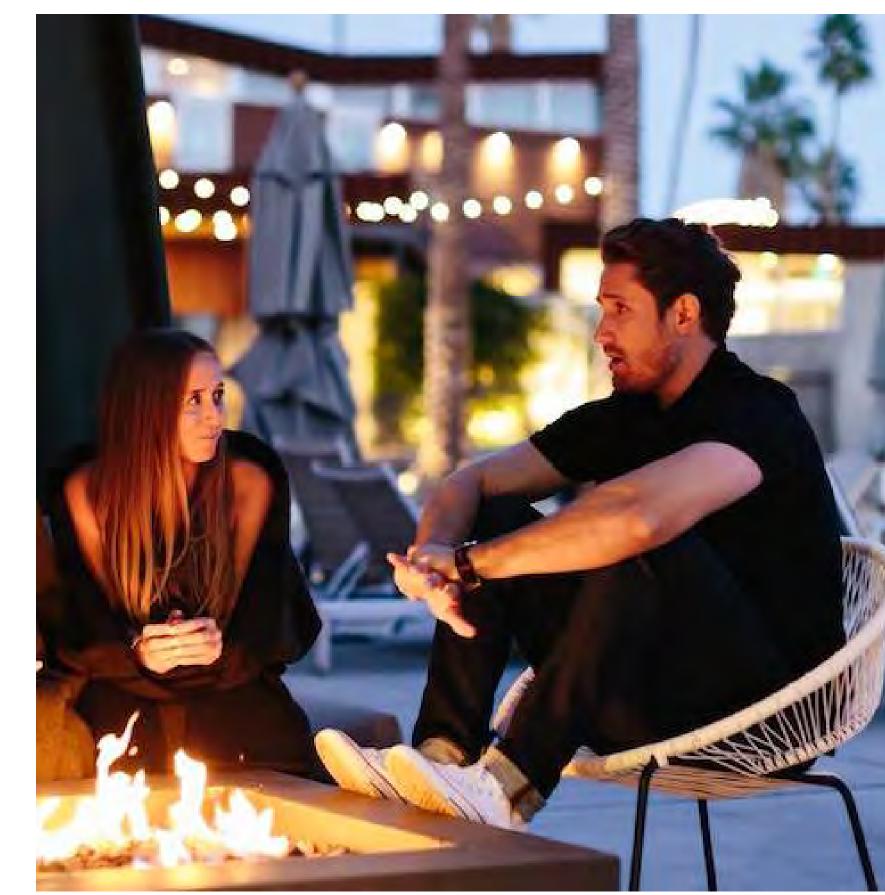
GROUND LEVEL LANDSCAPE MATERIALS PALETTE



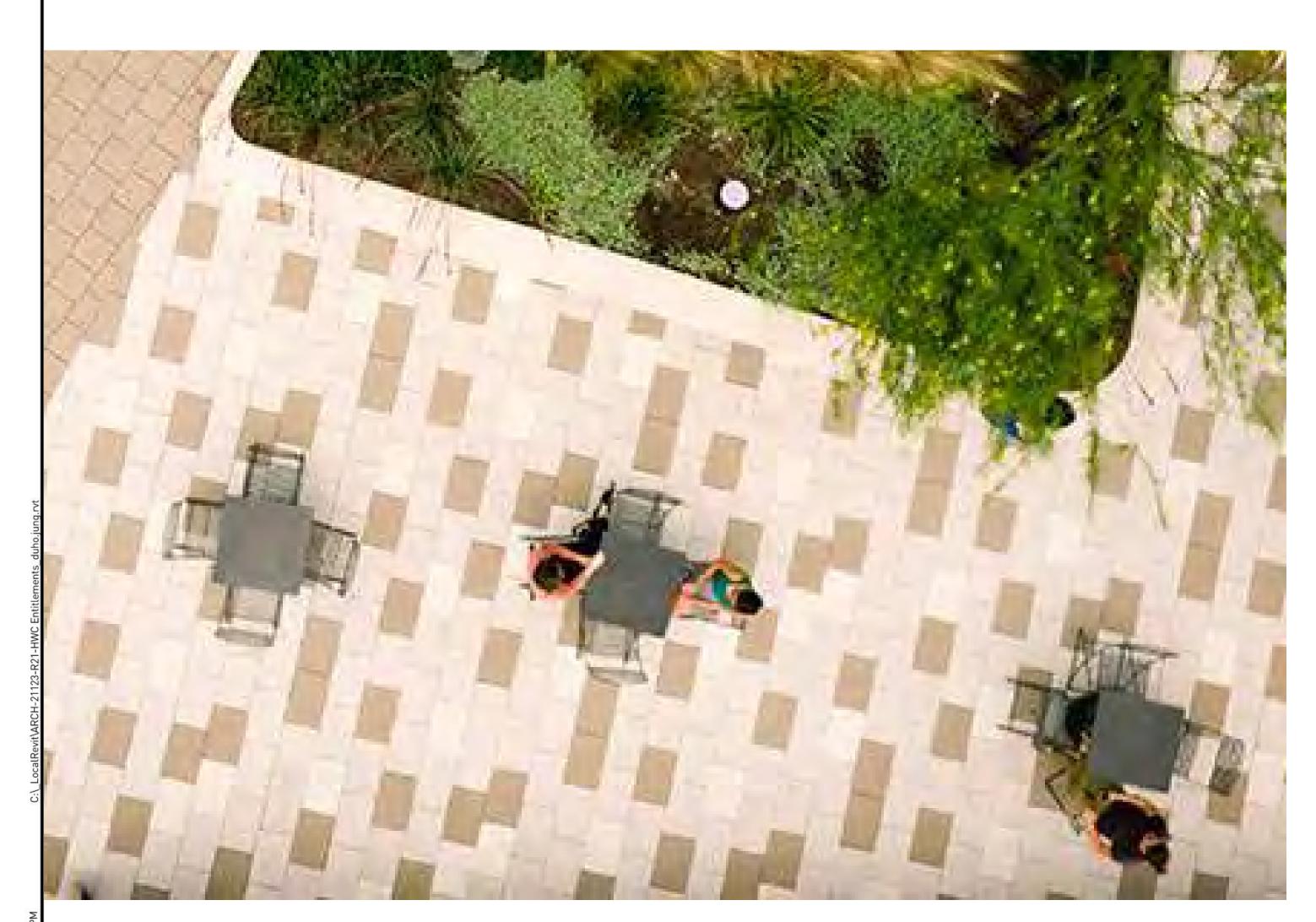
ARTIFICIAL TURF FLEX SPACE



POOL DECK PAVER



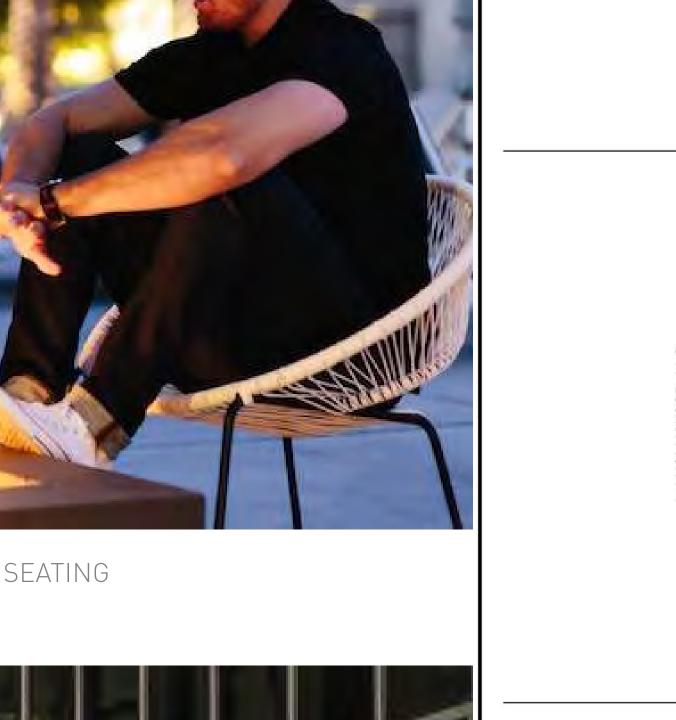
METAL FIREPITS AND LOUNGE SEATING



COLORED CONCRETE PAVERS



CANTILEVER SHADE STRUCTURE WORKSAPCE



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DOOE	DECK
	SCAPE
	RIALS
PALI	ETTE



ARBUTUS MARINA STRAWBERRY TREE



BAUHINIA × BLAKEANA HONG KONG ORCHID TREE



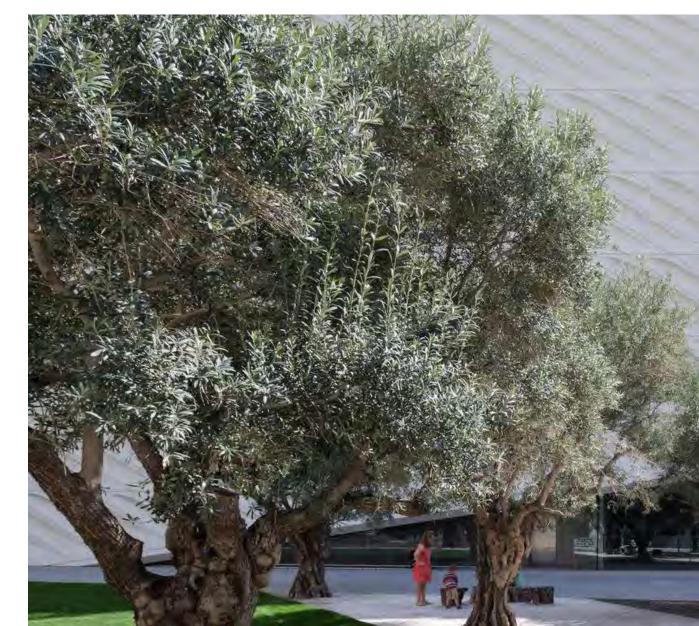
CERCIS OCCIDENTALIS WESTERN REDBUD



GLEDITSIA TRIACANTHOS 'SHADEMASTER SHADEMASTER HONEY LOCUST



PLATANUS X ACERFOLIA LONDON PLANE TREE



OLEA EUROPAEA 'SWAN HILL' SWAM HILL OLIVE



PYRUS CALLERYANA 'CAPITAL' CAPITAL CALLERY PEAR



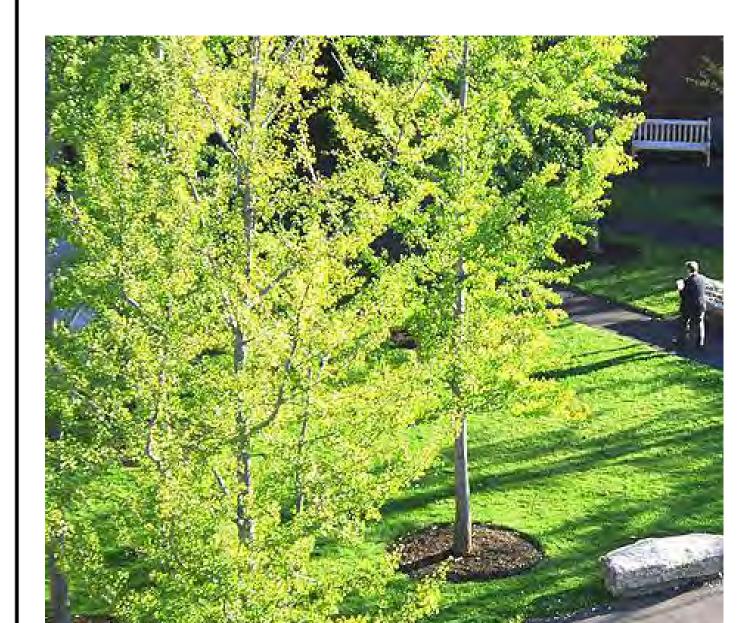
TIPUANA TIPU TIPU TREE



ARCHONTOPHOENIX CUNNINGHAMIANA KING PALM



WASHINGTONIA FILIFERA CALIFORNIA FAN PALM



GINKGO BILOBA (MALE) MAIDENHAIR TREE



FICUS SPECIES
FIG TREE SPECIMEN

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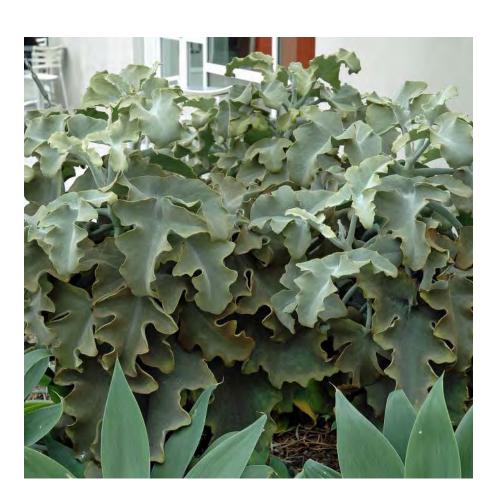
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> J+J HOLLYWOOD, LLC 1605 N CAHUENGA BLVI HOLLYWOOD CA 90028

HOLLYWOOD CENTRAL
SITE 2 DEVELOPMENT

LANDSCAPE TREE PALETTE

BAMBUSA MULTIPLEX 'ALPHONSE KARR' ARCTOSTAPHYLOS 'PACIFIC MIST' ALPHONSE KARR BAMBOO (SCREEN/HEDGE)



KALANCHOE BEHARENSIS VELVET ELEPHANT EAR

MANZANITA



PACHYCEREUS MARGINATA FENCE POST CACTUS



KALANCHOE BEHARENSIS VELVET LEAF FELT PLANT



PENNISETUM SPATHIOLATUM SLENDER VELDT GRASS



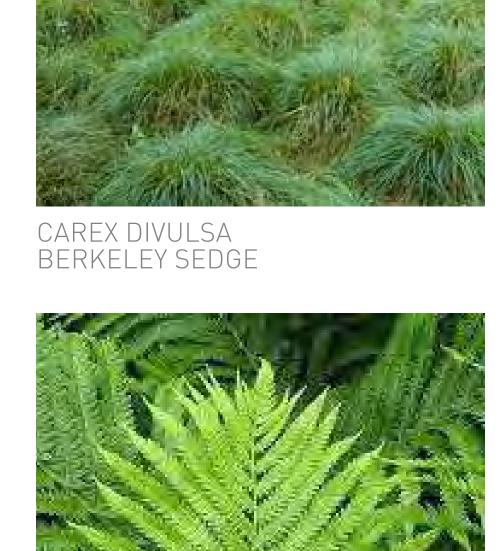
LOMANDRA LONGIFOLIA 'PLANTINUM BEAUTY' PLATINUM BEAUTY LOMANDRA



AEONIUM ARBOREUM 'ELECTRA' 'ELECTRA' PURPLE AEONIUM



PHILODENDRON 'XANADU' XANADU PHILODENDRON





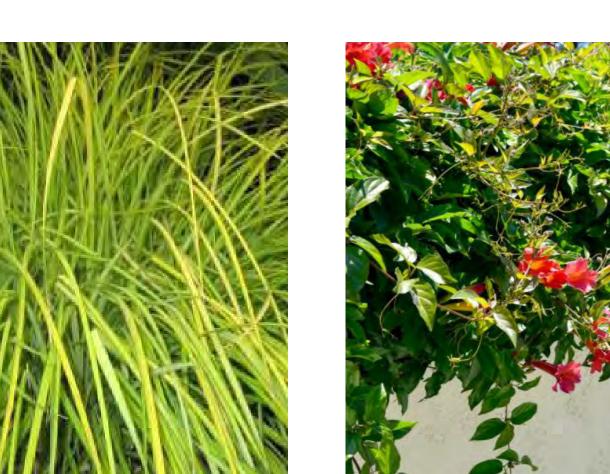
AEONIUM URBICUM SAUCER PLANT

DIANELLA REVOLUTA 'LITTLE REV' LITTLE REV FLAX LILY



CISSUS ANTARCTICA KANGAROO VINE







DRACAENA MARGINATA DRAGON TREE

THE ABOVE PLANTS ARE A SELECTION OF WHAT MAY BE IN INCLUDED ON THE FINAL PROJECT PLANTING PLAN.



DRACEANA DRACO DRAGON TREE



CRASSULA OVATA 'TRICOLOR'

ALOE ARBORESCENS TORCH ALOE



MATTEUCCIA STRUTHIOPTERIS

OSTRICH FERN

CAREX FLACCA BLUE SEDGE



CAREX AUREA GOLDEN SEDGE

LANDSCAPE **PLANTING PALETTE**

DISTICTIS BUCCINATORIA TRUMPET VINE

REVISIONS

studioneleven

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T: (626) 408-8006 F: (602) 254-6280

HERITAGE info@chronicleheritage.com

LOS ANGELES, CALIFORNIA

55 East Huntington Drive, Suite 238 Arcadia, California 91006

January 5, 2024

Tony Locacciato, AICP Partner
Meridian Consultants
860 Hampshire Road, Suite P
Westlake Village, CA 93161
Transmitted via email to tlocacciato@meridianconsultantsllc.com

RE: Desktop Cultural Resource Inventory in Support of the Hollywood Central Project, City of Hollywood, Los Angeles County, California

Dear Tony Locacciato,

At the request of Meridian Consultants, Chronicle Heritage, LLC (Chronicle Heritage), dba PaleoWest, LLC, conducted a desktop cultural resource inventory for the Hollywood Central Project (Project), in the city of Hollywood, Los Angeles County, California. The desktop cultural resource inventory consisted of a records search of the California Historical Resources Information System (CHRIS), as well as a historical map, aerial photograph, Bureau of Land Management (BLM) General Land Office (GLO) record review, and review of the draft Historic Resources Technical Report (Historic Resources Group [HRG] 2022) already prepared for the Project. Also included are the results of a Sacred Lands File (SLF) search conducted for the Project. This memorandum summarizes the results of the cultural resource inventory efforts for the Project.

Project Location and Description

The proposed Project would develop a mixed-use commercial and residential project on two sites located on either side of Cherokee Avenue between Hollywood Boulevard and Selma Avenue in Hollywood (Exhibit A, Figure 1). Specifically, the Project Site is located within Township 1 South, Range 14 West of an unsectioned area of the La Brea Land Grant on the Hollywood, California U.S. Geological Survey (USGS) 7.5-minute quadrangle map (Exhibit A, Figure 2). The Project is a mixed-use commercial and residential project proposed within four existing buildings that would remain and four new buildings. The Project would include 42,404 square feet of new retail or restaurant uses, 30,488 square feet of new office uses, 24,924 square feet of existing building space would be reused or remain as retail or restaurant uses, 14,290 square feet of existing building space would be reused or remain as office uses, and 633 multi-family residential units. As proposed, the Project includes the demolition of three existing buildings, the retention of four existing buildings, two of which will be partially demolished and altered, and the construction of four new buildings. the two buildings to be partially demolished will be altered at the rear of the buildings only.



CHRIS Records Search

The CHRIS records search was conducted on December 11, 2023, by Chronicle Heritage Associate Archaeologist Lindsay Porras, M.A., RPA, at the South Central Coastal Information Center housed at California State University, Fullerton. The records search included the Project Site, as well as a 0.5-mile (mi) buffer area (Exhibit A, Figure 3). The purpose of the records search was to identify any known cultural resources in the immediate vicinity of the Project Site. The search also included a review of the Office of Historic Preservation (OHP) Archaeological Determination of Eligibility and the Office of Historic Preservation Built Environment Resources Directory.

The records search indicated that 49 previous cultural resource studies have been conducted within 0.5 mi of the Project Site since 1983 (Table 1). Of the 49 previous studies, none intersect or include the Project Site.

Table 1. Previous Cultural Studies Recorded in the Study Area

Report No.	Date	Author(s)	Title
LA-01578	1983	Anonymous	Technical Report Archaeological Resources Los Angeles Rapid Rail Transit Project Draft Environmental Impact Statement and Environmental Impact Report
LA-01968	1989	Bissell, Ronald M.	Cultural Resources Literature Review of Metro Rail Red Line Western Extension Alternatives, Los, Angeles, Los Angeles County, California
LA-03319	1995	Foster, John M.	Archaeological Investigations at Highland/Hollywood Station
LA-03496		Anonymous	Draft Environmental Impact Report Transit Corridor Specific Plan Park Mile Specific Plan Amendments
LA-03682	1997	Romani, Gwendolyn R.	Results of Phase 1 Archaeological Survey Located on the North Side of Yucca Street, Between North Las Palmas Avenue and North Cherokee Avenue, Hollywood, Los Angeles County, California
LA-04575	1999	Duke, Curt	Cultural Resource Assessment for Pacific Bell Mobile Services Facility LA 455-02, County of Los Angeles, California
LA-04580	1999	Duke, Curt	Cultural Resource Assessment for the AT&T Wireless Services Facility Number 633.2, County of Los Angeles, California
LA-04909	2000	Atchley, Sara M.	Cultural Resources Investigation for the Nextlink Fiber Optic Project, Los Angeles and Orange Counties, California
LA-05070	2000	Sylvia, Barbara	Negative Archaeological Survey Report: 20290k
LA-05095	1999	McKenna, Jeanette A.	Descriptive and Historical Date Photographic Record, and Floor Plans Pertaining to the "Tav Celebrity Theater" Complex, Hollywood, Los Angeles County, California

LA-05329	2000	Sylvia, Barbara	Negative Archaeological Survey Report: 07-LA-170- 16.41/17.41-07-174-189701, Route 170 Pavement Replacement
LA-05332	2000	Sylvia, Barbara	Negative Archaeological Survey Report:07-LA-101-12.1/12.4-07-174-111571, Soundwalls Both Sides of Route 101 Between Cahuenga Blvd. & Odin St. in Hollywood
LA-06400	2000	Mason, Roger D.	Cultural Resources Survey Report for an AT&T Wireless Services Telecommunications Facility: Cell Site La Brea/Franklin (R297.2) in the City of Hollywood, Los Angeles County, California
LA-06409	2002	Marvin, Judith, and Curt Duke	Cultural Resource Assessment AT&T Wireless Services Facility No. C884 Los Angeles County, California
LA-06412	2001	Mason, Roger D.	Cultural Resources Record Search and Literature Review Report for a Verizon Wireless Telecommunications Facility: Cell Site Franklin (991100291) in the City of Los Angeles, Los Angeles County, California
LA-06434	1999	Starzak, Richard	NHPA Section 106 Review, Per FCC Direction, of AT&T Wireless Services Wireless Communication Facility, Microcell Site R042.4, Located at 6777 Hollywood Boulevard, Los Angeles, California
LA-06443	2000	Mason, Roger D.	Proposed AT&T Wireless Services Facility La Brea/franklin (r297.2) in the City of Hollywood, Los Angeles County, California
LA-06464	2003	Duke, Curt	Cultural Resource Assessment Cingular Wireless Facility No. SM 178-03 City and County of Los Angeles, California
LA-06812	2002	Dice, Michael H.	Records Search Results for Bechtel Communications Facility 6lad490 (kodak Theatre) 6801 Hollywood Boulevard, Los Angeles, Los Angeles County, California
LA-06813	2002	Dice, Michael H.	Results of Historic Architecture Assessment and Visual Impact Assessment for Bechtel Communications Facility D485 (Hollywood and Orange), 7036 Hollywood Boulevard, Los Angeles, Los Angeles County, California
LA-07352	2002	Kyle, Carolyn E.	Cultural Resource Assessment for Cingular Wireless Facility Sm178-02 City of Los Angeles, Los Angeles County, California
LA-07562	1987	Greenwood, Roberta S.	Additional Information for Dseis, Core Study Alignments 1, 2, 3, 4, and 5
LA-07564	1998	Greenwood, Roberta S.	Archaeological Status Report: Collections and Reports

		1	
LA-07565	1987	Unknown	Technical Report Archaeology Los Angeles Rail Rapid Transit Project "Metro Rail" Core Study, Candidate Alignments 1 to 5
LA-07566	1987	Hatheway, Roger G. and Kevin J. Peter	Technical Report Dseis, Core Study Alignments 1, 2, 3, 4, and 5
LA-07992	2002	McKenna, Jeanette A.	Results of an Archaeological and Paleontological Monitoring Program at the Site of the "Tav Celebrity Theatre" Complex, Hollywood, Los Angeles County, California
LA-08000	2002	Dice, Michael H.	Records Search Results for Bechtel Communications Facility 6LAD485 (Hollywood and Orange), 7036 Hollywood Boulevard, Los Angeles, Los Angeles County, California
LA-08016	1994	Slawson, Dana N.	Cultural Resources Technical Report Land Use History and Archaeological Evaluation Metro Rail Redline, Segment 3 Hollywood/Highland Station
LA-08020	1987	Anonymous	Technical Report: Cultural Resources Los Angeles Rail Rapid Transit Project "Metro Rail" Core Study
LA-08251	2004	Gust, Sherri, and Heather Puckett	Los Angeles Metro Red Line Project, Segments 2 and 3 Archaeological Resources Impact Mitigation Program Final Report of Findings
LA-09405	2008	Wlodarski, Robert J.	Proposed Bechtel Wireless Telecommunications Site (ESS Storage), Located At 1860 Vine St., Los Angeles, California 90028
LA-09549	2008	Bonner, Wayne H., and Kathleen A. Crawford	Cultural Resources Records Search and Site Visit Results for T-Mobile USA Candidate SV11692A (Formosa Hollywood), 1519 North McCadden Place, Los Angeles, Los Angeles County, California
LA-09550	2008	Bonner, Wayne H., and Kathleen A. Crawford	Direct APE Historic Architectural Assessment for T-Mobile USA Candidate SV11692A (Formosa Hollywood), 1519 North McCadden Place, Los Angeles County, CA.
LA-10149	2009	Stewart, Noah M.	Finding of No Adverse Effect: US 101 from Alameda Street Underpass to Barham Boulevard Overcrossing
LA-10507	1983	Anonymous	Technical Report - Historical/Architectural Resources - Los Angeles Rail Rapid Transit Project "Metro Rail" Draft Environmental Impact Statement and Environmental Impact Report
LA-10679	2010	Bonner, Wayne H., and Kathleen A. Crawford	Cultural Resources Records Search and Site Visit Results for T-Mobile USA Candidate SV11673-C (Hollywood High Rise), 7080 Hollywood Boulevard, Los Angeles, Los Angeles County, California
LA-10770	2005	Chasteen, Carrie	Historic Assessment 7045 and 7051 Lanewood Avenue, Los Angeles, CA 90028
LA-10916	2011	Bonner, Wayne	Cultural Resources Records Search and Site Visit Results for AT&T Mobility, LLC, Telecommunications

			Facility LAC633-01, USID 11760 (Cahuenga/Sunset), 6515 West Sunset Boulevard, Los Angeles, Los Angeles County, California
LA-11005	2010	Unknown	Westside Subway Extension Historic Property Survey Report and Cultural Resources Technical Report
LA-11206	2010	Supernowicz, Dana E.	Cultural Resources Study of the Kodak Theatre Project, AT&T Site No. LAC903, 6801 Hollywood Boulevard, Los Angeles, Los Angeles County, California 90028
LA-11225	2011	Shannon, Loftus	Cultural Resource Records Search and Site Survey, Clearwire Site CA-LOS4750A, 1519 (1523) North McCadden Place, Los Angeles, Los Angeles County, California 90028
LA-11783	2012	Stewart, Noah, and Noah Allison	Supplemental Finding of No Adverse Effect, Upgrade Bridge Rails in L.A. County on Highway 101
LA-11797	2010	Chattel, Robert	Historic Resources Survey Hollywood Redevelopment Project Area
LA-11992	2009	Stewart, Noah	Findings of No Adverse Effect, Upgrade Bridge Rails in L.A. County om Highway 101
LA-12151	2012	Bonner, Wayne H., and Kathleen A. Crawford	Cultural Resources Records Search and Site Visit Results for T-Mobile West, LLC Candidate SV00232A (SM178 Elevator Shaft Kodak), 1720-1/2 Orchid Avenue, Los Angeles, Los Angeles County, California
LA-12154	2012	Bonner, Wayne, and Kathleen Crawford	Cultural Resources Records Search and Site Visit Results for T-Mobile West, LLC Candidate SV11692A (Formosa Hollywood) 1519 North McCAdden Place, Hollywood, Los Angeles County, California
LA-12155	2012	Bonner, Wayne, and Kathleen Crawford	Cultural Resources Records Search and Site Visit Results for T-Mobile West, LLC Candidate LA03615E (Wilcox) 1557 Wilcox Avenue, Los Angeles, Los Angeles County, California
LA-12401	2013	Bonner, Wayne H., and Kathleen A. Crawford	Cultural Resources Records Search and Site Visit Results for AT&T Mobility, LLC Candidate LAC884 (Max Factor Building), 1666 North Highland Avenue, Los Angeles, Los Angeles County, California. CASPR No. 3551430053
LA-13072	2014	Bonner, Diane F., Carrie D. Wills, and Kathleen A. Crawford	Cultural Resources Records Search and Site Visit Results for AT&T Mobility, LLC Candidate LAC884 (Max Factor Building), 1666 North Highland Avenue, Los Angeles, Los Angeles County, California. CASPR No. 3551635020

The records search indicated that no fewer than 76 cultural resources have been previously documented within 0.5 mi of the Project area (Table 2). These resources include three historic period archaeological sites and 73 historic period built-environment resources. Eight of the built-

environment resources are historic districts. No prehistoric archaeological resources have been documented within the Project Site.

One historic district, the Hollywood Boulevard Commercial and Entertainment District (19-174178), includes a portion of the Project Site, and is described below, including discussion of contributing and non-contributing elements to this historic district within the Project Site.

Table 2. Cultural Resources Recorded within 0.5 mi of the Project Area

Primary No.	Trinomial	Туре	OHP Property Number	Description
19-002393	CA-LAN- 002393H	Site	-	Redwood-lined privy or well, possibly associated with the Hollywood Hotel
19-003302	CA-LAN- 003302H	Site	-	Refuse pit
19-003545	CA-LAN- 003545H	Site	_	TAV Celebrity Theater Complex; household refuse deposits and foundations
19-166802	_	Built	000002	Cecil B. DeMille Studio Barn (Relocated)
19-167089	-	Built	021030	Charlie Chaplin Studio and Home (Destroyed)
19-167094	-	Built	021036	Yamashiro Historic District; historic district
19-167177	_	Built	021121	Samuel Freeman House
19-167272	_	Built	021227	Guaranty Building
19-167273	-	Built	021228	Crossroads of the World
19-167374	-	Built	021340	Barbara Lamarr/Wesley Lau Home; Element of district 19-167483
19-167483	-	Built	021449	Whitley Heights Historic District; historic district
19-167544	-	Built	021513	Hollywood Walk of Fame
19-167554	-	Built	021525	Warner Theater Building; Element of district 19-174178
19-167559	-	Built	021530	Janes House; Element of district 19- 174178
19-167566	-	Built	021537	Shane Building; Element of district 19- 174178
19-167579	-	Built	021550	Bank of America; Element of district 19- 174178
19-167580	-	Built	021551	Lee Drug Co.; Element of district 19- 174178
19-167582	-	Built	021553	Hollywood Masonic Temple; Element of district 19-174178

19-167586	_	Built	021558	Hollywood Professional Building; Element
				of district 19-174178
19-167589	-	Built	021561	Trans America Video Building
19-167596	_	Built	021568	Max Factor Studio/Salon; Element of district 19-174178
19-167616	_	Built	021588	The Villa Bonita
19-168045	_	Built	025028	Marion Building
19-168050	_	Built	022023	Hollywood Citizens News Building
19-168051	_	Built	022024	U.S. Post Office
19-168059	-	Built	022032	7045 Lanewood Avenue; Element of district 19-168060
19-168060	_	Built	022033	7051 Lanewood Avenue; element of district 19-168060
19-168063	_	Built	022036	7000 Block of Lanewood Avenue; historic district
19-168068	-	Built	022041	Hollywood Reporter
19-168069	-	Built	022042	6683 Sunset Boulevard
19-168070	-	Built	022043	Blessed Sacrament School
19-168071	_	Built	022044	Blessed Sacrament Church
19-168073	_	Built	022046	6638 Sunset Boulevard
19-168074	_	Built	022047	Dr. Adams Medical Center
19-168076	_	Built	022049	Hollywood Athletic Club
19-168078	_	Built	022051	6600 Sunset Boulevard
19-168079	_	Built	022052	6528 Sunset Boulevard
19-168080	_	Built	022053	Hollywood Chamber of Commerce
19-168081	_	Built	022054	Pacific Cinerama
19-168451	_	Built	022426	1277 Wilcox Avenue
19-168608	_	Built	022583	6806 Hollywood Boulevard
19-169087	-	Built	023063	1100-1400 Blocks Orange Drive; historic district
19-169136	-	Built	023112	1443 Seaward Avenue; element of district 19-169139
19-169137	_	Built	023113	1446 Seward Avenue; element of district 19-169139
19-169138	_	Built	023114	1459 Seward Avenue; element of district 19-169139
19-169139	-	Built	023115	1100-1400 Seward Avenue; historic district

19-169285	_	Built	023261	Hollywood Fire Station
19-169287	-	Built	023263	Rudolph Valentino Memorial Fountain
19-169289	-	Built	023265	DeLongpre Park
19-169320	-	Built	023296	Montecito Apartments
19-169321	-	Built	023297	First Methodist Church & School Building
19-169323	-	Built	023299	El Cabrillo
19-169328	-	Built	023304	American Legion Post No. 43
19-169333	-	Built	023309	El Cadiz Apartments
19-169336	-	Built	023312	Whitley Court; historic district
19-170690	-	Built	024669	Leed's; element of district 19-174178
19-171016	-	Built	025010	Security Trust & Savings; element of district 19-174178
19-171017	-	Built	025011	Cahuenga Apartments
19-171029	-	Built	025024	Troupers
19-171030	_	Built	025025	Hollywood High School Auditorium; element of district 19-189990
19-171033	-	Built	025029	Dept of Water & Power
19-171036	_	Built	124935 025033	Avondale Apartments
19-173461	_	Built	027348	Highland-Camrose Bungalow Village; historic district
19-174178	-	Built	074407	Hollywood Boulevard Commercial and Entertainment District; historic district
19-174178	-	Built Built	074407 074474	1
				Entertainment District; historic district
19-174200	-	Built	074474	Entertainment District; historic district Vogue Theater
19-174200 19-175206	-	Built Built	074474 097298	Vogue Theater 6500 Yucca Street
19-174200 19-175206 19-186999	-	Built Built Built	074474 097298 115096	Vogue Theater 6500 Yucca Street Halifax Apartments
19-174200 19-175206 19-186999 19-187262	- - -	Built Built Built Built	074474 097298 115096	Entertainment District; historic district Vogue Theater 6500 Yucca Street Halifax Apartments 6500-6600 Leland Way
19-174200 19-175206 19-186999 19-187262 19-187937	- - - -	Built Built Built Built Built	074474 097298 115096	Entertainment District; historic district Vogue Theater 6500 Yucca Street Halifax Apartments 6500-6600 Leland Way Tick Tock Restaurant
19-174200 19-175206 19-186999 19-187262 19-187937 19-187939	- - - -	Built Built Built Built Built Built	074474 097298 115096	Entertainment District; historic district Vogue Theater 6500 Yucca Street Halifax Apartments 6500-6600 Leland Way Tick Tock Restaurant Mary Gross Residence
19-174200 19-175206 19-186999 19-187262 19-187937 19-187939 19-187940	- - - - -	Built Built Built Built Built Built Built Built	074474 097298 115096	Vogue Theater 6500 Yucca Street Halifax Apartments 6500-6600 Leland Way Tick Tock Restaurant Mary Gross Residence John De Keyser Residence
19-174200 19-175206 19-186999 19-187262 19-187937 19-187940 19-187941	- - - - -	Built Built Built Built Built Built Built Built Built	074474 097298 115096 022748 - -	Entertainment District; historic district Vogue Theater 6500 Yucca Street Halifax Apartments 6500-6600 Leland Way Tick Tock Restaurant Mary Gross Residence John De Keyser Residence Pierre De Keyser Residence
19-174200 19-175206 19-186999 19-187262 19-187937 19-187940 19-187941 19-188458	- - - - - -	Built	074474 097298 115096 022748 - - - 132767	Entertainment District; historic district Vogue Theater 6500 Yucca Street Halifax Apartments 6500-6600 Leland Way Tick Tock Restaurant Mary Gross Residence John De Keyser Residence Pierre De Keyser Residence Formosa Hollywood Apartment Building
19-174200 19-175206 19-186999 19-187262 19-187937 19-187940 19-187941 19-188458 19-189954	- - - - - - -	Built	074474 097298 115096 022748 - - - - 132767	Entertainment District; historic district Vogue Theater 6500 Yucca Street Halifax Apartments 6500-6600 Leland Way Tick Tock Restaurant Mary Gross Residence John De Keyser Residence Pierre De Keyser Residence Formosa Hollywood Apartment Building AT&T LAC633 LTE/Cahuenga/Sunset Hollywood High School Historic District;

Note: The bolded entry indicates the resource is partially within the Project area.

19-174178 Hollywood Boulevard Commercial and Entertainment District

The Hollywood Boulevard Commercial and Entertainment District encompasses an approximately 12-block commercial area initially developed between 1915 and 1939 and associated with the Golden Age of Hollywood. It includes well-known landmarks, such as the Hollywood Walk of Fame, Grauman's Chinese Theatre, and the Pantages Theatre. The district footprint contains 102 contributing buildings and 96 non-contributing buildings according to the district's National Register of Historic Places (NRHP) nomination form (McAvoy 1984). The district was listed in the NRHP in 1985.

Only a small portion of the Hollywood Boulevard Commercial and Entertainment District overlaps the Project Site. Two buildings within the Project Site are within the footprint of the district: 6630 Hollywood Boulevard, which is a contributing element of the district, and 6626 Hollywood Boulevard, which is a non-contributing element. Both buildings, along with other elements of the Hollywood Boulevard Commercial and Entertainment District in the Project vicinity, are described and evaluated in the Historic Resources Technical Report prepared for the Project by HRG (HRG 2022), which is summarized below.

Historic Resources Technical Report (HRG 2022)

A Historic Resources Technical Report (HRG 2022) has been prepared for the Project and was reviewed by Chronicle Heritage as part of this Cultural Resources Inventory. The Historic Resources Technical Report identifies two historical resources within the Project area: the building at 1618 North Las Palmas Avenue, designated as Los Angeles Historic-Cultural Monument No. 1114, and the building at 6630-6636 Hollywood Boulevard, which is listed in the NRHP as a contributor (No. 74) to the Hollywood Boulevard Commercial and Entertainment District. HRG evaluated the potential impacts of the Project as planned to both buildings.

The building at 1618 North Las Palmas Avenue (LACHM No. 1114) will be retained as part of the current Project, with no changes to its exterior appearance or function. The only potential impact to the building relates to its integrity of setting, owing to the construction of new buildings in the vicinity. HRG concluded that no significant impacts to the resource would occur as a result of Project development.

The building at 6630-6636 Hollywood Boulevard will be partially demolished and some of its interior features altered for new uses. Only the rear of the building, which faces away from Hollywood Boulevard, will be altered. HRG concluded that the proposed alterations to the building are consistent with National Park Service guidance for undertaking alterations to rear façades, and that, as altered, the building will retain sufficient integrity to remain a contributing element of the Hollywood Boulevard Commercial and Entertainment District. HRG concluded that no significant impacts to the resource would occur as a result of Project development.

Historic Map and Aerial Imagery Review

Chronicle Heritage conducted a review of historical topographic maps and aerial photographs of the Project area. Historical topographic maps that were reviewed included Los Angeles, California (1894, 1900)) 15-minute; Santa Monica, California (1896, 1898, 1902, 1921) 15-minute; Burbank, California (1926, 1948) 7.5-minute; and Hollywood, California (1953, 1966, 1972, 1981) 7.5-minute

USGS quadrangle. Aerial images from 1948, 1952, 1954, 1964, 1972, 1977, 1980, 1992, 2000, 2005, 2010, and 2020 were reviewed (NETROnline 2023).

The review of the historical topographic maps and aerial imagery indicates that Hollywood was an established city by 1894, though no specific development is shown in the Project area or immediate surrounds. By 1926, Hollywood Boulevard, along the north edge of the Project area, was highly developed, with buildings depicted along both the north and south sides, though not within the small section of the Project area that fronts Hollywood Boulevard. Less development is depicted in the southern portions of the Project area, though two small buildings are depicted east of Cherokee Avenue and one long building is depicted west of Cherokee Avenue. By 1948, when the first aerial images of the area are available, topographic maps no longer depict individual buildings in the area, with the exception of the Selma Street School southeast of the Project area. The imagery shows the Project area fully developed, with buildings and parking lots already established in approximately the same configuration. Minor changes and alterations may have occurred, but the resolution of the aerial imagery is not sufficient to establish specifics.

A review of BLM GLO records indicates one serial patent are associated with the parcels that comprise the Project area (BLM 2023). The Project area falls within the 4,483-acre La Brea Land Grant of 1851. This patent was issued to Josepha Jordan, Antonio Jose Rocha, and Jose Jorge Rocha.

Native American Heritage Commission Sacred Lands File Search

Meridian Consultants requested an SLF search from the Native American Heritage Commission (NAHC) to determine if sensitive Native American resources have been previously documented within or near the Project area. The NAHC sent a response on December 14, 2023 (provided in Attachment 1), indicating that the search was negative for Native American resources. Included with the response was a list of Native American tribes who may have knowledge of cultural resources in the area the Project site is located in. The NAHC recommends contacting the listed tribes for a more complete understanding of resources that may be impacted by the Project.

Summary

The CHRIS records search identified one previously documented cultural resource within the Project area, the Hollywood Boulevard Commercial and Entertainment District. This large district overlaps the northernmost portion of the Project area, including two buildings: 6630 Hollywood Boulevard (Cherokee Building—Addition), and 6626 Hollywood Boulevard (The Orient). Neither of these built-environment resources was individually identified by the records search. Additionally, HRG (2022) identified two historic resources within the Project area. The building at 1618 North Las Palmas Avenue, known as the Redwine Building, is designated as Los Angeles Historic-Cultural Monument No. 1114. The building at 6630–6636 Hollywood Boulevard is listed in the NRHP as a contributor (No. 74) to the Hollywood Boulevard Commercial and Entertainment District.

HRG evaluated the potential impacts of the Project as planned to the buildings at 1618 North Las Palmas Avenue (LACHM No. 1114) and 6630-6636 Hollywood Boulevard and concluded that no significant impacts to the resources would occur as a result of Project development. HRG also considered how Project construction could impact the Hollywood Boulevard Commercial and

Entertainment District through alterations to the buildings at 6630 and 6626 Hollywood Boulevard. HRG concluded that no significant impacts to the resources would occur as a result of Project development. Chronicle Heritage concurs with the assessment by HRG that no significant impacts to the resources would occur as a result of Project development and does not recommend any further cultural resources management at this time.

A search of the SLF from the NAHC was requested for the Project. The results of the search were negative, though the NAHC recommended conducting outreach to local tribes to determine if sensitive Native American resources are in the Project area.

In the unlikely event that potentially significant cultural resources are encountered during construction activities associated with the Project, a qualified archaeologist should be retained to assess the significance of the find in accordance with the criteria set forth in the California Register of Historical Resources and/or the NRHP, as appropriate. In addition, Health and Safety Code 7050.5, California Environmental Quality Act 15064.5(e), and Public Resources Code 5097.98 mandate the process to be followed in the unlikely event of an accidental discovery of any human remains in a location other than a dedicated cemetery.

It has been a pleasure working with you on this Project. If you have any questions, please do not hesitate to contact the Project Manager at jvyhmeister@chronicleheritage.com.

Sincerely,

Chronicle Heritage

Log J. Nyhmeister

Joy Vyhmeister, M.A., RPA | Senior Archaeologist/Team Lead

References

Bureau of Land Management (BLM)

2023 GLO records for Township 1 South, Range 14 West. Accessed online on December 12, 2023.

Historic Resources Group (HRG)

Draft Hollywood Central Historic Resources Technical Report. Prepared for Gonzales Law Group, 800 Wilshire Boulevard, Suite 860, Los Angeles, California 90071.

McAvoy, Christy Johnson

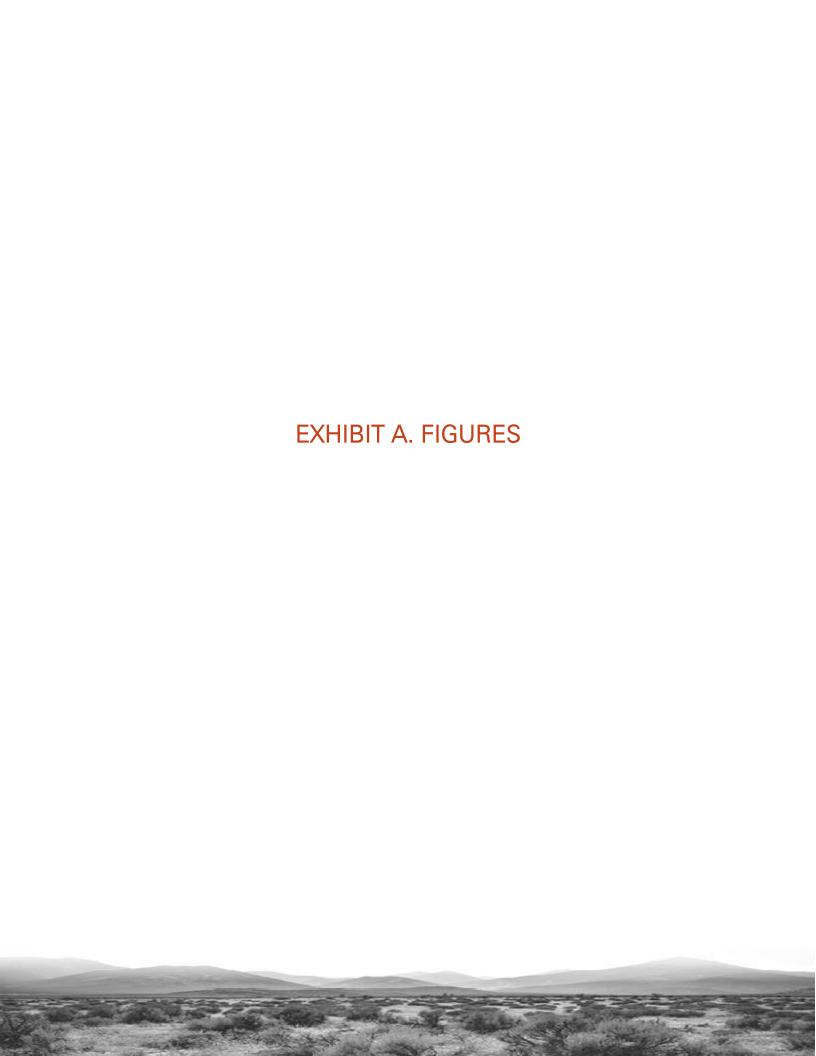
1984 National Register of Historic Places Inventory Nomination Form for the Hollywood Boulevard Commercial and Entertainment District P-19-174178. On file at the SCCIC, California State University, Fullerton.

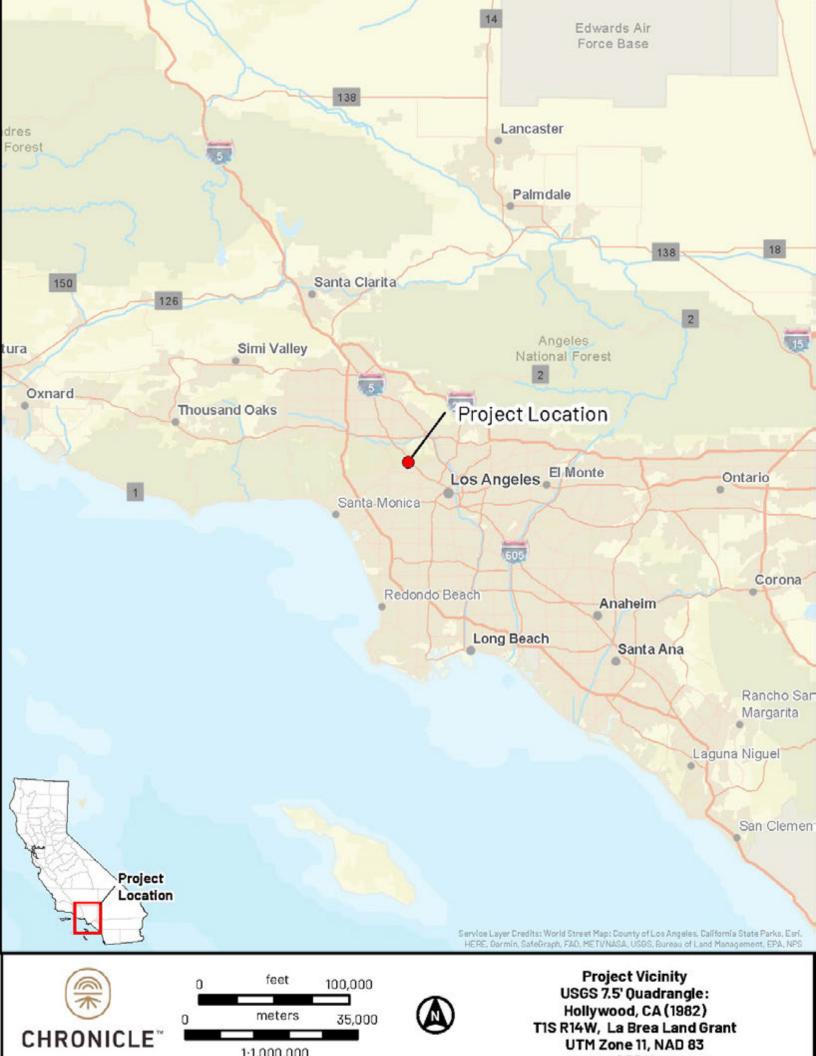
NETROnline

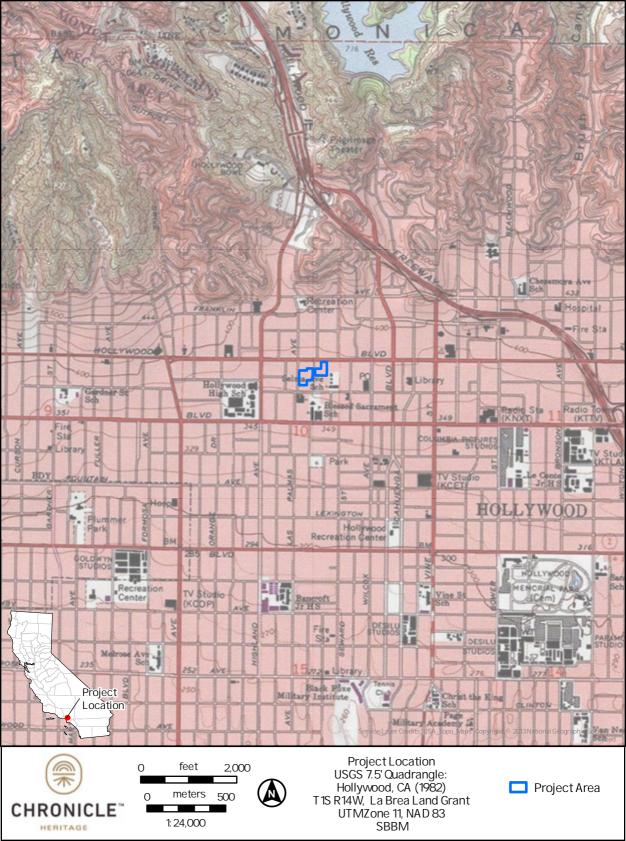
2023 Historic Aerials 1948, 1952, 1954, 1964, 1972, 1977, 1980, 1992, 2000, 2005, 2010, and 2020. https://www.historicaerials.com/viewer.

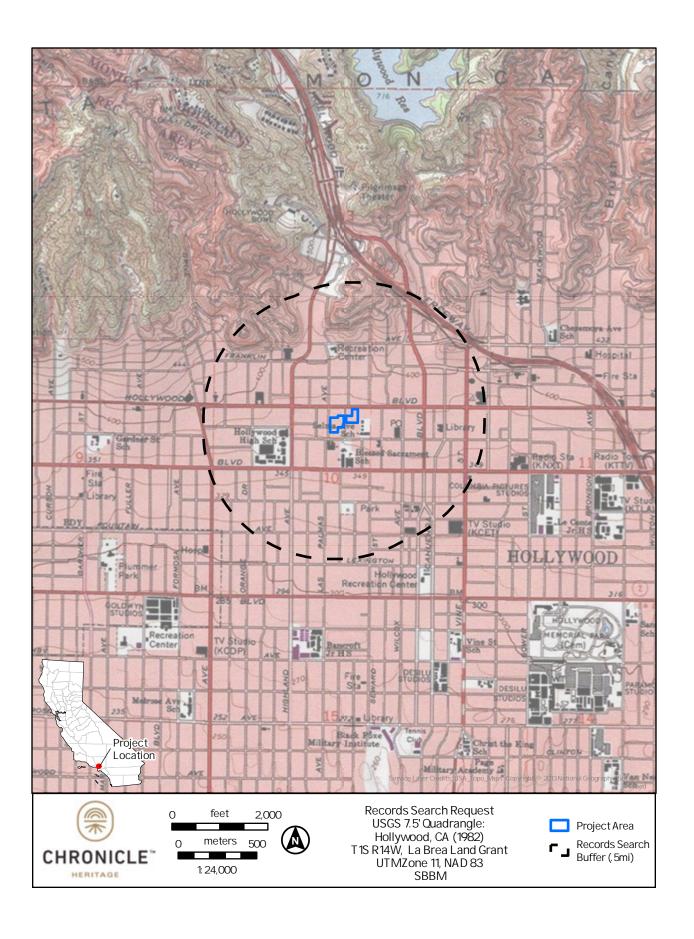
U.S. Geological Survey (USGS)

- 1894 Los Angeles, California. 15-minute (1:62,500 scale) topographic quadrangle.
- 1896 Santa Monica, California. 15-minute (1:62,500 scale) topographic quadrangle.
- 1898 Santa Monica, California. 15-minute (1:62,500 scale) topographic quadrangle.
- 1900 Los Angeles, California. 15-minute (1:62,500 scale) topographic quadrangle.
- 1902 Santa Monica, California. 15-minute (1:62,500 scale) topographic quadrangle.
- 1921 Santa Monica, California. 15-minute (1:62,500 scale) topographic quadrangle.
- 1926 Burbank, California. 7.5-minute (1:24,000 scale) topographic quadrangle.
- 1948 Burbank, California. 7.5-minute (1:24,000 scale) topographic quadrangle.
- 1953 Hollywood, California. 7.5-minute (1:24,000 scale) topographic quadrangle.
- 1966 Hollywood, California. 7.5-minute (1:24,000 scale) topographic quadrangle.
- 1972 Hollywood, California. 7.5-minute (1:24,000 scale) topographic quadrangle.
- 1981 Hollywood, California. 7.5-minute (1:24,000 scale) topographic quadrangle.











NATIVE AMERICAN HERITAGE COMMISSION

December 14, 2023

Michael Levi Meridian Consultants

Via Email to: <u>mlevi@meridianconsultantsllc.com</u>

Re: Hollywood Central Project, Los Angeles County

Dear Mr. Levi:

A record search of the Native American Heritage Commission (NAHC) Sacred Lands File (SLF) was completed for the information you have submitted for the above referenced project. The results were <u>negative</u>. However, the absence of specific site information in the SLF does not indicate the absence of cultural resources in any project area. Other sources of cultural resources should also be contacted for information regarding known and recorded sites.

Attached is a list of Native American tribes who may also have knowledge of cultural resources in the project area. This list should provide a starting place in locating areas of potential adverse impact within the proposed project area. I suggest you contact all of those indicated; if they cannot supply information, they might recommend others with specific knowledge. By contacting all those listed, your organization will be better able to respond to claims of failure to consult with the appropriate tribe. If a response has not been received within two weeks of notification, the Commission requests that you follow-up with a telephone call or email to ensure that the project information has been received.

If you receive notification of change of addresses and phone numbers from tribes, please notify me. With your assistance, we can assure that our lists contain current information.

If you have any questions or need additional information, please contact me at my email address: Andrew.Green@nahc.ca.gov.

Sincerely,

Andrew Green

Cultural Resources Analyst

Indrew Green

Attachment

CHAIRPERSON

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Chumash

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Hitchcock
Miwok, Nisenan

NAHC HEADQUARTERS

1550 Harbor Boulevard Suite 100 West Sacramento, California 95691 (916) 373-3710 nahc@nahc.ca.gov NAHC.ca.gov

Native American Heritage Commission Native American Contact List Los Angeles County 12/14/2023

Tribe Name	Fed (F) Non-Fed (N)	Contact Person	Contact Address	Phone #	Fax #	Email Address	Cultural Affiliation	Counties	Last Updated
Gabrieleno Band of Mission Indians - Kiz Nation	h N	Christina Swindall Martinez, Secretary	P.O. Box 393 Covina, CA, 91723	(844) 390-0787		admin@gabrielenoindians.org	Gabrieleno	Los Angeles,Orange,Riverside,San Bernardino,Santa Barbara,Ventura	8/18/2023
Gabrieleno Band of Mission Indians - Kiz Nation	h N	Andrew Salas, Chairperson	P.O. Box 393 Covina, CA, 91723	(844) 390-0787		admin@gabrielenoindians.org	Gabrieleno	Los Angeles, Orange, Riverside, San Bernardino, Santa Barbara, Ventura	8/18/2023
Gabrieleno/Tongva San Gabriel Band of Mission Indians	N	Anthony Morales, Chairperson	P.O. Box 693 San Gabriel, CA, 91778	(626) 483-3564	(626) 286-1262	GTTribalcouncil@aol.com	Gabrieleno	Los Angeles,Orange,Riverside,San Bernardino,Ventura	12/4/2023
Gabrielino /Tongva Nation	N	Sandonne Goad, Chairperson	106 1/2 Judge John Aiso St., #231 Los Angeles, CA, 90012	(951) 807-0479		sgoad@gabrielino-tongva.com	Gabrielino	Los Angeles,Orange,Riverside,San Bernardino,Ventura	3/28/2023
Gabrielino Tongva Indians of California Tribal Council	N	Christina Conley, Cultural Resource Administrator	P.O. Box 941078 Simi Valley, CA, 93094	(626) 407-8761		christina.marsden@alumni.usc.du	e Gabrielino	Los Angeles,Orange,Riverside,San Bernardino,Santa Barbara,Ventura	3/16/2023
Gabrielino Tongva Indians of California Tribal Council	N	Robert Dorame, Chairperson	P.O. Box 490 Bellflower, CA, 90707	(562) 761-6417	(562) 761-6417	gtongva@gmail.com	Gabrielino	Los Angeles,Orange,Riverside,San Bernardino,Santa Barbara,Ventura	3/16/2023
Gabrielino-Tongva Tribe	N	Sam Dunlap, Cultural Resource Director	P.O. Box 3919 Seal Beach, CA, 90740	(909) 262-9351		tongvatcr@gmail.com	Gabrielino	Los Angeles,Orange,Riverside,San Bernardino,Ventura	5/30/2023
Gabrielino-Tongva Tribe	N	Charles Alvarez, Chairperson	23454 Vanowen Street West Hills, CA, 91307	(310) 403-6048		Chavez1956metro@gmail.com	Gabrielino	Los Angeles,Orange,Riverside,San Bernardino,Ventura	5/30/2023
Santa Rosa Band of Cahuilla Indians	F	Lovina Redner, Tribal Chair	P.O. Box 391820 Anza, CA, 92539	(951) 659-2700	(951) 659-2228	Isaul@santarosa-nsn.gov	Cahuilla	Imperial,Los Angeles,Orange,Riverside,San Bernardino,San Diego	
Soboba Band of Luiseno Indians	F	Jessica Valdez, Cultural Resource Specialist	P.O. Box 487 San Jacinto, CA, 92581	(951) 663-6261	(951) 654-4198	jvaldez@soboba-nsn.gov	Cahuilla Luiseno	Imperial,Los Angeles,Orange,Riverside,San Bernardino,San Diego	7/14/2023
Soboba Band of Luiseno Indians	F	Joseph Ontiveros, Tribal Historic Preservation Officer	P.O. Box 487 San Jacinto, CA, 92581	(951) 663-5279	(951) 654-4198	jontiveros@soboba-nsn.gov	Cahuilla Luiseno	Imperial,Los Angeles,Orange,Riverside,San Bernardino,San Diego	7/14/2023

Native American Heritage Commission Native American Contact List Los Angeles County 12/14/2023

This list is current only as of the date of this document. Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resource Section 5097.98 of the Public Resource Section 5097.99 of the Public Resource Section 5097.99 of the Public Resource Section 5097.99 of the Public Resource Section 5097

Record: PROJ-2023-006162 Report Type: List of Tribes Counties: Los Angeles NAHC Group: All

This list is only applicable for contacting local Native Americans with regard to cultural resources assessment for the proposed Hollywood Central Project, Los Angeles County.