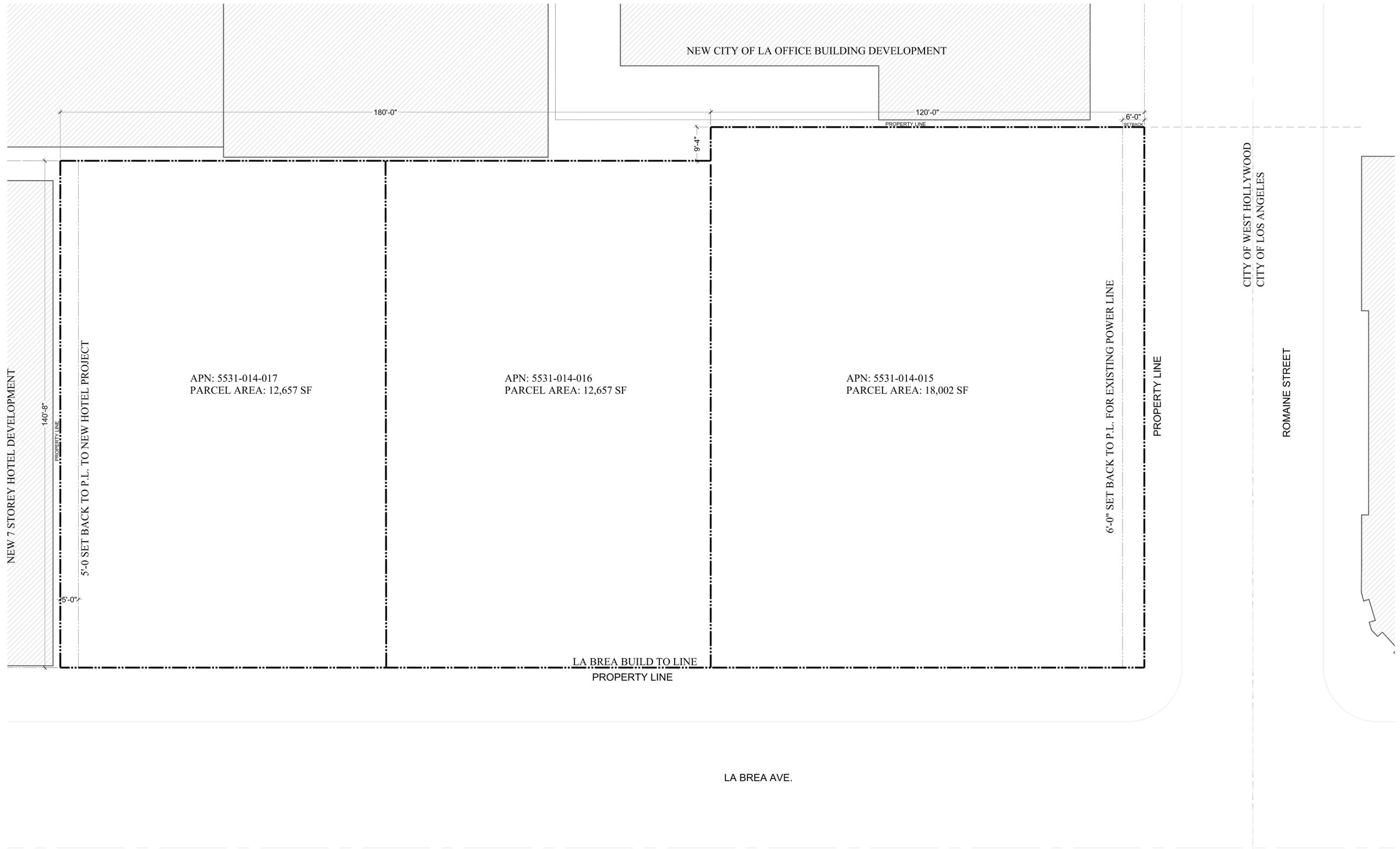


# Appendix A2

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Project Site Plans





# City of West Hollywood Zoning Districts

**Residential Zoning Districts**

- Residential Single-Family or Two-Unit Low Density**
  - R1A - 2 1/2 Stories - 1 du/lot
  - R1B - 2 1/2 Stories - 2 du/lot of less than 8499 SF
  - R1C - 1 1/2 Story - 1 du/lot
- Residential Low Density**
  - R2 - 2 1/2 Stories - 2 du/lot of less than 4000 SF
    - 3 du/lot between 4000 and 7999 SF
    - 4 du/lot between 8000 and 9999 SF
  - plus 1 additional unit/lot for each 2000 SF or fraction thereof in excess of 9999 SF
- Residential Multi-Family Medium Density**
  - R3A - 2 1/2 Stories - 1 du/1210 SF of lot area
  - R3B - 3 1/2 Stories - 1 du/1210 SF of lot area
  - R3C - 4 1/2 stories - 1 du/1210 SF of lot area
  - R3C-C - 4 1/2 stories - 1 du/1210 SF of lot area
- Residential Multi-Family High Density**
  - R4A - 3 1/2 Stories - 1 du/872 SF of lot area
  - R4B - 4 1/2 Stories - 1 du/872 SF of lot area
  - R4B-C - 4 1/2 Stories - 1 du/872 SF of lot area

**Combination Zones**

- SSP - Sunset Specific Plan
- SSP ON - Sunset Specific Plan Commercial, Neighborhood
- SSP R2 - Sunset Specific Plan Residential, Low Density
- SSP R4 - Sunset Specific Plan Residential, Multi-Family High Density

**Commercial and Public Zoning Districts**

District	Density (FAR)	Height
CN1 - Commercial, Neighborhood 1	1.0	25 ft/2 Stories
CN2 - Commercial, Neighborhood 2	1.0	25 ft/2 Stories
CC1 - Commercial, Community 1	1.5	35 ft/3 Stories
CC2 - Commercial, Community 2	2.0	45 ft/4 Stories
CA - Commercial, Arterial	2.5	60 ft/5 Stories
CR - Commercial, Regional Center	3.0	90 ft/8 Stories

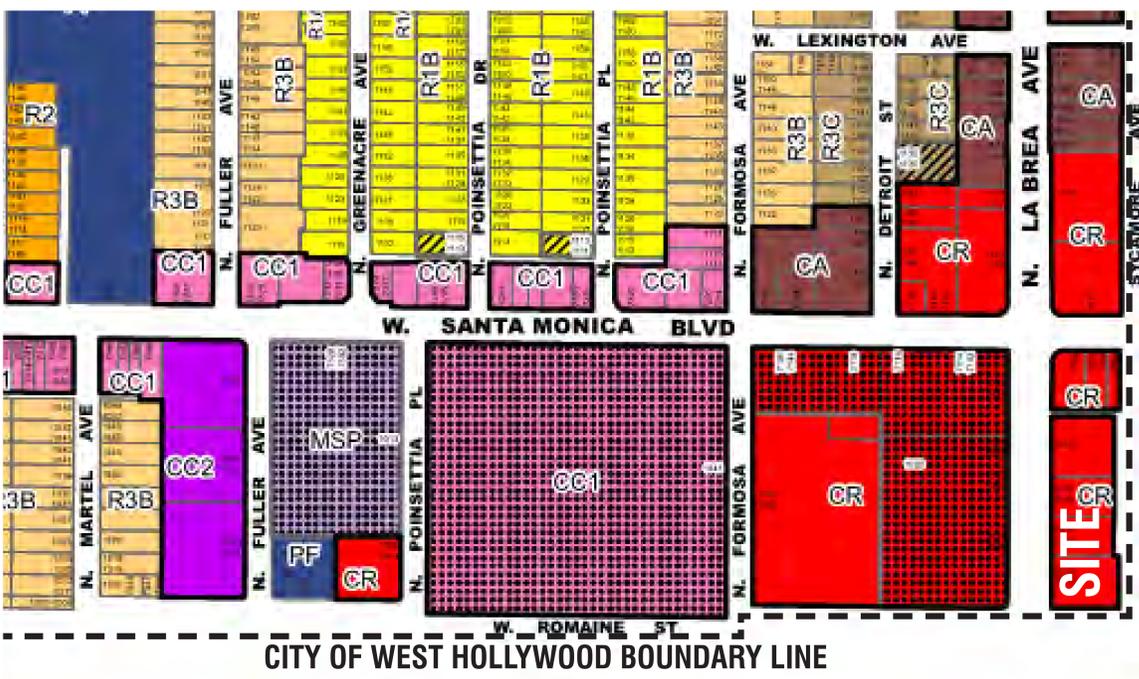
**Overlay Zoning Districts**

- Mixed-Use Incentive Overlay
- Parking Overlay
- Development Agreement Overlay
- Commercial Only Overlay
- Avenues Bonus Overlay
- Gateway Mixed-Use Overlay
- West Hollywood West Overlay
- Norma Triangle Overlay

**Other Zoning Districts**

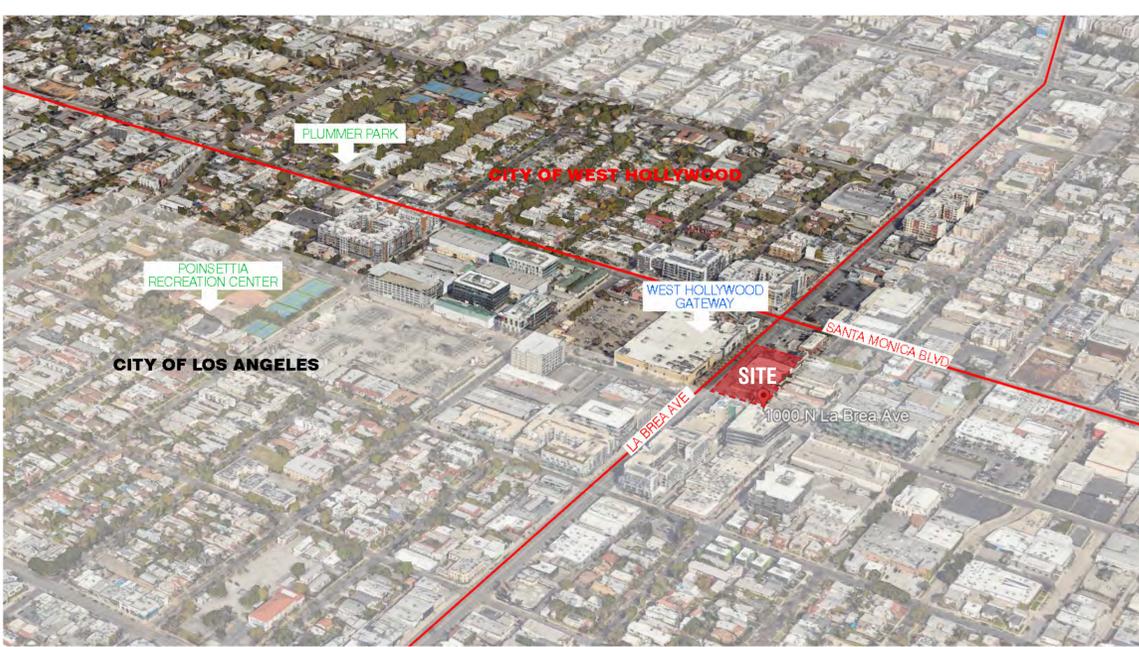
- 8899 BBSP - 8899 Beverly Boulevard Specific Plan
- CEESP - Center for Early Education Specific Plan
- MSP - Movietown Specific Plan
- PDCSP - Pacific Design Center Specific Plan
- PF - Public Facilities

du = dwelling unit



CITY OF WEST HOLLYWOOD BOUNDARY LINE

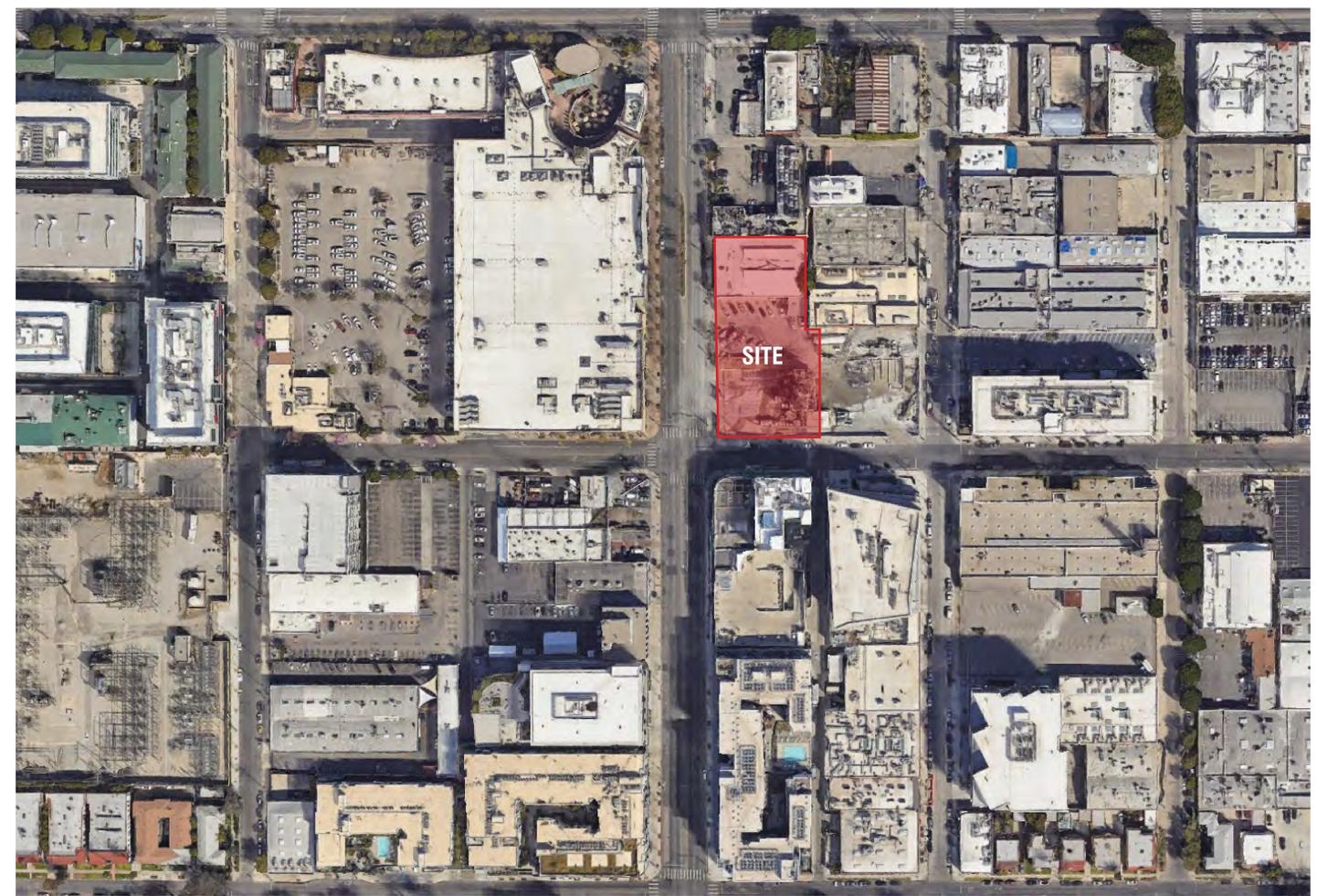
ZONING MAP



CONTEXT



FIGURE GROUND



SATELLITE

## LARGE architecture

1000 N. LA BREA AVE  
West Hollywood, CA 90038

**OWNER**  
1014 N La Brea Owner, LLC

**CONSULTANTS**  
**ARCHITECT**  
LARGE ARCHITECTURE ASSOCIATES  
1551 SOUTH ROBERTSON BLVD  
LOS ANGELES, CA 90035  
TEL: 310.553.1959

**STRUCTURAL**  
MAGNUSON KLEMENCIC ASSOCIATES  
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SEATTLE, WA 98101  
TEL: 206.292.1200

**LANDSCAPE ARCHITECT**  
PAMELA BURTON & COMPANY  
1430 OLYMPIC BLVD  
SANTA MONICA, CA 90404  
TEL: 310.828.6373

**CIVIL**  
DK ENGINEER, CORP  
6420 WILSHIRE BLVD, SUITE 1000  
LOS ANGELES, CA 90048  
TEL: 310.926.0248

**MEP ENGINEER**  
GLUMAC  
707 WILSHIRE BLVD, 23RD FLR  
LOS ANGELES, CA 90017  
TEL: 213.239.886

**CODE/FIRE/LIFE SAFETY**  
JENSEN HUGHES  
2099 S. STATE COLLEGE BLVD  
ANAHEIM, CA 92806  
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**ELEVATOR**  
EDGETT WILLIAMS CONSULTING GROUP  
102 EAST BLITHEDALE AVE, STE 1  
MILL VALLEY, CA 94941  
TEL: 415.465.2724

**ACUSTICAL**  
VENEKLASEN ASSOCIATES  
1711 SIXTEENTH STREET  
SANTA MONICA, CA 90404  
TEL: 310.450.1733

## SITE CONTEXT



LA BREA AVENUE - LOOKING TOWARD SITE - EXISTING

PROPERTY LINE



LA BREA AVENUE - LOOKING TOWARD SITE - PROPOSED



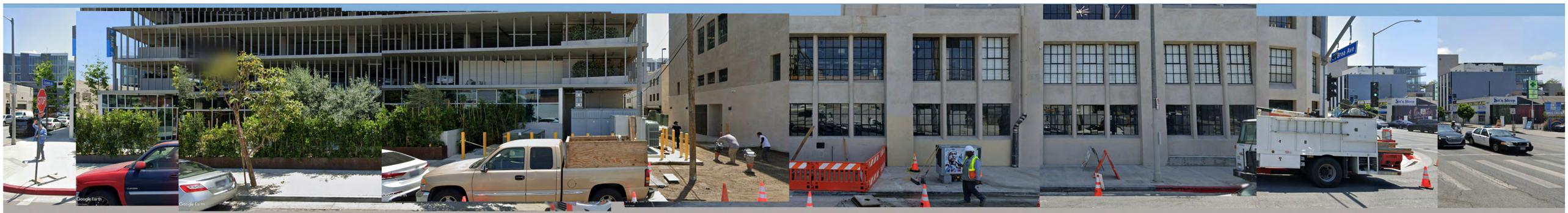
LA BREA AVENUE - LOOKING AWAY FROM SITE - EXISTING



**ROMAINE STREET - LOOKING TOWARD SITE - EXISTING**



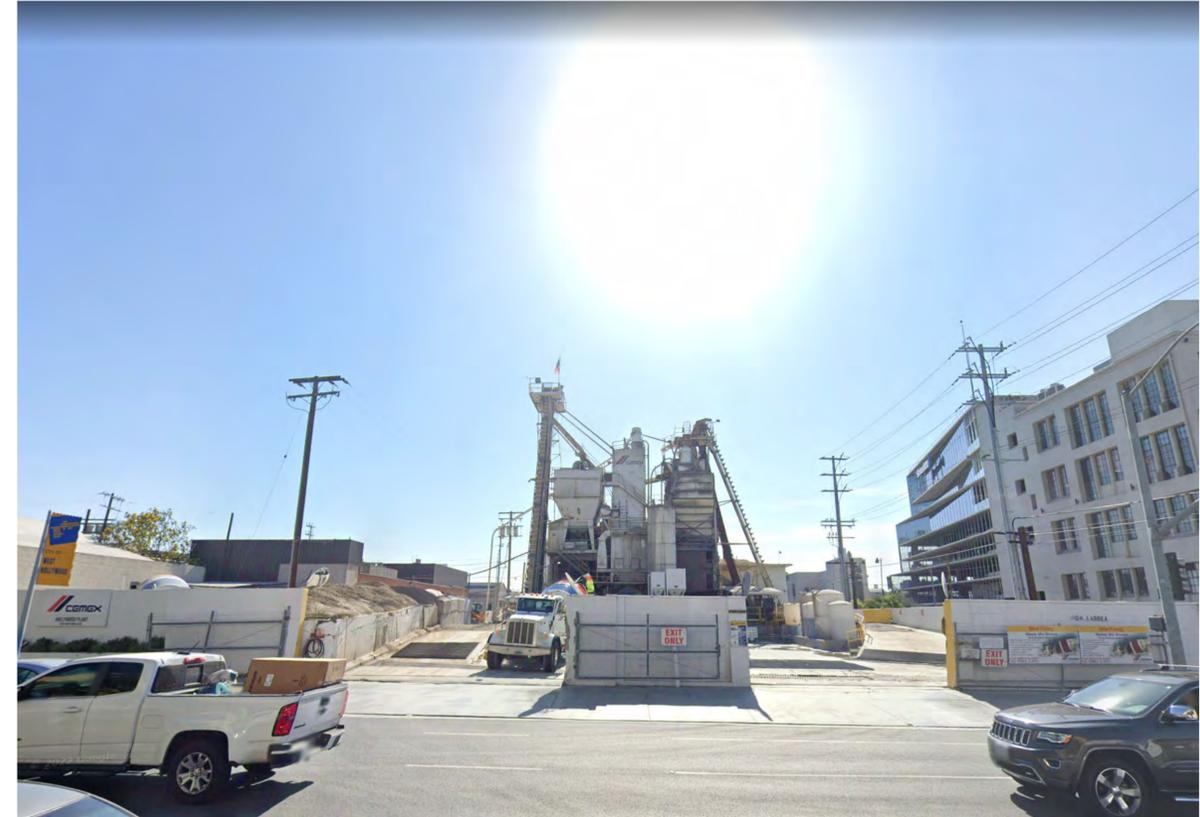
**ROMAINE STREET - LOOKING TOWARD SITE - PROPOSED**



**ROMAINE STREET - LOOKING AWAY FROM SITE - EXISTING**



1. NORTH WEST CORNER OF LA BREA AND ROMAINE



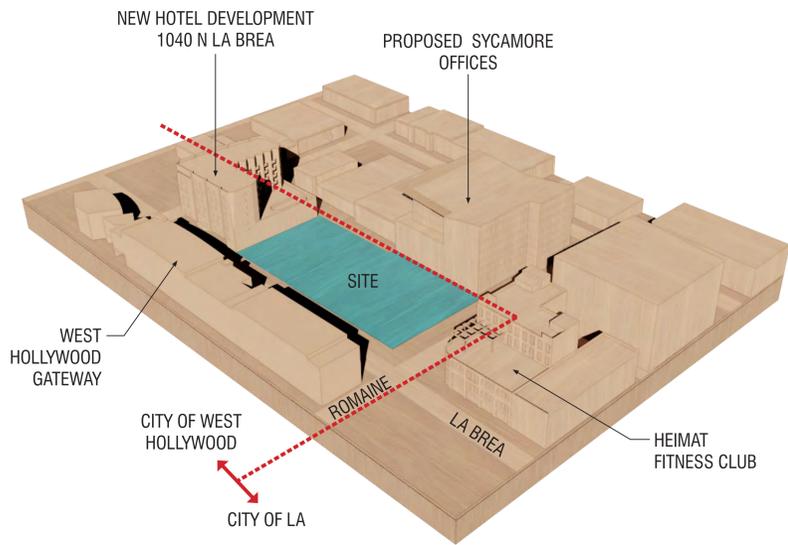
2. EXISTING VIEW ALONG LA BREA



3. DRIVING NORTH ON LA BREA

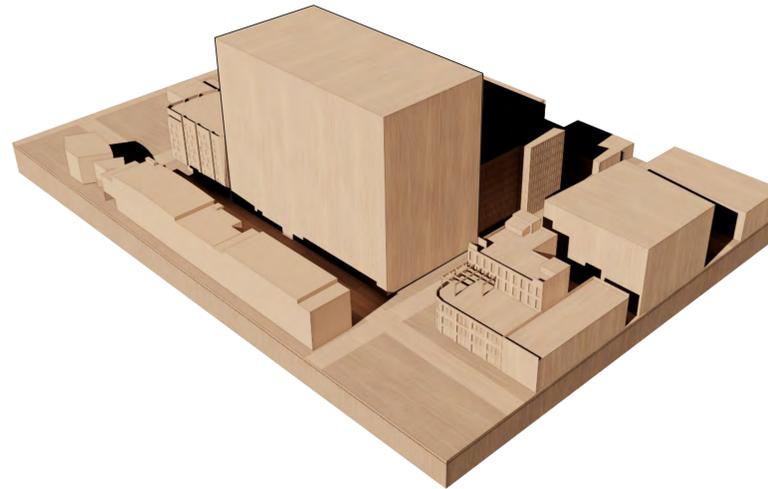






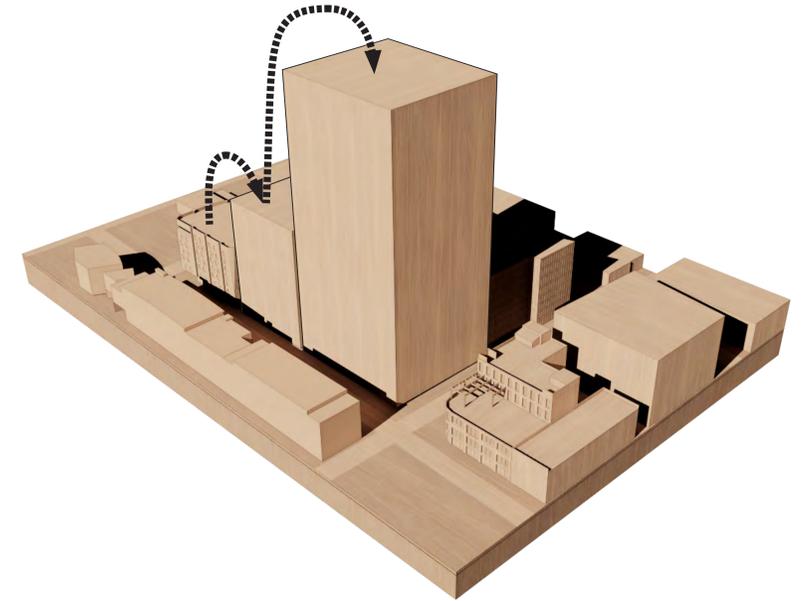
**1) SITE BOUNDARIES**

THE EXISTING CEMEX PLANT SITS ON THE CITY OF LOS ANGELES AND CITY OF WEST HOLLYWOOD BOUNDARY LINE. THE PROPOSED PROJECT WOULD SIT ON THE EDGE OF THAT BOUNDARY.



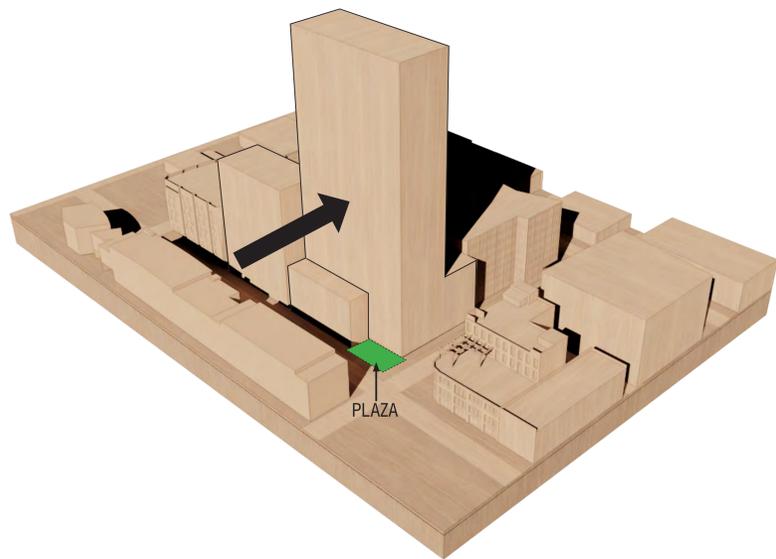
**2) BUILDING LOGIC**

EXTRUDING THE MASSING TO THE FULL SITE EXTENTS RESULTS IN AN OUT OF PROPORTION BOX TO THE EXISTING CITY FABRIC.



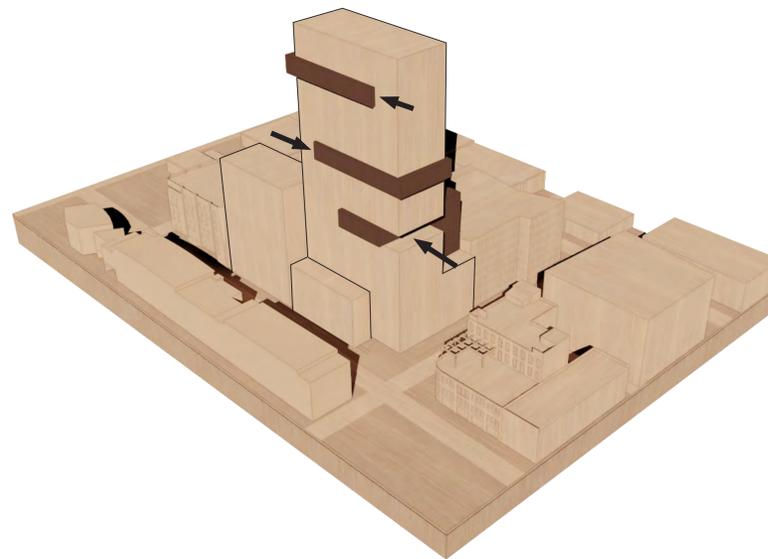
**3) BREAKING THE MASS**

BY SPLITTING THE BUILDING UP THE PROJECT BEGINS TO INTEGRATE ITSELF INTO THE NEIGHBORHOOD.



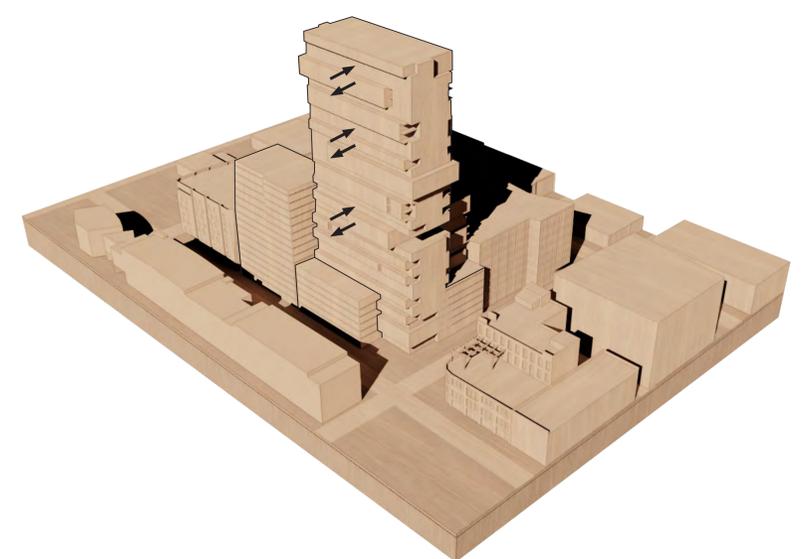
**4) BREAKING UP THE FRONTAGE**

PUSHING THE TALLER MASS OFF THE STREET SOFTENS THE MASSING AND CREATES A PLAZA FOR THE NEIGHBORHOOD TO USE IN CONJUNCTION WITH THE GROUND FLOOR MARKET.



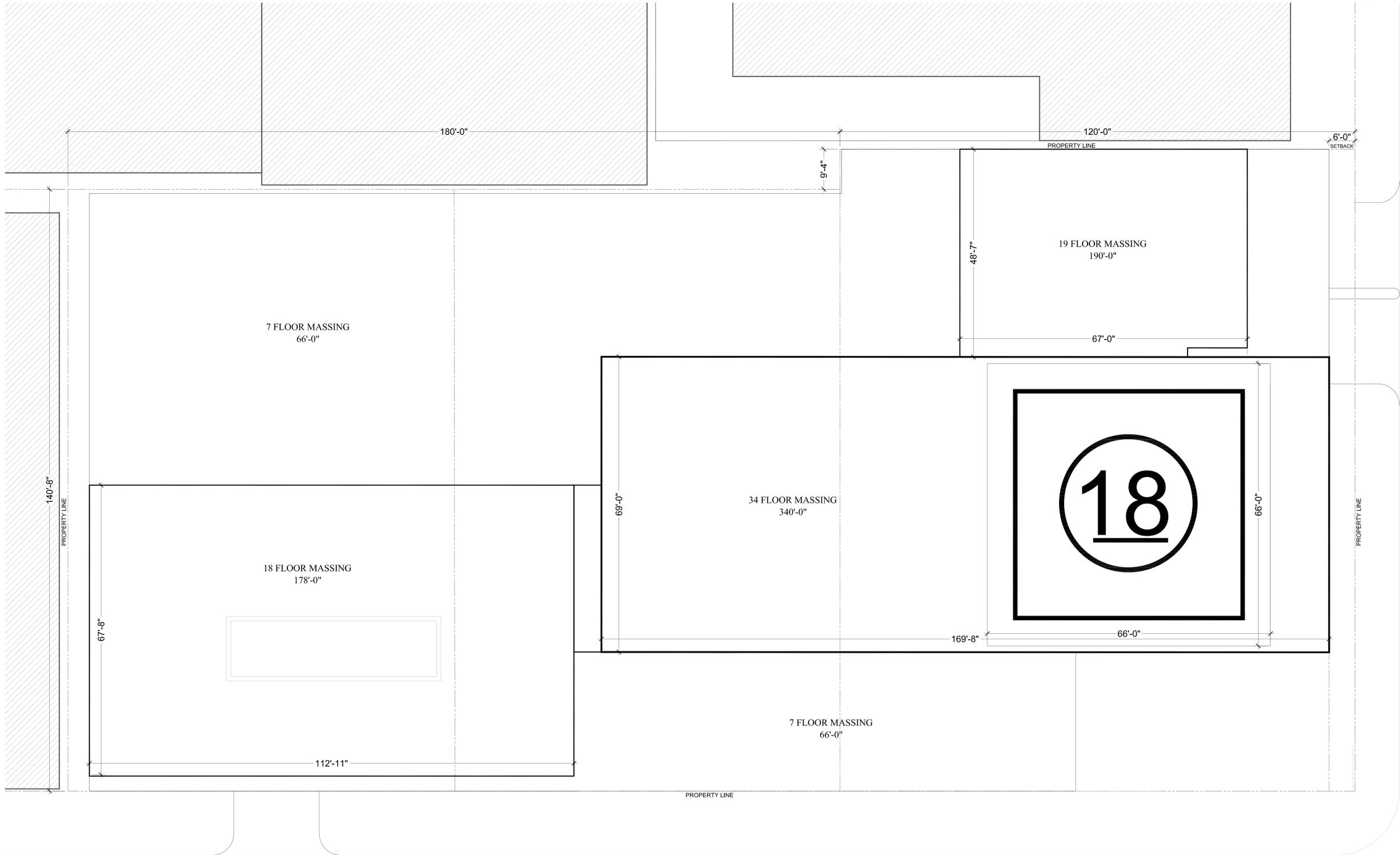
**5) SHIFTING BOXES**

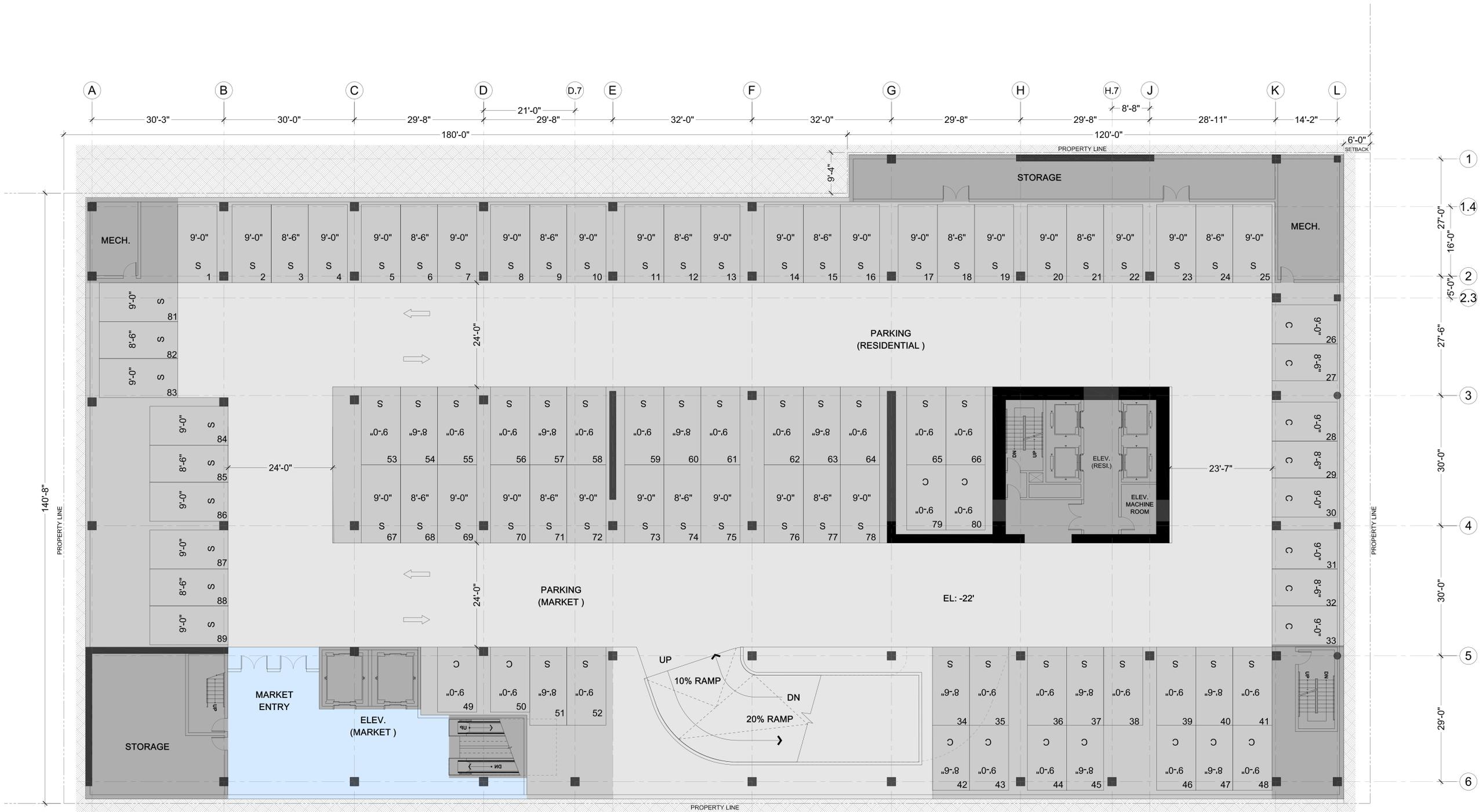
BREAKING UP THE TALLER MASS EVEN FURTHER BY SLIDING FLOORS PAST EACH OTHER IN ORDER TO MINIMIZE THE VISUAL IMPACT OF THE MASS FROM THE STREET LEVEL.

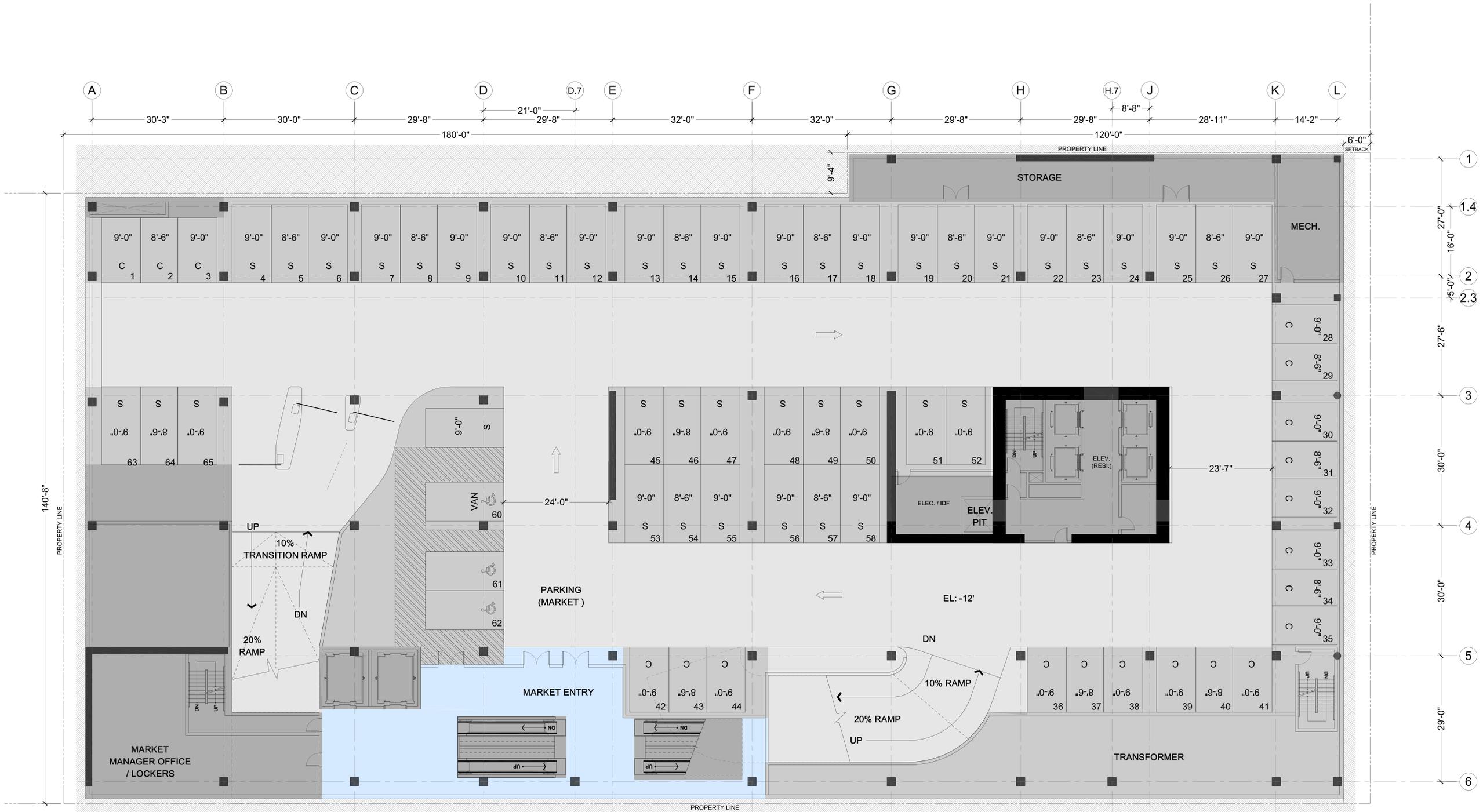


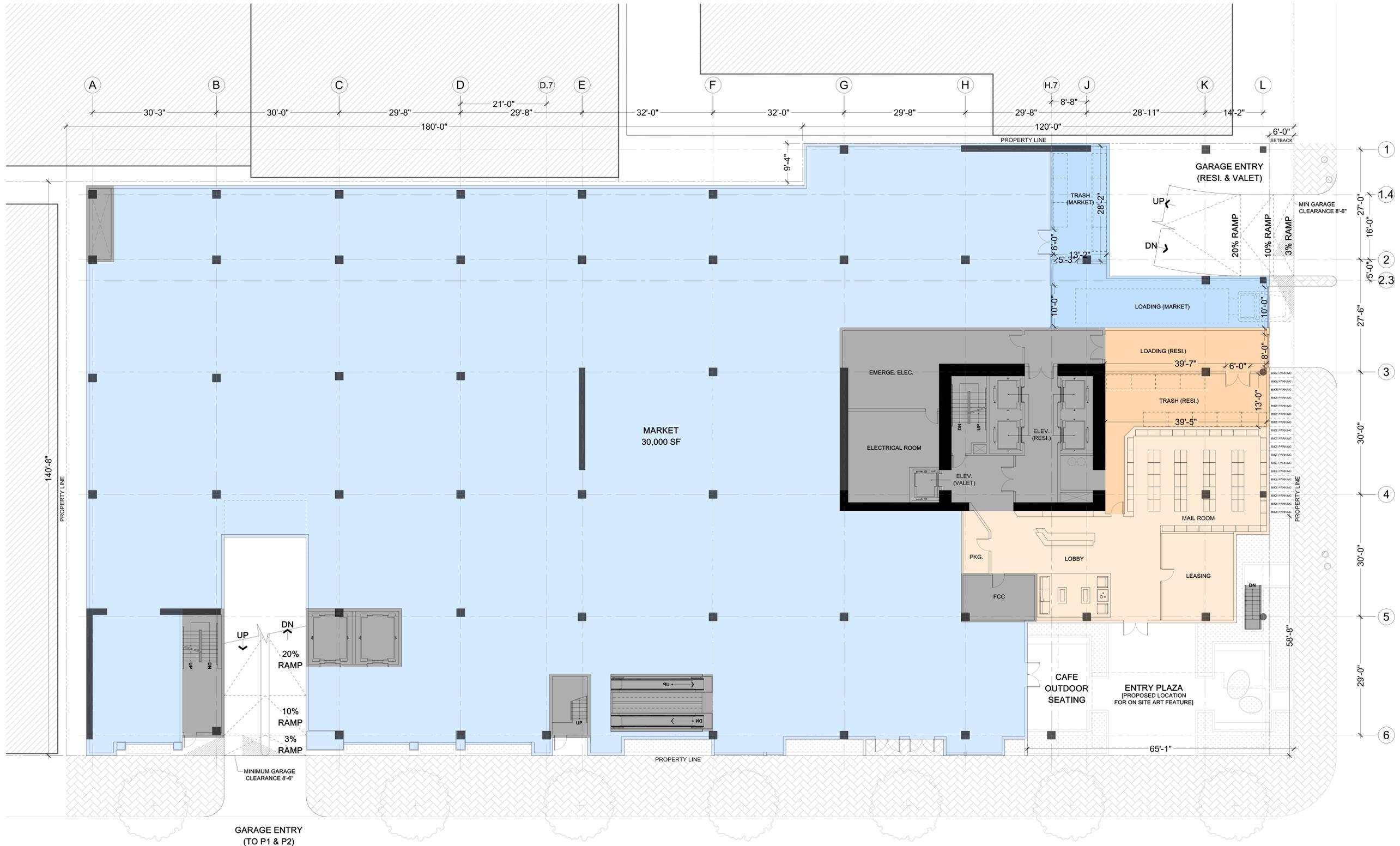
**6) ARTICULATED TOWER**

A SERIES OF SMALLER SHIFTS TO THE MASSING ALLOWS FOR ASSORTED UNIQUE BALCONY AND OVERHANG MOMENTS THAT ENHANCE THE USER EXPERIENCE AND TEXTURE THE BUILDING ELEVATION AT HUMAN SCALE.









LA BREA AVE.

