

Appendix A1

Project Site Plans



1000 NORTH LA BREA AVE

Development Permit Application - 01.31.2023

1014 N La Brea Owner, LLC

LARGE
architecture

01.31.2023 PG. 2



2019 RESIDENTIAL GREEN BUILDING CHECKLIST **CALGREEN + LOCAL REQUIREMENTS**

Title 24, Part 11, California Green Building Code (CALGreen) <http://www.bsc.ca.gov/Home/CALGreen.aspx>
City of West Hollywood Green Building Program and Resources <http://www.weho.org/greenbuilding>

Application: This plan sheet is for new residential projects, major remodels, and additions.

Project Address:
Case No:

**GB-1
RES**

2019 RESIDENTIAL CHECKLIST - CALGREEN + LOCAL REQUIREMENTS

4.1 Planning and Design			State and/or Local Code Section	Plan Sheet, Spec or Attachment Reference	Compliance Path Verification						Comments
					Planning Review		Plan Check		Field Verification		
					Y	N	Y	N	Increment	Final	
Stormwater Pollution Prevention			WHMC 19.20.190 & Chapter 15.56	Civil							
Construction debris control			WHMC 19.20.060	C1.10							
Low-impact development			WHMC 19.20.190 & Chapter 15.56	C1.10, C1.20, C1.30, C1.40							
Grading & Paving			WHMC 19.20.190 & CGBS 4.106.3	C1.20, C1.21, C1.30							
Storm Drain Labeling			WHMC 19.20.190 & CGBS 4.106.3	C1.40							
Electric vehicle (EV) charging (for new construction)			WHMC 19.28.170 & CGBS 4.106.4	Page 2		X					
EV: New one-and-two-family dwellings and townhouses with attached private garages			CGBS 4.106.4.1	Page 2		X					
EV: Identification			CGBS 4.106.4.1.1	Page 2		X					
EV: New multifamily buildings (3 to 9 units)			CGBS 4.106.4.2	Page 2		X					
EV: New multifamily buildings (10 units or more) (locally amended)			WHMC 19.20.060 & CGBS 4.106.4.2	Page 2		X					
EV: Electric vehicle charging space (EV space) locations			CGBS 4.106.4.2.1	Page 2, Pages 19.20.22.23		X					
EV: Electrical vehicle charging space (EV space) dimensions			CGBS 4.106.4.2.2	Page 2, Pages 19.20.22.23		X					
EV: Full Circuit (EV Ready Spaces) (locally amended)			WHMC 13.24.015 & CGBS 4.106.4.2.3	Page 2, Pages 19.20.22.23		X					
EV: Inaccessible Raceway (EV Capable Spaces) (locally amended)			WHMC 13.24.015 & CGBS 4.106.4.2.4	Page 2		X					
EV: Electrical panel capacity (locally amended)			WHMC 13.24.015 & CGBS 4.106.4.2.5	Page 2		X					
EV: Identification (locally amended)			WHMC 13.24.015 & CGBS 4.106.4.2.6	Page 2		X					
EV: Chapter 11A accessible EVCS requirements (locally amended)			WHMC 13.24.015 & CGBS 4.106.4.2.7	Page 2		X					
Alternative transportation (bicycle parking & facilities)			WHMC 19.28.150	Page 2, Page 22		X					
Transportation demand management (TDM)			WHMC Chapter 10.16			X					
Permeable outdoor surfaces			WHMC 19.20.190 & 19.36.280	Page 50		X					
Landscaping for surface parking areas			WHMC 19.28.100	N/A - no surface parking			X				
Ground-level vegetative open space (Optional)			WHMC 19.28.060	Page 50			X				
Sustainable roof measures			WHMC 19.20.060	Page 35, Page 56			X				
4.2 Energy Efficiency											
Energy efficiency			WHMC 19.20.060 & 2019 Title 24, Part 6	Page 3		X					
Energy star appliances			WHMC 19.20.060	Page 3		X					
Energy-efficient outdoor lighting			WHMC 19.20.100 & 2019 Title 24, Part 6	Page 3		X					
Energy benchmarking readiness - Buildings over 20,000 square feet			WHMC 19.20.060								
4.3 Water Efficiency and Conservation											
Water Conserving Plumbing Fixtures & Fittings			WHMC 13.24.015 & CGBS 4.303.1	Page 3		X					
Indoor water use: Water closets (1.1 gpf) (locally amended)			WHMC 13.24.015 & CGBS 4.303.1.1	Page 3		X					
Indoor water use: Urinals (Wall Mounted 0.125 gpf, all others 0.5 gpf)			CGBS 4.303.1.2	Page 3		X					
Indoor water use: Single showerhead (1.5 gpm at 80 psi) (locally amended)			WHMC 13.24.015 & CGBS 4.303.1.3.1	Page 3		X					
Indoor water use: Multiple showerheads serving one shower (1.5 gpm at 80 psi) (locally amended)			WHMC 13.24.015 & CGBS 4.303.1.3.2	Page 3			X				
Indoor water use: Residential lavatory faucets (1.2 gpm at 60 psi)			CGBS 4.303.1.4.1	Page 3		X					
Indoor water use: (Multi-family Only) Lavatory faucets in common and public use areas			CGBS 4.303.1.4.2	Page 3		X					
Indoor water use: Metering faucets (0.2 gallons per cycle) (locally amended)			CGBS 4.303.1.4.3	Page 3		X					
Indoor water use: Kitchen faucets (1.5 gpm at 60 psi) (locally amended)			WHMC 13.24.015 & CGBS 4.303.1.4.4	Page 3		X					
Indoor water use: Standards for plumbing fixtures and fittings (Meet 2019 Plumbing Code)			CGBS 4.303.2	Page 3		X					
Outdoor water use in landscape areas (MWEL0) (Include MWEL0 Toolkit)			WHMC 19.20.060 & CGBS 4.304.1	Pages 50 - 56, MWEL0 Chart		X					
Outdoor water use: Landscape water meters (when landscaping is in the scope) (locally amended)			WHMC 13.24.015 & CGBS 4.304.2	C1.40		X					
4.4 Material Conservation and Resource Efficiency											
Rodent proofing			CGBS 4.406.1								
Enhanced construction waste management- 80% Diversion			WHMC 19.40.040 & CGBS 4.408.1								
Environmental protection, pollution, and solid waste			WHMC Chapter 15								
Operation and maintenance manual			CGBS 4.410.1								
Recyclable materials storage			WHMC 19.36.280 & 19.20.180(B10) & CGBS 4.410.2			X					

4.5 Environmental Quality			State and/or Local Code Section	Plan Sheet, Spec or Attachment Reference	Compliance Path Verification						Comments	
					Planning Review		Plan Check		Field Verification			
					Y	N	Y	N	Increment	Final		
Select one	Fireplaces		CGBS 4.503.1									
	Covering of duct openings, protection of mechanical equipment during construction		CGBS 4.504.1									
	Adhesives, sealants and caulks		CGBS 4.504.2.1									
	Paints and coatings		CGBS 4.504.2.2									
	Aerosol paints and coatings		CGBS4.504.2.3									
	Verification		CGBS 4.504.2.4									
	Carpet systems		CGBS 4.504.3									
	Carpet systems: Carpet cushion		CGBS 4.504.3.1									
	Carpet systems: Carpet adhesive		CGBS 4.504.3.2									
	Resilient flooring systems		CGBS 4.504.4									
	Composite wood products		CGBS 4.504.5									
	Concrete slab foundations		CGBS 4.505.2									
	Concrete slab foundations: Capillary break		CGBS 4.505.2.1									
	Moisture content of building materials		CGBS 4.505.3									
	Bathroom exhaust fans		CGBS 4.506.1									
	Heating and air conditioning system design		CGBS 4.507.2									
	Additional Requirements for Projects Seeking Approval of A Specific Plan or Development Agreement (Select one of three)											
	Select one	Highly Energy Efficient Building: Performance approach specified within the 2019 California Energy Code shall be used to demonstrate that the TDV Energy of proposed new high-rise multi-family residential and mixed-use projects of 4 stories or more is at least: 50 percent less than TDV energy of the Standard Design.		WHMC 19.20.060/ 2019 Title 24, Part 6								
Graywater system installation (Indoor, Outdoor, or Combination)		WHMC 19.20.060										
Third-party rating system certification (LEED Platinum or Living Building Challenge)		WHMC 19.20.060										

Legend:

- Y - Yes, the measure selected is applicable to my project and in the scope of work
N - No, the measure is not applicable to my project and not in the scope of work

WHMC - West Hollywood Municipal Code
CGBS - California Green Building Standards (CALGreen)

Planning Review & Plan Check Instructions:

This Green Building Checklist is intended to simplify the project approval process for residential projects in West Hollywood. Each of the items on this checklist is mandatory, depending on the project's scope. References to State and local code sections are provided. Applicants shall submit this checklist along with supporting documentation onto the submittal plans as part of their application for a development permit and a building permit, as applicable (see West Hollywood Green Building Program Manual for information). Note mixed-use projects should complete this checklist for the residential portions of the project.

The **Energy Star Benchmark Portfolio profile** is a required project submittal. Create a project profile on Energy Star Portfolio Manager using the following link. A screenshot of the project profile shall be included on a separate page in this plan set during the PlanCheck Phase. Please indicate the reference page here.

Green Building Inspection Instructions:

- It is the requirement of the ICC-certified CALGreen Building Inspector to review and understand the City of West Hollywood's Green Building Program Manual.
- After the building permit has been issued, an ICC-certified CALGreen Building Inspector shall field verify all applicable requirements.
- Prior to the installation of drywall, the general contractor or approved agent shall use an ICC-certified CALGreen Building Inspector to verify compliance with the Green Building Incremental Verification requirements. The general contractor shall then contact the West Hollywood Building & Safety Division at 323.984.7321 to schedule a Green Building Incremental Verification with a City Building Inspector. The CALGreen Building Inspector shall have confirmed all applicable items and present all required documentation.
- Prior to final building approval, the general contractor or approved agent shall use an ICC-certified CALGreen Building Inspector to verify compliance with the Green Building Final Inspection requirements. The general contractor shall then contact the West Hollywood Building & Safety Division at 323.984.7321 to schedule a Green Building Final Inspection with a City Building Inspector. The CALGreen Building Inspector shall have confirmed all applicable items and present all required documentation.
- The CALGreen Building Inspector shall also sign and complete the acknowledgement box in the upper right hand corner and post-construction verification.

CALGreen Building Inspector Acknowledgement

The project will be verified by a qualified CALGreen Building Inspector.

I have reviewed the project plans and specifications, and they are in conformance with the CALGreen and West Hollywood mandatory provisions claimed. I have reviewed and understand the post-construction requirements below.

Signature

Date

Print Full Name

Phone or Email

SECTION TO BE COMPLETED AFTER CONSTRUCTION

I certify that:

☐ CALGreen inspections were performed throughout construction

☐ The project has met the CALGreen measures as claimed on this sheet.

☐ Through a combination of onsite inspections and confirmation from the Contractor, there have been no alterations that impacted the energy report for the project, unless a new report is provided as an attachment.

Signature (CALGreen Building Inspector)

Sign only after construction is completed

Print Full Name

Date

LARGE
architecture

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West Hollywood, CA 90038

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1014 N La Brea Owner, LLC

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WHMC & GREEN BUILDING NOTES

- PROJECT EXTERIOR LIGHTING SHALL BE DESIGNED IN ACCORDANCE WITH WHMC SEC. 19.20.100 & CGBS SEC. 5.106.8.
- PROJECT SHALL COMPLY WITH WHCM 19.20.060 & T24 PART 6 IN THE FOLLOWING:
-ENERGY EFFICIENCY
-ENERGY STAR APPLIANCES
-ENERGY EFFICIENT OUTDOOR LIGHTING
-ENERGY BENCHMARK READINESS (ENERGYSTAR PORTFOLIO MANAGER)

- WATER CONSERVING PLUMBING FIXTURES AND FITTINGS SHALL BE PROVIDED AS REQUIRED BY CGBS SECTION 5.303 & WHMC 13.24.015 AS OUTLINED BELOW:
Indoor water use: Water closets (shall not exceed 1.1 gallons per flush)
Indoor water use: Wall-mounted urinals (0.125gpf)
Indoor water use: Floor-mounted urinals (0.5 gpf)
Indoor water use: Single showerhead (1.5 gpm at 80 psi)
Indoor water use: Multiple showerheads serving one shower (flow rate of 1.5 gpm at 80 psi)
Indoor water use: Nonresidential lavatory faucets (0.5 gpm at 60 psi)
Indoor water use: Kitchen faucets (1.5 gpm at 60 psi)
Indoor water use: Wash fountains (1.8 gpm at 60 psi)
Indoor water use: Metering faucets (0.2 gallons/ cycle)
Indoor water use: Metering faucets for wash fountains (0.2 gallons/ cycle)
Commercial kitchen equipment - Food waste disposers
Indoor water use: Standards for plumbing fixtures and fittings (2016 Cal Plumbing Code)

GREEN
BUILDING
PROGRAM
CHECKLIST

01.31.2023

PG. 3



AERIAL VIEW LOOKING NORTH-EAST

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AERIAL VIEW LOOKING SOUTH-EAST

PROJECT
RENDERINGS



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AERIAL VIEW LOOKING EAST

PROJECT
RENDERINGS



ENTRY PLAZA



MARKET ENTRY



SIDEWALK LOOKING SOUTH

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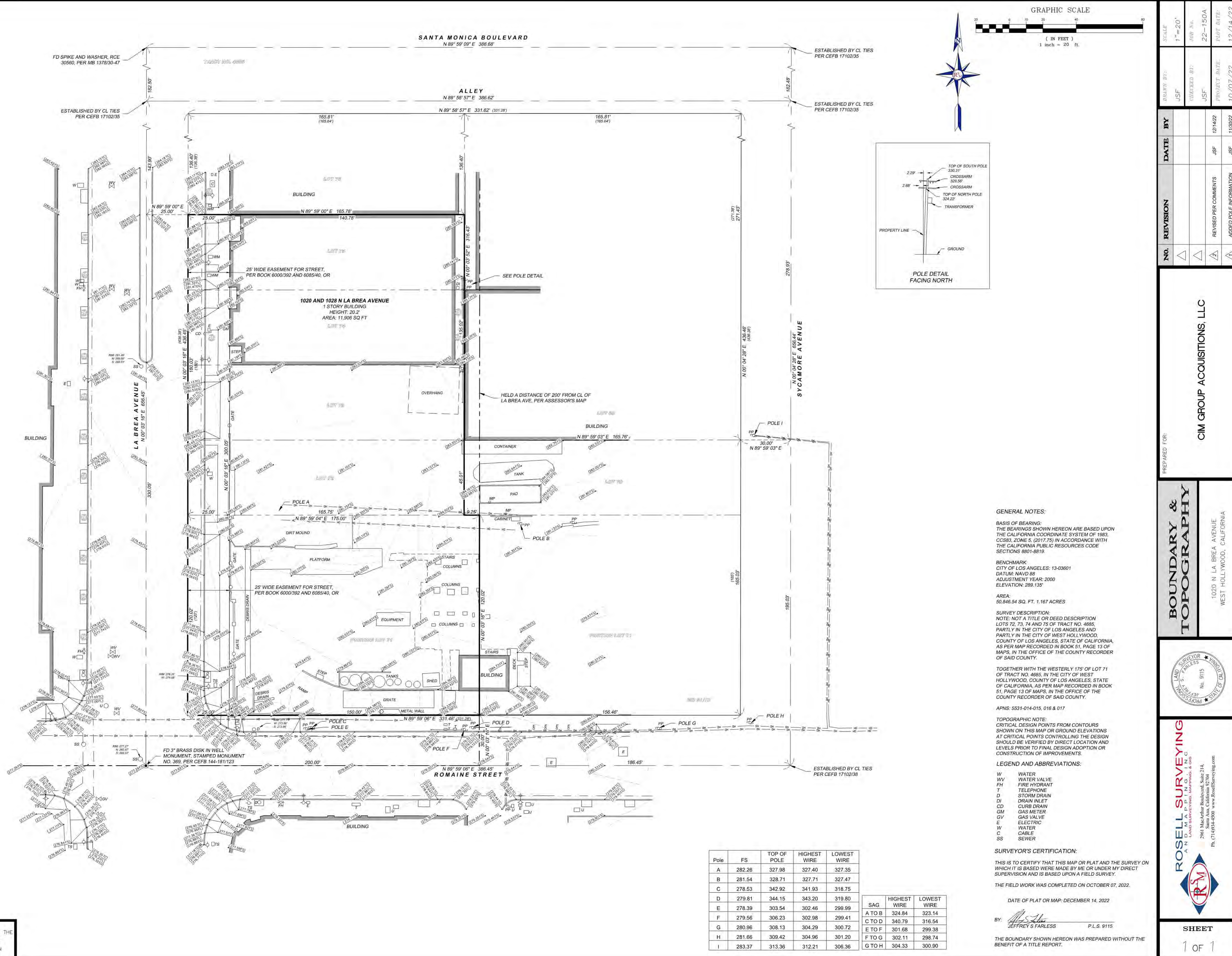
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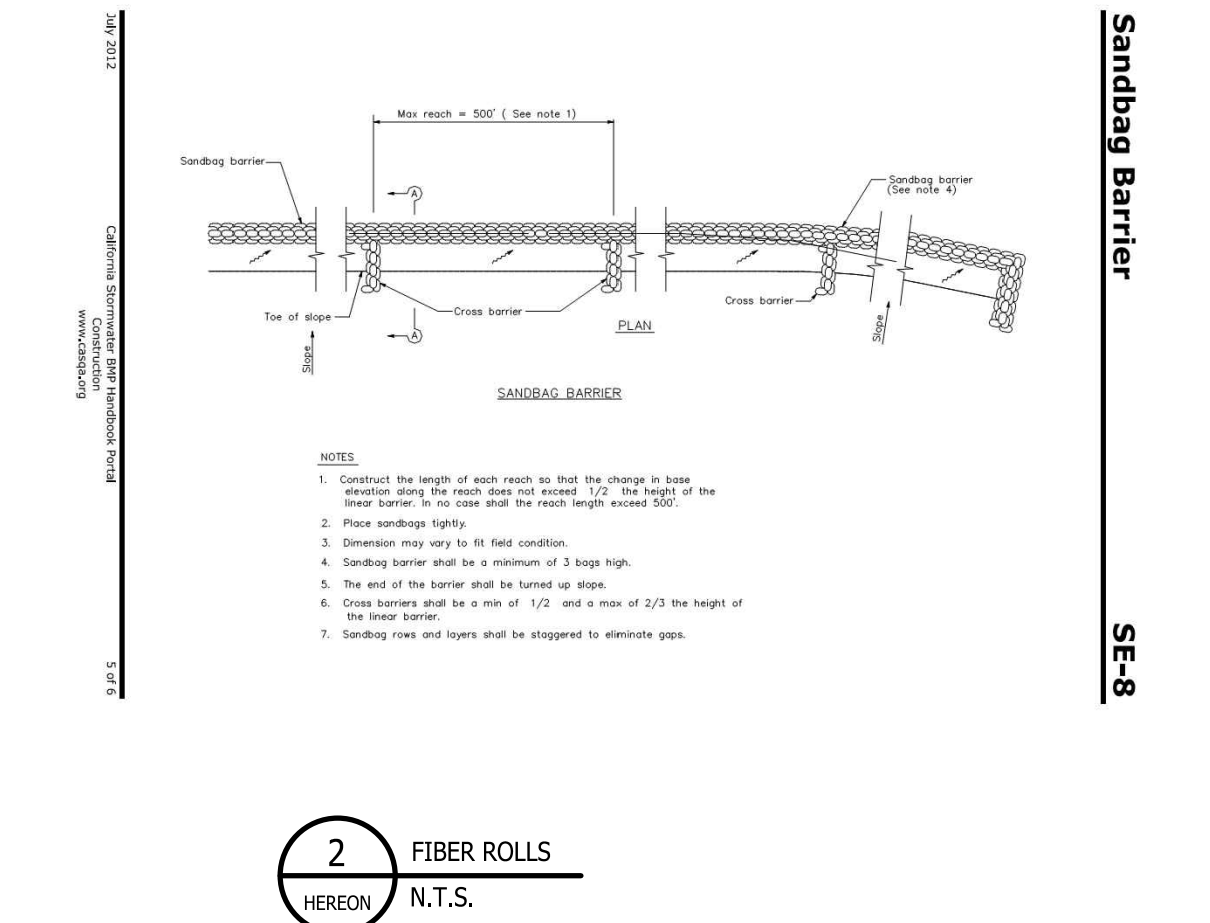
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MARKET ENTRY





C1.10



KEY PLAN:



NOT FOR CONSTRUCTION

THESE PLANS ARE FOR REVIEW ONLY AND NOT FINAL
PLANS UNLESS THEY INCLUDE THE SIGNATURE OF THE
ARCHITECT/DESIGN ENGINEER AND THE APPROVAL OF
THE APPROPRIATE GOVERNMENT AGENCIES.

[illegible]

1000 NORTH LA BREA

1000 N. LA BREA
WEST HOLLYWOOD, CA
90038

ROUGH GRADING SECTIONS

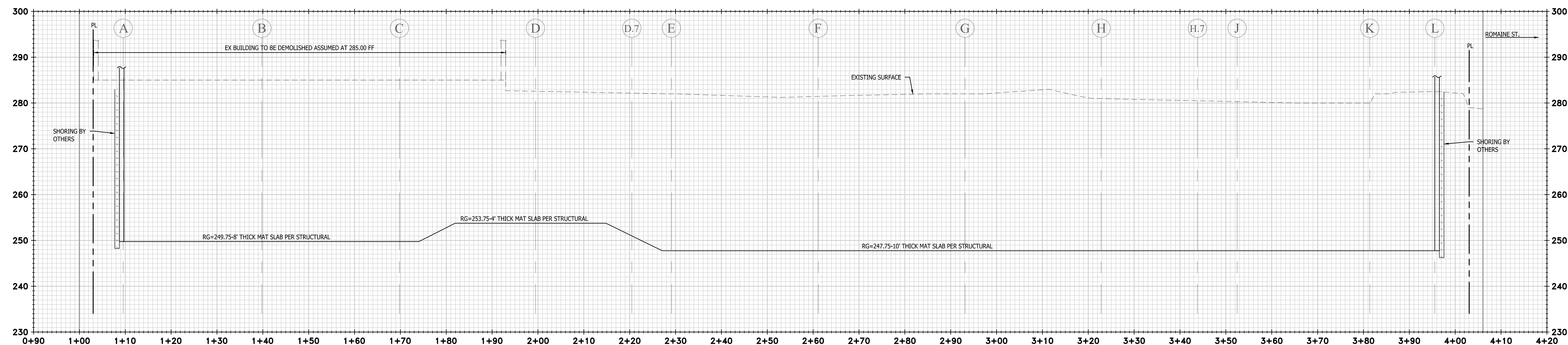
PROJECT
2021-004

SCALE
N.T.S

SHEET NUMBER

SCALE
N.T.S.

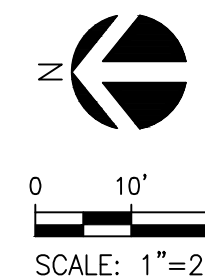
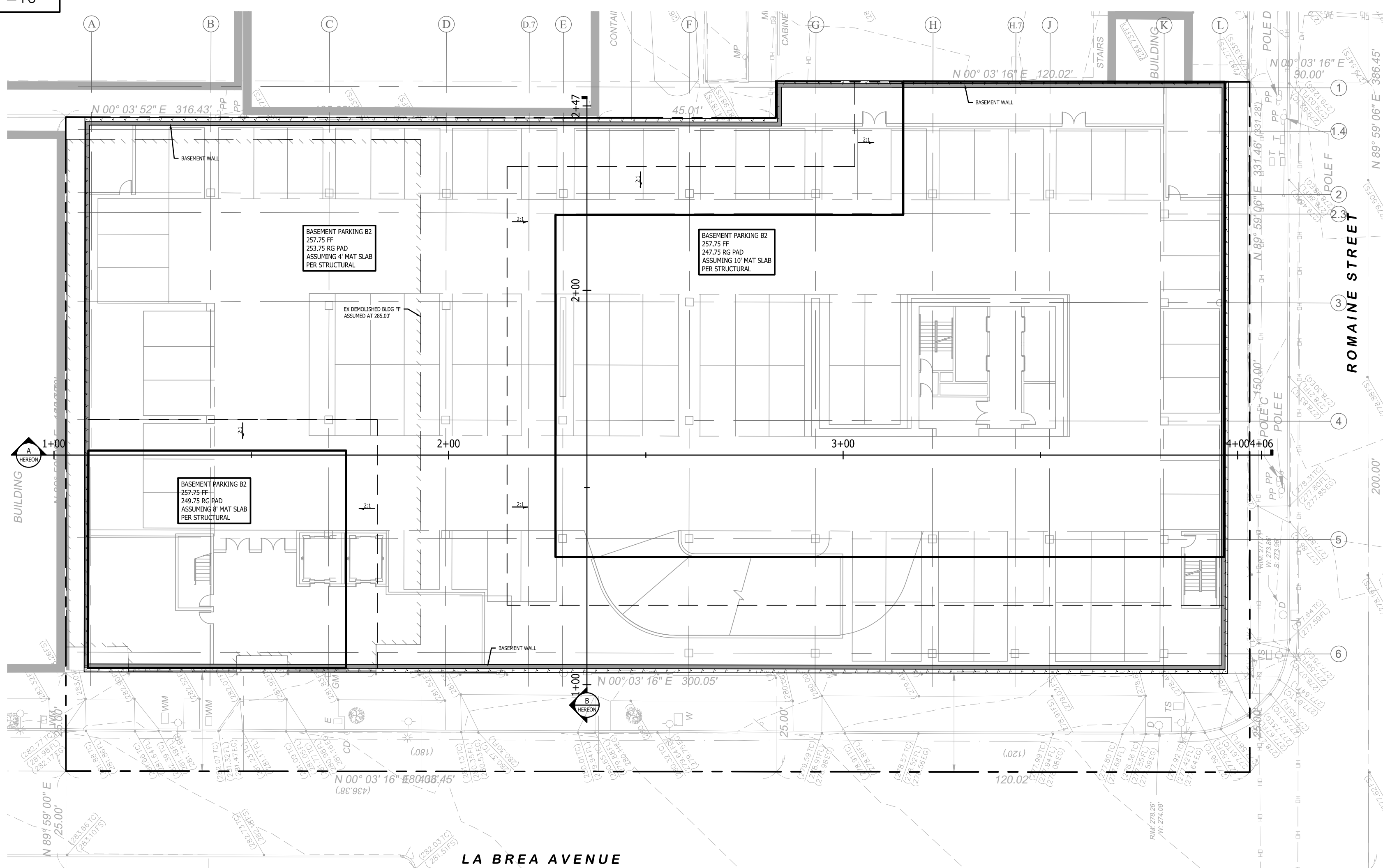
C1.21



SECTION A
HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=10'



SECTION B
HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=10'



© LARGE architect.

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[illegible]

1000 NORTH LA BREA

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GRADING AND PAVING PLAN

PROJECT
2021-004

SCALE
N.T.S

SHEET NUMBER

SCALE
N.T.S.

C1.30

