Appendix A1

Project Site Plans

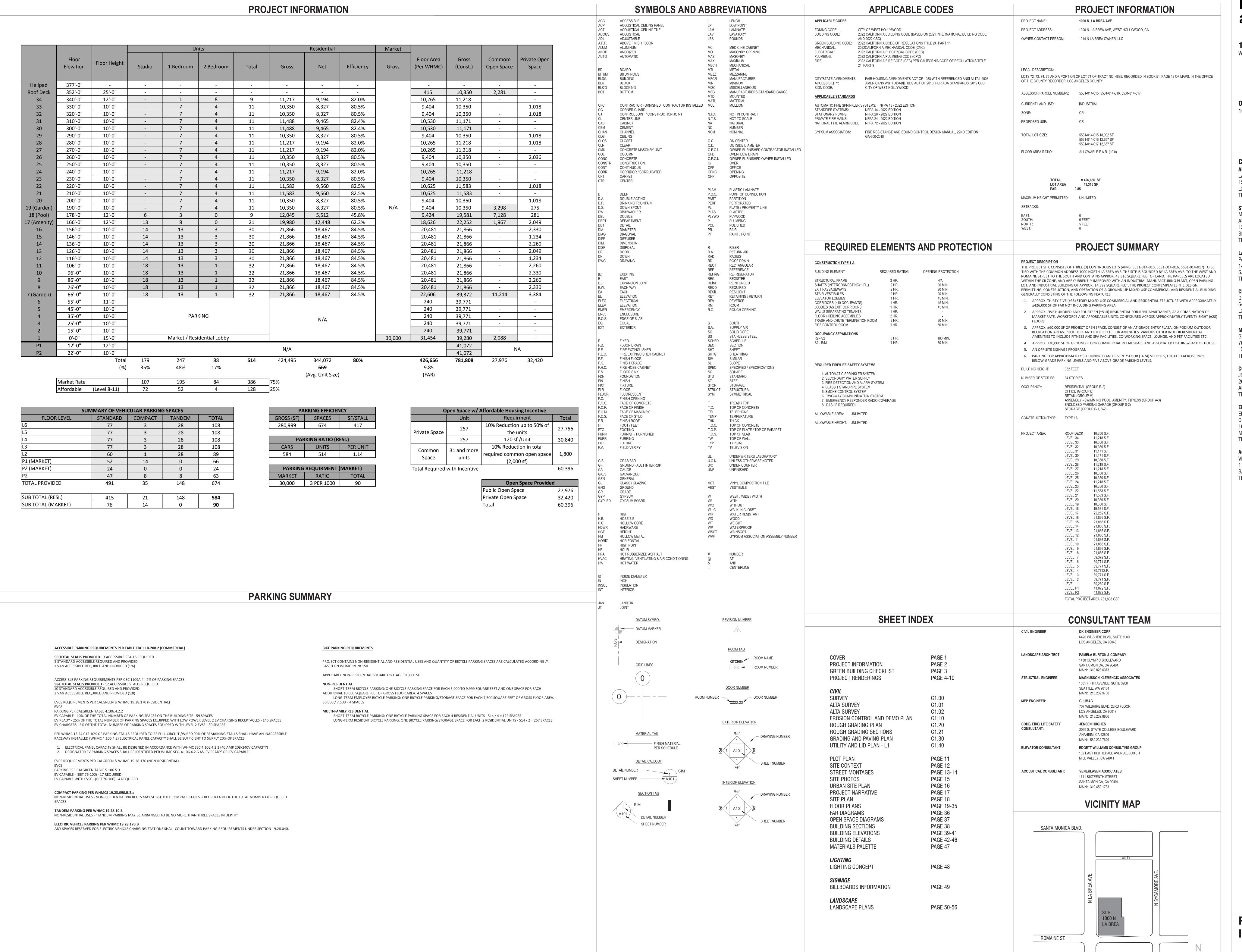


1000 NORTH LA BREA AVE

Development Permit Application - 01.31.2023

1014 N La Brea Owner, LLC

LARGE architecture



LARGE architecture

1000 N. LA BREA AVEWest Hollywood, CA 90038

1014 N La Brea Owner, LLC

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PROJECT INFORMATION

				Compliance	Path Verification	
		Plan Sheet, Spec or	Planning Review Pla	an Check	Field Verification Comments	
1 Planning and Design	State and/or Local Code Section	Attachment Reference	Y N Y	N	Increm Final	
Stormwater Pollution Prevention	WHMC 19.20.190 & Chapter 15.56	C1.10				
Construction debris control	WHMC 19.20.060	G1.10				
Low-impact development	WHMC 19.20.190 & Chapter 15.56	C1.10, C1.20, C1.30, C1.40				
Grading & Paving	WHMC 19.20.190 & CGBS 4.106.3	C1.20, C1.21, C1.30				
Storm Drain Labeling	WHMC 19.20.190 & CGBS 4.106.3	C1.40				
Electric vehicle (EV) charging (for new construction)	WHMC 19.28.170 & CGBS 4.106.4	Page 2	X			
EV: New one-and-two-family dwellings and townhouses with attached private garages	CGBS 4.106.4.1	Page 2	X			
EV: Identification	CGBS 4.106.4.1.1	Page 2	X			
EV: New multifamily buildings (3 to 9 units)	CGBS 4.106.4.2	Page 2	X			
EV: New multifamily buildings (10 units or more) (locally amended)	WHMC 19.20.060 & CGBS 4.106.4.2	Page 2	X			
EV: Electric vehicle charging space (EV space) locations	CGBS 4.106.4.2.1	Page 2, Pages 19,20,22,23	X			
EV: Electrical vehicle charging space (EV space) dimensions	CGBS 4.106.4.2.2	Page 2, Pages 19,20,22,23	X			
EV: Full Circuit (EV Ready Spaces) (locally amended)	WHMC 13.24.015 & CGBS 4.106.4.2.3	Page 2, Pages 19,20,22,23	X			
EV: Inaccessible Raceway (EV Capable Spaces) (locally amended)	WHMC 13.24.015 & CGBS 4.106.4.2.4	Page 2	X			
EV: Electrical panel capacity (locally amended)	WHMC 13.24.015 & CGBS 4.106.4.2.5	Page 2	X			
EV: Identification (locally amended)	WHMC 13.24.015 & CGBS 4.106.4.2.6	Page 2	Х			
EV: Chapter 11A accessible EVCS requirements (locally amended)	WHMC 13.24.015 & CGBS 4.106.4.2.7	Page 2	X			
Alternative transportation (bicycle parking & facilities)	WHMC 19.28.150	Page 2, Page 22	Х			
ransportation demand management (TDM)	WHMC Chapter 10.16		X			
Permeable outdoor surfaces	WHMC 19.20.190 & 19.36.280	Page 50	X			
_andscaping for surface parking areas	WHMC 19.28.100	N/A - no surface parking	X			
Ground-level vegetative open space (Optional)	WHMC 19.28.060	Page 50				
		Page 35, Page 56	X			
Sustainable roof measures	WHMC 19.20.060	rage 33, rage 30	X			
Energy Efficiency		Page 2				
Energy efficiency	WHMC 19.20.060 & 2019 Title 24, Part 6	Page 3	X			
Energy star appliances	WHMC 19.20.060	Page 3	Х			
Energy-efficient outdoor lighting	WHMC 19.20.100 & 2019 Title 24, Part 6	Page 3	X			
Energy benchmarking readiness - Buildings over 20,000 square feet	WHMC 19.20.060					
				<u> </u>		
Water Efficiency and Conservation	MUINO 40 04 045 0 00D0 4 000 4	Daga 2	X			
Vater Conserving Plumbing Fixtures & Fittings	WHMC 13.24.015 & CGBS 4.303.1	Page 3				
Indoor water use: Water closets (1.1 gpf) (locally amended)	WHMC 13.24.015 & CGBS 4.303.1.1	Page 3	X			
Indoor water use: Urinals (Wall Mounted 0.125 gpf, all others 0.5 gpf)	CGBS 4.303.1.2	Page 3	X			
Indoor water use: Single showerhead (1.5 gpm at 80 psi) (locally amended)	WHMC 13.24.015 & CGBS 4.303.1.3.1	Page 3	X			
Indoor water use: Multiple showerheads serving one shower (1.5 gpm at 80 psi) (locally amended)	WHMC 13.24.015 & CGBS 4.303.1.3.2	Page 3				
		-	X			
Indoor water use: Residential lavatory faucets (1.2 gpm at 60 psi)	CGBS 4.303.1.4.1	Page 3	X			
Indoor water use: [Multi-family Only] Lavatory faucets in common and public use areas	CGBS 4.303.1.4.2	Page 3	X			
Indoor water use: Metering faucets (0.2 gallons per cycle) (locally amended)	CGBS 4.303.1.4.3	Page 3				
			X			
Indoor water use: Kitchen faucets (1.5 gpm at 60 psi) (locally amended)	WHMC 13.24.015 & CGBS 4.303.1.4.4	Page 3	X			
Indoor water use: Standards for plumbing fixtures and fittings (Meet 2019 Plumbing Code)	CGBS 4.303.2	Page 3				
			X			
Outdoor water use in landscape areas (MWELO) (Include MWELO Toolkit)	WHMC 19.20.060 & CGBS 4.304.1	Pages 50 - 56, MWELO Char	t X			
	MUNIO 10 01 015 0 005 1 1 1 1	01.40				
Outdoor water use: Landscape water meters (when landscaping is in the scope) (locally amended)	WHMC 13.24.015 & CGBS 4.304.2	C1.40	X			
Material Conservation and Resource Efficiency						
Rodent proofing	CGBS 4.406.1					
Enhanced construction waste management- 80% Diversion	WHMC 19.40.040 & CGBS 4.408.1					
Environmental protection, pollution, and solid waste	WHMC Chapter 15					
	2222 / //2 /					
Operation and maintenance manual	CGBS 4.410.1 WHMC 19.36.280 & 19.20.180(B10) &					

		Plan Sheet, Spec or	Compliance Path Verification					CALGreen Building Inspector
			Planning Review	Plan	Check	Field Verification	Comments	Acknowledgement
S Environmental Quality	State and/or Local Code Section	Attachment Reference	Y N	Y	N	Increm Final		
Fireplaces	CGBS 4.503.1							
Covering of duct openings, protection of mechanical equipment during construction	CGBS 4.504.1							The project will be verified by a qualifie
Adhesives, sealants and caulks	CGBS 4.504.2.1							CALGreen Building Inspector.
Paints and coatings	CGBS 4.504.2.2							
Aerosol paints and coatings	CGBS4.504.2.3							I have reviewed the project plans and
Verification	CGBS 4.504.2.4							specifications, and they are in conformant with the CALGreen and West Hollywood
Carpet systems	CGBS 4.504.3							mandatory provisions claimed. I have
Carpet systems: Carpet cushion	CGBS 4.504.3.1							reviewed and understand the post- construction requirements below.
Carpet systems: Carpet adhesive	CGBS 4.504.3.2							
Resilient flooring systems	CGBS 4.504.4							
Composite wood products	CGBS 4.504.5							
Concrete slab foundations	CGBS 4.505.2							Signature Date
Concrete slab foundations: Capillary break	CGBS 4.505.2.1							
Moisture content of building materials	CGBS 4.505.3							
Bathroom exhaust fans	CGBS 4.506.1							
Heating and air conditioning system design	CGBS 4.507.2							
ditional Requirements for Projects Seeking Approval of A Specific Plan or Development Agree	ment (Select one of three)							Print Full Name
Highly Energy Efficient Building: Performance approach specified within the 2019 California Energy Code shall be used to demonstrate that the TDV Energy of proposed new high-rise multi-family residential and mixed-use projects of 4 stories or more is at least: 50 percent less than TDV energy of the Standard Design.	WHMC 19.20.060/ 2019 Title 24, Part 6		X					Phone or Email
Graywater system installation (Indoor, Outdoor, or Combination)	WHMC 19.20.060							
Third-party rating system certification (LEED Platinum or Living Building Challenge)	WHMC 19.20.060							
Legend: Y - Yes, the measure selected is applicable to my project and in to N - No, the measure is not applicable to my project and not in the WHMC - West Hollywood Municipal Code	-				1			SECTION TO BE COMPLETED AFT CONSTRUCTION I certify that:
•								CALGreen inspections were performed
CGBS - California Green Building Standards (CALGreen)								throughout construction

This Green Building Checklist is intended to simplify the project approval process for residential projects in West Hollywood. Each of the items on this checklist is mandatory, depending on the project's

development permit and a building permit, as applicable (see West Hollywood Green Building Program Manual for information). Note mixed-use projects should complete this checklist for the residential

scope. References to State and local code sections are provided. Applicants shall submit this checklist along with supporting documentation onto the submittal plans as part of their application for a

The **Energy Star Benchmark Portfolio profile** is a required project submittal. Create a project profile on Energy Star Portfolio Manager using the following link. A screenshot of the project profile shall be included on a separate page in this plan set during the PlanCheck Phase. Please indicate the reference page

1. It is the requirement of the ICC-certifed CALGreen Building Inspector to review and understand the City of West Hollywood's Green Building Program Manual.

Verification with a City Building Inspector. The CALGreen Building Inspector shall have confirmed all applicable items and present all required documentation.

5. The CALGreen Building Inspector shall also sign and complete the acknowledgement box in the upper right hand corner and post-construction verification.

3. Prior to the installation of drywall, the general contractor or approved agent shall use an ICC-certified CALGreen Building Inspector to verify compliance with the Green Building

4. Prior to final building approval, the general contractor or approved agent shall use an ICC-certified CALGreen Building Inspector to verify compliance with the Green Building Final

Incremental Verification requirements. The general contractor shall then contact the West Hollywood Building & Safety Divsion at 323.984.7321 to schedule a Green Building Incremental

Inspection requirements. The general contractor shall then contact the West Hollywood Building & Safety Divsion at 323.984.7321 to schedule a Green Building Final Inspection with a City

2. After the building permit has been issued, an ICC-certified CALGreen Building Inspector shall field verify all applicable requirements.

Building Inspector. The CALGreen Building Inspector shall have confirmed all applicable items and present all required documentation.

SECTION TO BE COMPLETED AFTER
CONSTRUCTION

throughout construction The project has met the CALGreen measures as claimed on this sheet.

Through a combination of onsite Contractor, there have been no alterations that impacted the energy report for the project, unless a new report is provided as an attachment.

Signature (CALGreen Building Inspector)

Print Full Name

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1014 N La Brea Owner, LLC

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6420 WILSHIRE BLVD, SUITE 1000

707 WILSHIRE BLVD. 23RD FLR

SANTA MONICA, CA 90404

CALGreen inspections were performed

Sign only after construction is completed

WeHo Green **Building** City of West Hollywoo California 1984

2019 RESIDENTIAL GREEN BUILDING CHECKLIST CALGREEN + LOCAL REQUIREMENTS

GB-1 **RES**

Proje Case 2019

Title 24, Part 11, California Green Building Code (CALGreen) http://www.bsc.ca.gov/Home/CALGreen.aspx City of West Hollywood Green Building Program and Resources http://www.weho.org/greenbuilding

Planning Review & Plan Check Instructions:

Green Building Inspection Instructions:

Application: This plan sheet is for new residential projects, major remodels, and additions.

WHMC & GREEN BUILDING NOTES

1. PROJECT EXTERIOR LIGHTING SHALL BE DESIGNED IN ACCORDANCE WITH WHMC SEC. 19.20.100 & CGBS SEC. 5.106.8. 2. PROJECT SHALL COMPLY WITH WHCM 19.20.060 & T24 PART 6 IN THE FOLLOWING:

-ENERGY EFFICIENCY

-ENERGY STAR APPLIANCES

-ENERGY EFFICIENT OUTDOOR LIGHTING -ENERGY BENCHMARK READINESS (ENERGYSTAR PORTFOLIO MANAGER)

2. WATER CONSERVING PLUMBING FIXTURES AND FITTINGS SHALL BE PROVIDED AS REQUIRED BY CGBS SECTION 5.303 & WHMC 13.24.015 AS OUTLINED BELOW:

Indoor water use: Water closets (shall not exceed 1.1 gallons per flush) Indoor water use: Wall-mounted urinals (0.125gpf)

Indoor water use: Floor-mounted urinals (0.5 gpf) Indoor water use: Single showerhead (1.5 gpm at 80 psi) Indoor water use: Multiple showerheads serving one shower (flow rate of 1.5 gpm at 80 psi) Indoor water use: Nonresidential lavatory faucets (0.5 gpm at 60 psi)

Indoor water use: Kitchen faucets (1.5 gpm at 60 psi) Indoor water use: Wash fountains (1.8 gpm at 60 psi) Indoor water use: Metering faucets (0.2 gallons/ cycle)

Indoor water use: Metering faucets for wash fountains (0.2 gallons/ cycle) Commercial kitchen equipment - Food waste disposers Indoor water use: Standards for plumbing fixtures and fittings (2016 Cal Plumbing Code) **GREEN BUILDING PROGRAM CHECKLIST**

01.31.2023

PG. 3

102 EAST BLITHEDALE AVE, STE 1

MILL VALLEY, CA 94941

ACOUSTICAL



AERIAL VIEW LOOKING NORTH-EAST

LARGE architecture

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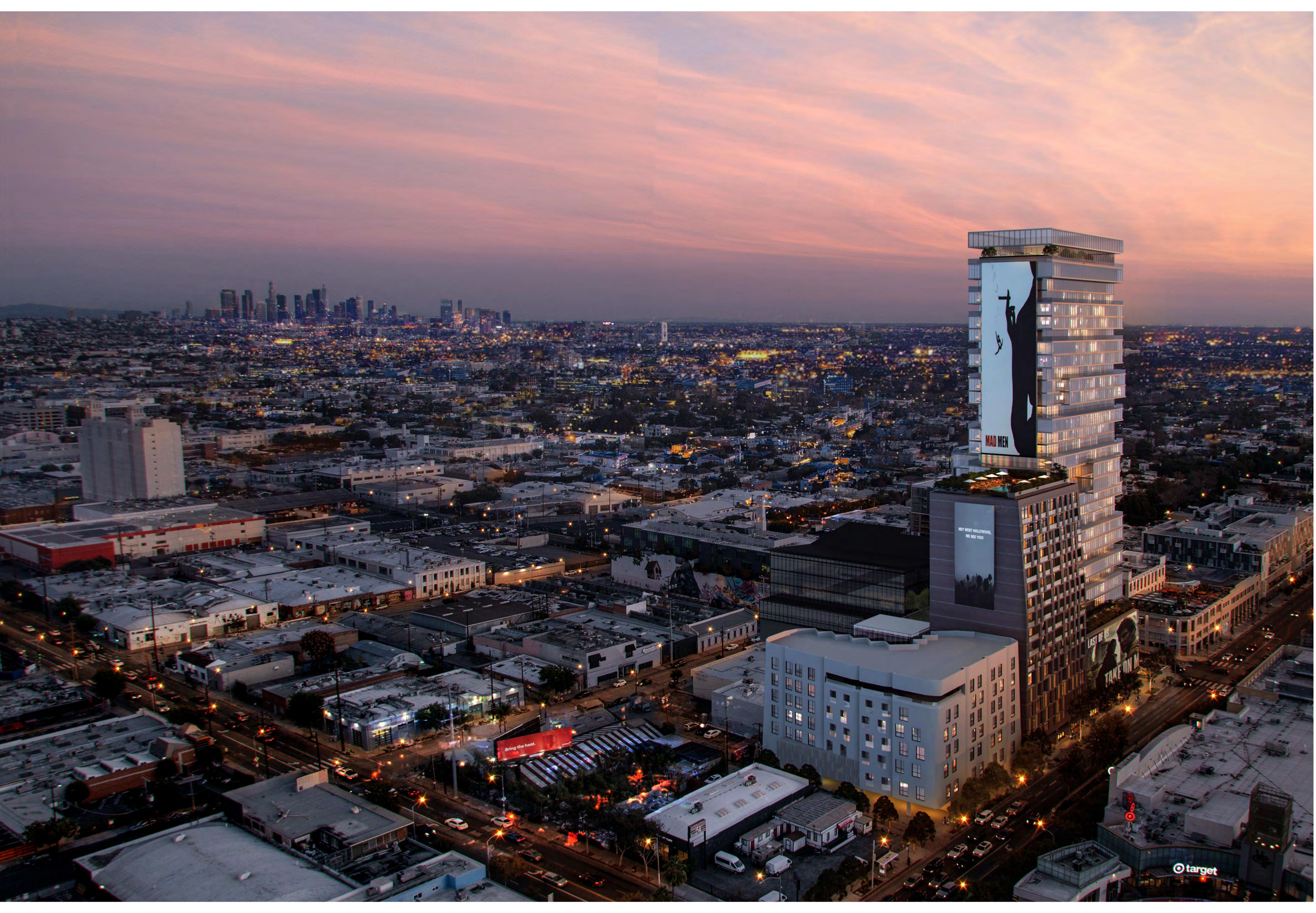
MEP ENGINEER

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AERIAL VIEW LOOKING SOUTH-EAST



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AERIAL VIEW LOOKING EAST

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MARKET ENTRY

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SIDEWALK LOOKING SOUTH

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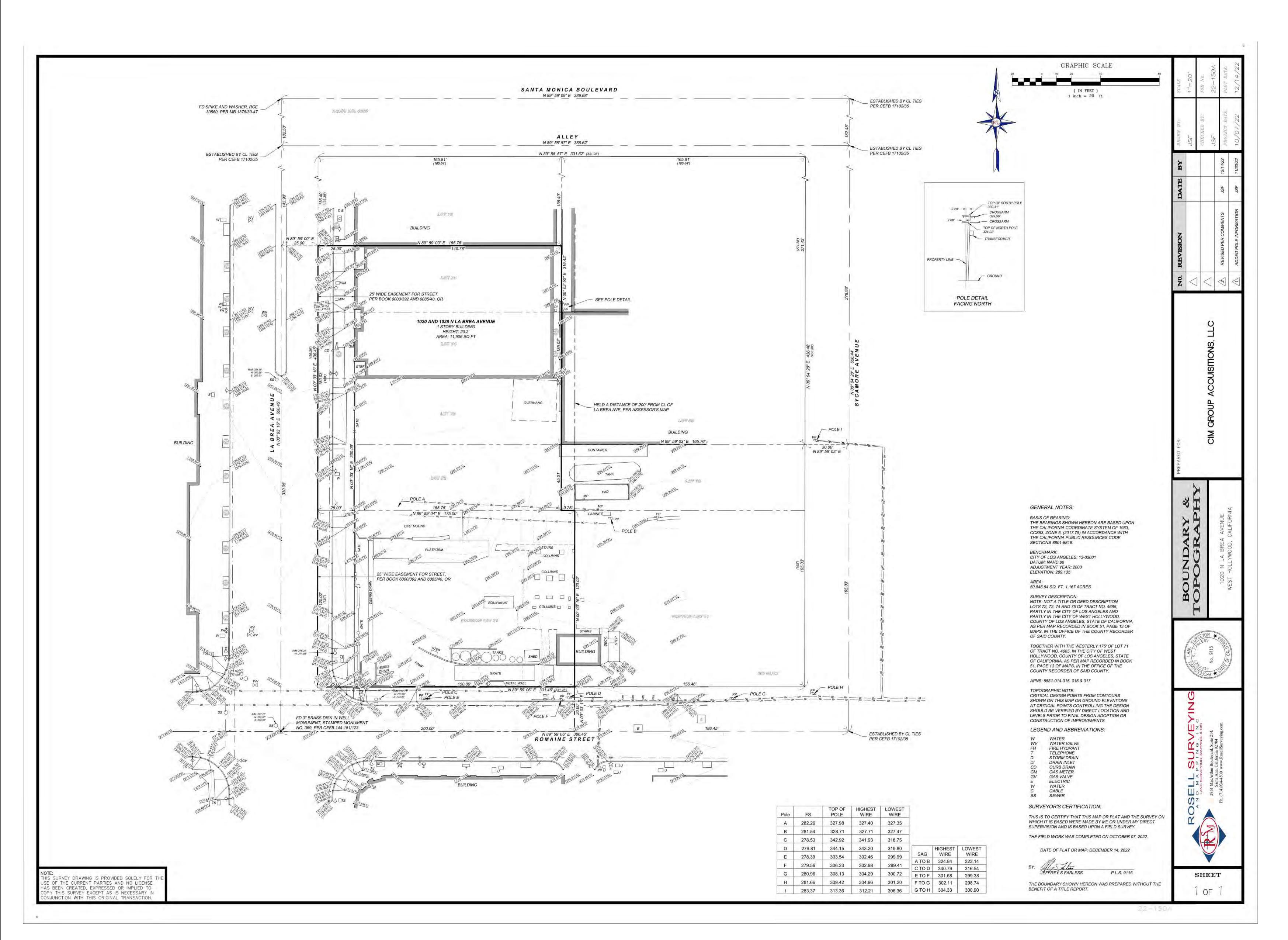
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MARKET ENTRY





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KEY PLAN:

NORTH

THESE PLANS ARE FOR REVIEW ONLY AND NOT FINAL PLANS UNLESS THEY INCLUDE THE SIGNATURE OF THE ARCHITECT/DESIGN ENGINEER AND THE APPROVAL OF THE APPROPRIATE GOVERNMENT AGENCIES.

NO. ISSUE DATE

XXX XX/XX/XXXX

1000 NORTH LA BREA

1000 N. LA BREA WEST HOLLYWOOD, CA 90038

SURVEY (FOR REFERENCE ONLY)

PROJECT SHEET NUMBER 2021-004
SCALE N.T.S

C LARGE architecture

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED PARTLY IN THE CITY OF LOS ANGELES AND PARTLY IN THE CITY OF WEST HOLLYWOOD, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOTS 70, 71, 72 AND 73 OF TRACT NO. 4685, PARTLY IN THE CITY OF LOS ANGELES AND PARTLY IN THE CITY OF WEST HOLLYWOOD, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 51, PAGE 13 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5531-014-013, 5531-014-014, 5531-014-015, 5531-014-016

PARCEL B:

LOTS 74 AND 75 OF TRACT NO. 4685, IN THE CITY OF WEST HOLLYWOOD, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 51, PAGE 13 OF MAPS, IN THE OFFICE OF THE RECORD OF SAID COUNTY.

APN: 5531-014-017

EXCEPTIONS TO TITLE;

Per Fidelity National Title Company Preliminary Report Order No. 002-30080562-TS4 Effective Date: JANUARY 21, 2022

A. Property taxes, which are a lien not yet due and payable, including any assessments collected with taxes to be levied for the fiscal year 2022-2023. (Not a survey item, not plotted) B. Propety Taxes, including any personal property taxes and any assessments collected with taxes. (Not a survey item, not plotted)

C. Propety Taxes, including any personal property taxes and any assessments collected with taxes. (Not a survey Item, not plotted) D. Propety Taxes, including any personal property taxes and any assessments collected with taxes.

(Not a survey Item, not plotted) E. Propety Taxes, including any personal property taxes and any assessments collected with taxes. (Not a survey Item, not plotted) F. Propety Taxes, including any personal property taxes and any assessments collected with taxes.

(Not a survey Item, not plotted) G. The lien of supplimental taxes or escapted assessments of property taxes, if any, made pursuant to the provisions of Chapter 3.5 (commencing with Section 75) or Part 2 , Chapter 3, Articles 3 and 4, respectively, of the Revenue and Taxation Code of the State of California as a result of the transfer of title of the vestee named in Schedule A or as a result of changes in ownership or new construction occurring prior to the date of Policy.

1. Water rights, claims or title to water, whether or not disclosed by the public records.

(Not a survey item, not plotted) THE FOLLOWING MATTERS AFFECT PARCEL A:

2. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, citizenship, immigration status, primary language, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that sald covenant or restriction is permitted by applicable law, as set forth in the document

Recording No: Book 325, Page 282 Official Records Modification(s) of said covenants, conditions and restrictions

Recording No: Book 7343, Page 295 Official Records Said covenants, conditions and restrictions provide that a violation thereof shall not defeat the lien of any mortgage or deed of trust made in good faith and for value. (Not a survey item, not plotted)

3. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, citizenship, immigration status, primary language, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document

Recording No: Book 1521, Page 297 Official Records

and Recording No: Book 1799, Page 76 Official Records Said covenants, conditions and restrictions provide that a violation thereof shall not defeat the llen of any mortgage or deed of trust made in good faith and for value.

Affects: Lot 70 (Not a survey item, not plotted) 4. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: (plotted on attached map) Purpose: public road purposes

Recording No: Book 4697, Page 90 Official Records

Affects: the Westerly 25 feet of Lot 71, as described therein 5. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: (plotted on attached map)

Purpose: public road and highway purposes Recording No. Book 6081, Page 12 Official Records

Affects: the Westerly 25 feet of Lots 72 and 73, as described therein 6. Easement(s) for the purpose(s) shown below and rights incidental thereto as set forth in a document: (plotted on attached map)

Purpose: underground electrical supply systems and communication systems Recording Date: May 18, 1989

Recording No: 89-805169 Official Records Affects: the South 5 feet of the East 40 feet of the West 65 feet of Lot 72, as described

7. The Land described herein is included within a project area of the Redevelopment Agency shown below, and that proceedings for the redevelopment of said project have been instituted under the Redevelopment Law (such redevelopment to proceed only after the adoption of the

Redevelopment Plan) as disclosed by a document. Redevelopment Agency: The West Hollywood Community Development Commission Recording Date: June 12, 1997 Recording No. 97-878019 Official Records (Not a survey item, not plotted)

8. The Land described herein is included within a project area of the Redevelopment Agency shown below, and that proceedings for the redevelopment of said project have been instituted under the Redevelopment Law (such redevelopment to proceed only after the adoption of the

Redevelopment Plan) as disclosed by a document. Redevelopment Agency: The West Hollywood Community Development Commission Recording Date: November 28, 2007

Recording No: 20072619385 Official Records (Not a survey item, not plotted) 9. The Land described herein is included within a project area of the Redevelopment Agency shown below, and that proceedings for the redevelopment of said project have been instituted under the Redevelopment Law (such redevelopment to proceed only after the adoption of the

Redevelopment Plan) as disclosed by a document. Redevelopment Agency: The West Hollywood Community Development Commission Recording Date: September 01, 2009 Recording No: 20091341514 Official Records (Not a survey Item, not plotted)

10. An uncorded lease with certain terms, covenants, conditions and provisions set forth therein as disclosed by the document Entitled: Memorandum of Lease Lessor: 8723 Rangely Properties, LLC, a California Limited Liability Company, AGA Ashcorft

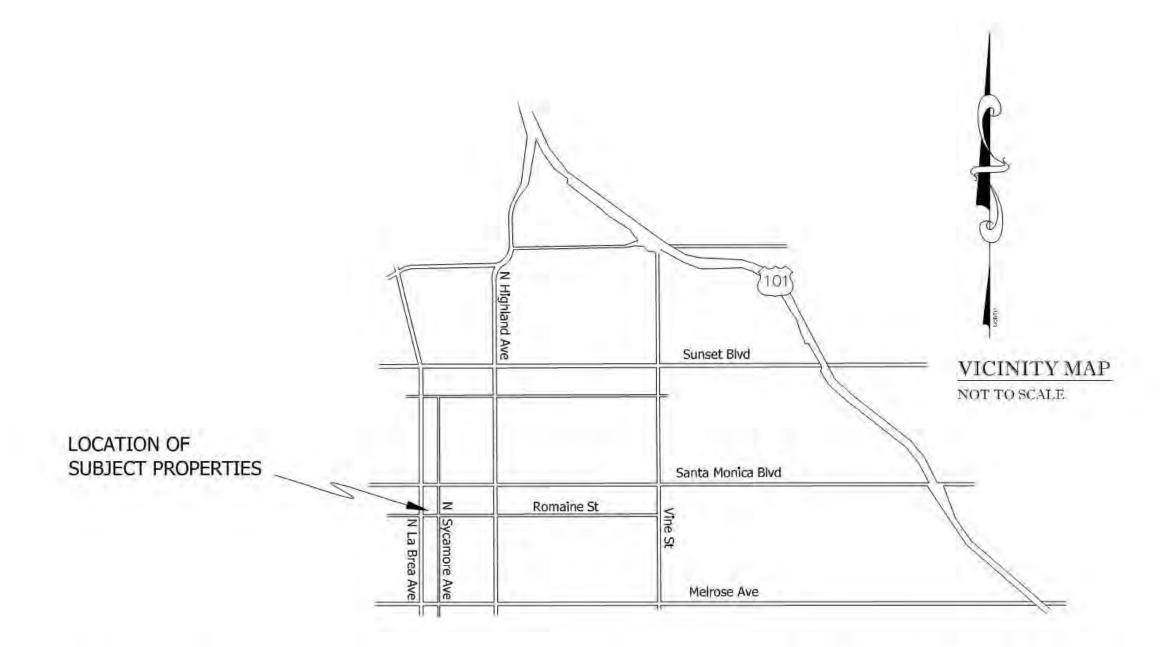
Rangely, LLC, a California Limited Liability Company and La Brea Land Company, LLC, a California Limited Liability Company Lessee: Cemex Constrution Materials Pacific, LLC, a Delaware Limited Liability Company

Recording Date: November 25, 2019

Recording No: 20191293048 of Official Records (Not a survey item, not plotted)

A.L.T.A./N.S.P.S. LAND TITLE SURVEY

1011 N. SYCAMORE AVE, LOS ANGELES, CA 1000, 1014,1020 N. LA BREA AVE, WEST HOLLYWOOD, CA



Per Fidelity National Title Company Preliminary Report Order No. 002-30080562-TS4 Effective Date: JANUARY 21, 2022

11. A deed of trust to secure the Indebtedness in the amount shown below: Amount: \$14,820,000.00

Dated: November 20, 2019 Trustor/Grantor: 8723 Rangely Properties, LLC, a California Limited Liability Company, as to an undivided 14.30241% interest: AGA Ashcorft Rangely, LLC, a California Limited Liability Company as to an undivided 34.10222% Interest; and La Brea Land Company, LLC, a California Limited Liability Company as to an undivided 51.59539 % interest, as tenants in common

Trustee: Nano Banc Beneficiary: Nano Banc

Recording Date: November 25, 2019 Recording No. 20191293049 of Official Records (not a survey item, not plotted)

THE FOLLOWING MATTERS AFFECT PARCEL B: 12. Rights of the public to any portion of the Land lying within the area commonly known as any

road, street or highway 13. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, citizenship, immigration status, primary

language, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the Recording No: Book 325, Page 282 of Official Records

14. Easement(s) for the purpose(s) shown below and rights indidental thereto as set forth in a

Purpose: Public Road and Highway

Recording No. Book 4666, Page 378 of Official Records Affects: Lots 74 and 75

15. The Land described herein is included within a project area of the Redevelopment Agency shown below, and that the proceedings for the redevelopment of said project have been instituted under the Redevelopment Law (such redevelopment to proceed only after the adoption of the Redevelopment Plan) as disclosed by a document: Redevelopment Agency: City of West Hollywood, the East Side Project Area

Recording Date: September 1, 2009 Recording No. 97-878029 of Official Records

Matters contained in that certain document Entitled: Statement of Commencemnent of Recevelopment Activities

Recording Date: June 12, 1997 Recording No. 20091341514 of Official Records Reference is hereby made to said document for full particulars

(Not a survey Item, not plotted) 16. A deed of trust to secure Indebtedness in the amount shown below Amount: \$3,400,000.00 Dated: January 12, 2017

Trustor/Grantor: Washington-Western, LLC a California Limited Liability Company

Trustee: Geracl Law Firm Beneficiary: Wallis State Bank, a Texas banking corporation Recording Date January 13, 2017

Recording No: 20170058509 of Official Records (not a survey item, not plotted)

17. A financing statement as follows: Debtor: Washington-Western, LLC, a California Limited Liability company Secured Party: Wallis State Bank, a Texas banking corporation

Recording Date: January 13, 2017 Recording No: 20170058510 (Not a survey item, not plotted)

EXCEPTIONS TO TITLE:

Per Fidelity National Title Company Preliminary Report Order No. 002-30080562-TS4 Effective Date: JANUARY 21, 2022

18. Subordination, Nondisturbance and Attornment Agreement, and the terms and conditions Lender: Walls State Bank, a Texas banking corporation

Tenant: Designers Views, Inc, a California corporation Landlord: Washington-Western, LLC, a Calforinia limited liability company Recording Date: February 17, 2017 Recording No: 20170197513 of Official Records

(not a survey Item, not plotted) 19. Subordination, Nondisturbance and Attornment Agreement, and the terms and conditions

Lender: Wallis State Bank, a Texas banking corporation Tenant: Designers Views, Inc, a California corporation

Landlord: Washington-Western, LLC, a Calforinia limited liability company Recording Date: February 17, 2017 Recording No: 20170197513 of Official Records (not a survey item, not plotted)

20. A financing statement as follows: Debtor: Washington-Western, LLC, a California limited liability company Secured Party: Wallis State Bank, a Texas banking corporation

Recording Date: March 28, 2017 Recording No: 20170337287

(Not a survey Item, not plotted) THE FOLLOWING MATTERS AFFECT ALL PARCELS

21. Any rights of the parties in possession of a portion of, or all of, said Land, which rights are not disclosed by the public records.

The Company will require, for review, a full and complete copy of any unrecorded agreement, contract, license and/or lease, together with all supplements, assignments and amendments thereto, before Issuing any policy of title insurance without excepting this item from coverage. The Company reserves the right to except additional Items and/or make additional requirements after reviewing said documents.

(Not a survey Item, not plotted) 22. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other matters which a correct survey would disclose and which are not shown by the public records. 23. Any easements not disclosed by the public records as to matters affecting title to real property,

whether or not said easements are visible and apparent. 24. Matters which may be disclosed by an inspection and/or by a correct ALTA/NSPS Land Title Survey of said Land that is satisfactory to the Company, and/or by inquiry of the parties in possession thereof.

NOTES:

1) ELEVATIONS ARE BASED ON CITY OF L.A. SEWER MANHOLE NO. 49204063 LOCATED AT THE INTERSECTION OF LA BREA AVE. & ROMAINE ST. LID ELEVATION = 274.80 FT

2) DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMALS THEREOF.

BASIS OF BEARINGS:

The bearing of N00°00'30"W, along La Brea Avenue, as shown on the map of Tract No. 4685, as recorded in Book 51, Pages 13 of Maps in the Official Records of Los Angeles County was taken as the Basis of Bearings for this survey.

FLOOD ZONE STATEMENT

Sald property with an adress of 1011 N. Sycamore Ave. Is located within an area having a flood zone designation of Zone X by the Secretary of Housing and Urban Development on Flood Insurance Rate Map no. 06037C1605F with a date of identification of 09 / 26 / 2008, for Community Number 060137 in the City of Los Angeles, State of California, which is the most current Flood Insurance Rate Map for the community in which the property is situated. Said property with an adress of 1000 & 1014 N. La Brea Ave, is located within an area having a flood zone designation of Zone X by the Secretary of Housing and Urban Development on Flood Insurance Rate Map no. 06037C1605F with a date of identification of 09 / 26 / 2008, for

Community Number 060720 in the City of West Hollywood, State of California, which is the most

current Flood Insurance Rate Map for the community in which the property is situated.

STATEMENT OF ENCROACHMENTS:

This survey has found evidence of encroachments over the property line(s). Said encroachments are listed below. See attached map for details.

1) A building corner encroachment at the north end of Assessor's Parcel No.

2) A building encroachment at the north end of Assessor's Parcel No. 5531-014-013.

 A wall encroachment at the east end of Assessor's Parcel No's. 5531-014-013 & 014, along Sycamore Ave right of way.

4) A wall encroachment at the south end of Assessor's Parcel No's, 5531-014-014 & 015, along Romaine St right of way.

PARKING REPORT:

There are no clearly marked parking spaces on subject property.

SURVEYOR'S NOTES:

1. For ownership title evidence reference is made to the title insurance company report named from the surveyor's statement hereon.

2. The utility information shown is based on observable evidence. There is no guarantee as to the accuracy or completeness of said data. For further information please contact the appropriate agencies. sprinkler heads, irrigation lines are not shown hereon utilities are shown from face of curb to property line only.

3. In accordance with section 8770.6 of the Business and Professions Code, State of Callfornia, the use of the word "certify" (or variation thereof) on the document means an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee, either expressed or implied.

4. Land area: 5531-014-013 7,453 SF 5531-014-014 18,758 SF 5531-014-015 18,002 SF 5531-014-016 12,657 SF 5531-014-017 12,657 SF Total: 69,527 sq. ft., 1.59 acres

5. Date of field work: July, 2019 (original survey) February 15, 2022 (updated survey)

6. Assessor's Parcel No(s): 5531-014-013, 5531-014-014, 5531-014-015, 5531-014-016,

7. There is evidence of active construction on the east side of the property located at 1100 N. Sycamore Ave., Assessor's Parcel No. 5534-014-014, See the attached map.

8. There is no evidence of changes within the street right of way.

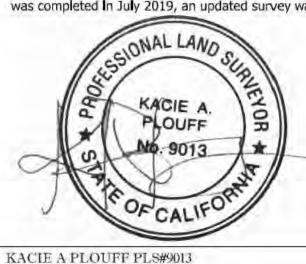
There is no evidence of use as a landfill or waste dump.

10. The subject property does not lie in a wetlands area.

SURVEYOR'S CERTIFICATION:

To: CIM Group Acquisitions, LLC And: Fragner Seifert Pace & Mintz, LLP And: Fidelity National Title Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 6(a), 7(b)(1), 7(c), 8, 9, 11, 13, 14, 16, 17, 19 and 20 of Table A thereof. The field work was completed in July 2019, an updated survey was completed February 15, 2022



1 OF 2

ROJECT NO.

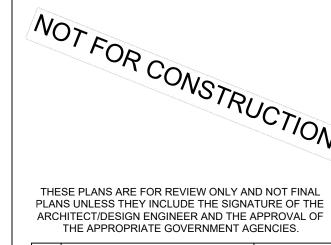
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20 H P Z

RE AVEN LA BREZ INTY OF ATE OF (AMO 20 N. COU ST.

KEY PLAN:



6420 WILSHIRE BLVD. #1000 LOS ANGELES, CA 90048

310.926.0248

LARGE architecture
1551 SOUTH ROBERTSON BOULEVARD

Magnusson Klemencic Associates 1301 FIFTH AVE. SUITE 3200

LANDSCAPE ARCHITECT

DK ENGINEER, CORP 6420 WILSHIRE BLVD, SUITE 1000

LOS ANGELES, CA 90048

TEL: 310.926.0248

PAMELA BURTON & COMPANY

OWNER

CIM Group 4700 WILSHIRE BLVD

LOS ANGELES, CA 90010

LOS ANGELES, CA 90035

TEL: 323.860.4900

CONSULTANTS

ARCHITECT

TEL: 310.553.1959

STRUCTURAL

SEATTLE, WA 98101 TEL: 206.292.1200

1430 OLYMPIC BLVD

TEL: 310.828.6373

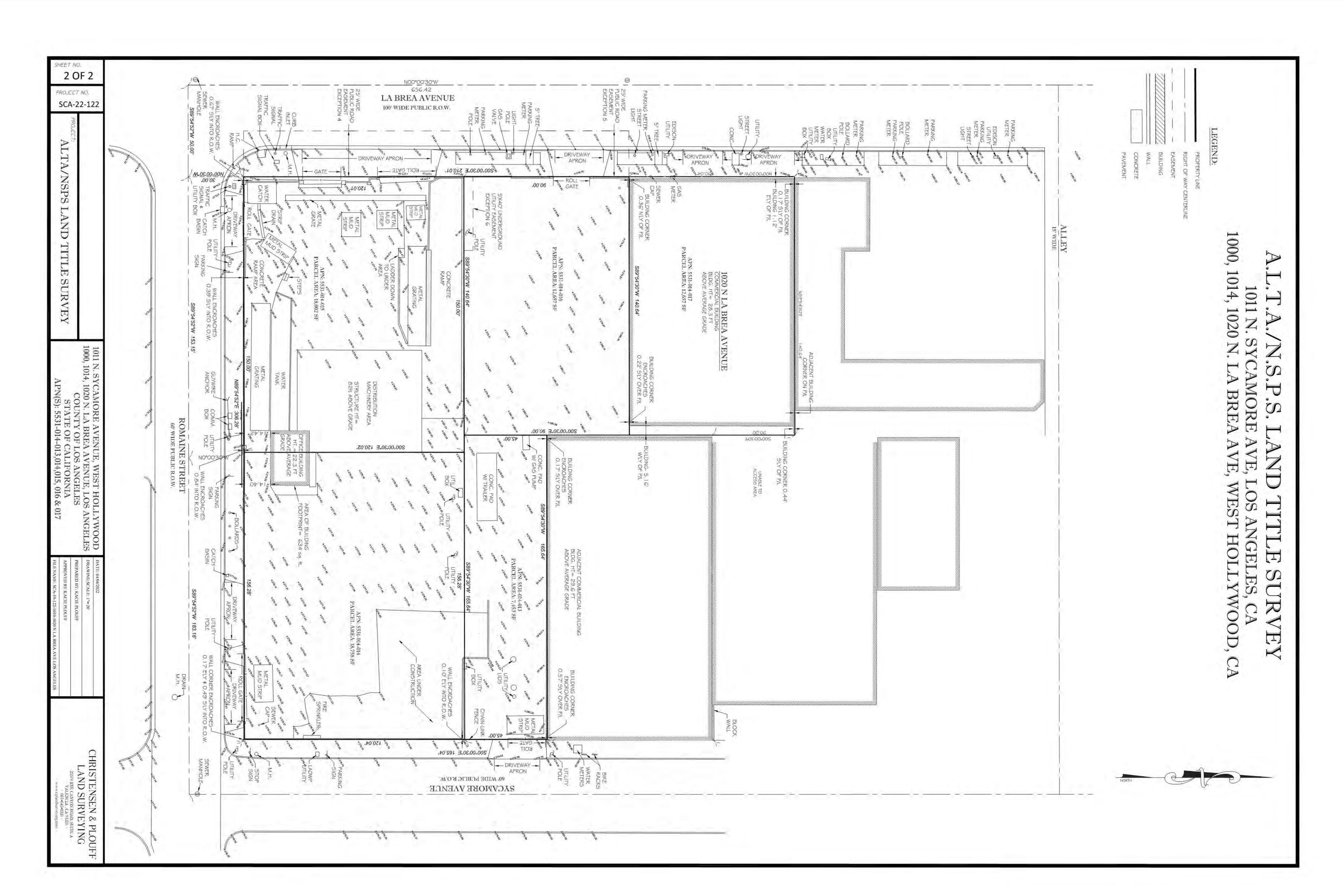
SANTA MONICA, CA 90404

1000 NORTH LA BREA

1000 N. LA BREA WEST HOLLYWOOD, CA 90038

ALTA SURVEY (FOR REFERENCE ONLY)

C LARGE architecture



DK ENGINEER, CORP 6420 WILSHIRE BLVD. #1000 LOS ANGELES, CA 90048 310.926.0248

<u>OWNER</u>

CIM Group 4700 WILSHIRE BLVD LOS ANGELES, CA 90010 TEL: 323.860.4900 **CONSULTANTS**

ARCHITECT

LARGE architecture 1551 SOUTH ROBERTSON BOULEVARD LOS ANGELES, CA 90035 TEL: 310.553.1959 STRUCTURAL Magnusson Klemencic Associates 1301 FIFTH AVE, SUITE 3200 SEATTLE, WA 98101 TEL: 206.292.1200

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PAMELA BURTON & COMPANY 1430 OLYMPIC BLVD SANTA MONICA, CA 90404 TEL: 310.828.6373

DK ENGINEER, CORP 6420 WILSHIRE BLVD, SUITE 1000 LOS ANGELES, CA 90048 TEL: 310.926.0248

KEY PLAN:

THESE PLANS ARE FOR REVIEW ONLY AND NOT FINAL PLANS UNLESS THEY INCLUDE THE SIGNATURE OF THE ARCHITECT/DESIGN ENGINEER AND THE APPROVAL OF THE APPROPRIATE GOVERNMENT AGENCIES.

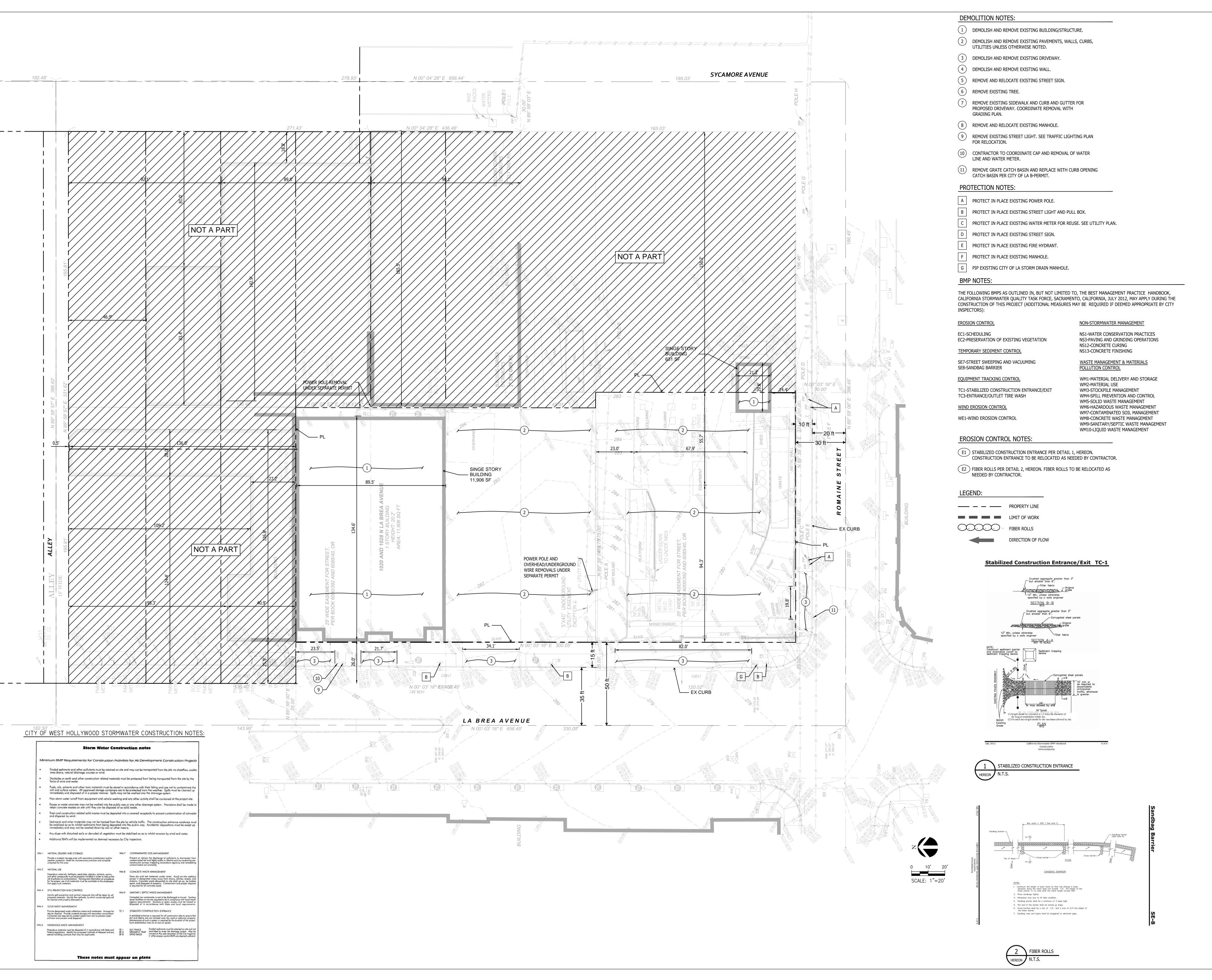
1000 NORTH LA BREA

1000 N. LA BREA WEST HOLLYWOOD, CA 90038

ALTA SURVEY (FOR REFERENCE ONLY)

PROJECT

C LARGE architecture



6420 WILSHIRE BLVD. #1000 LOS ANGELES, CA 90048

310.926.0248

<u>OWNER</u> CIM Group 4700 WILSHIRE BLVD LOS ADDRESS, CA 90010

TEL: 323.860.4900

TEL: 310.553.1959

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1551 SOUTH ROBERTSON BOULEVARD LOS ANGELES, CA 90035

STRUCTURAL Magnusson Klemencic Associates 1301 FIFTH AVE, SUITE 3200 SEATTLE, WA 98101 TEL: 206.292.1200

LANDSCAPE ARCHITECT PAMELA BURTON & COMPANY 1430 OLYMPIC BLVD SANTA MONICA, CA 90404

DK ENGINEER, CORP 6420 WILSHIRE BLVD, SUITE 1000 LOS ANGELES, CA 90048





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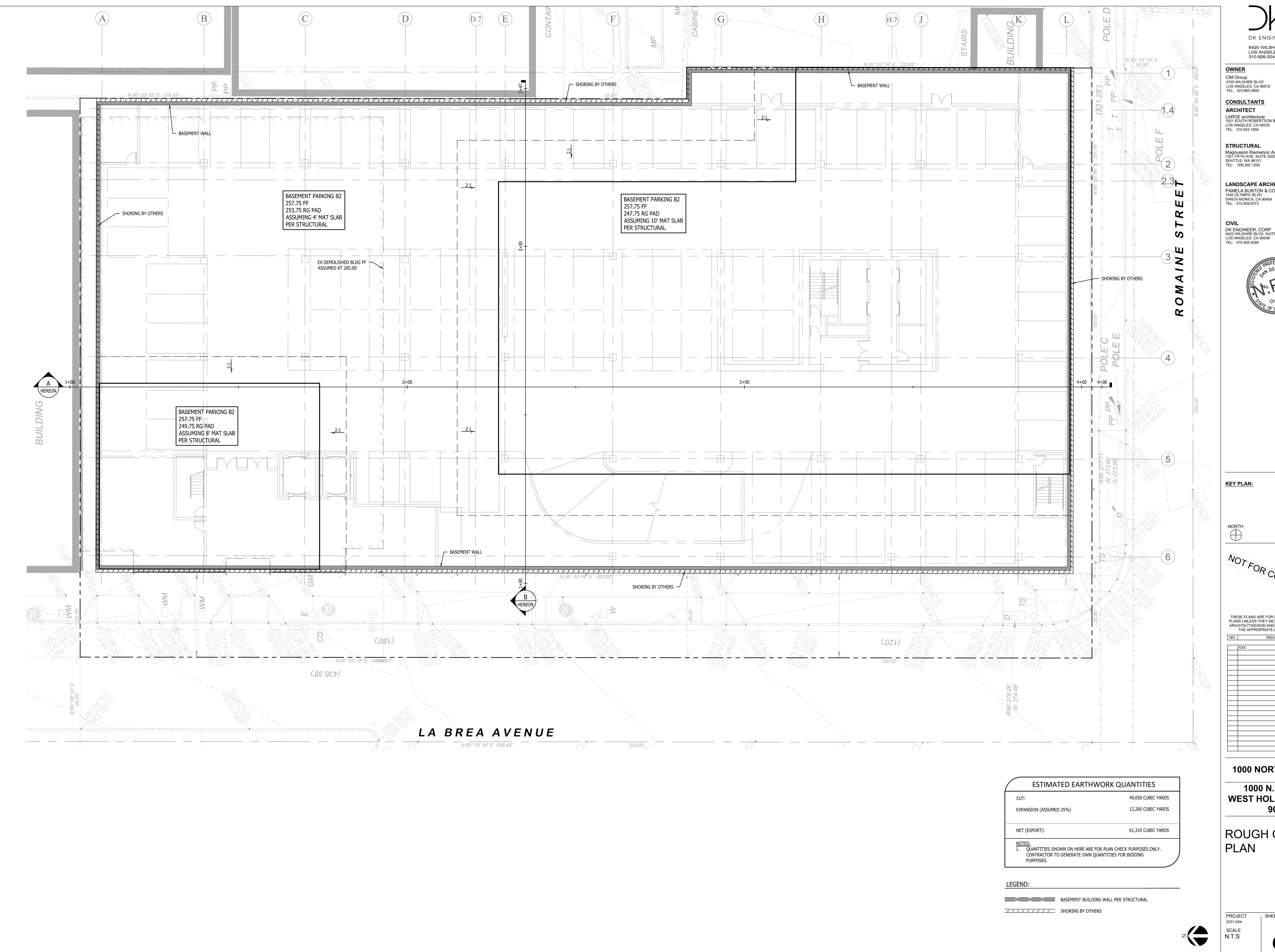
1000 NORTH LA BREA

1000 N. LA BREA WEST HOLLYWOOD, CA 90038

EROSION CONTROL AND DEMOLITION PLAN

PROJECT SHEET NUMBER 2021-004 SCALE N.T.S

C LARGE architecture



6420 WILSHIRE BLVD. #1000 LOS ANGELES, CA 90048 310.926.0248

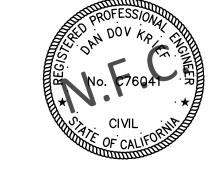
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CONSULTANTS ARCHITECT LARGE architecture
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STRUCTURAL Magnusson Klemencic Associates 1301 FIFTH AVE, SUITE 3200 SEATTLE, WA 98101 TEL: 206.292.1200

LANDSCAPE ARCHITECT PAMELA BURTON & COMPANY 1430 OLYMPIC BLVD SANTA MONICA, CA 90404

DK ENGINEER, CORP 6420 WILSHIRE BLVD, SUITE 1000 LOS ANGELES, CA 90048



KEY PLAN:

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1000 NORTH LA BREA

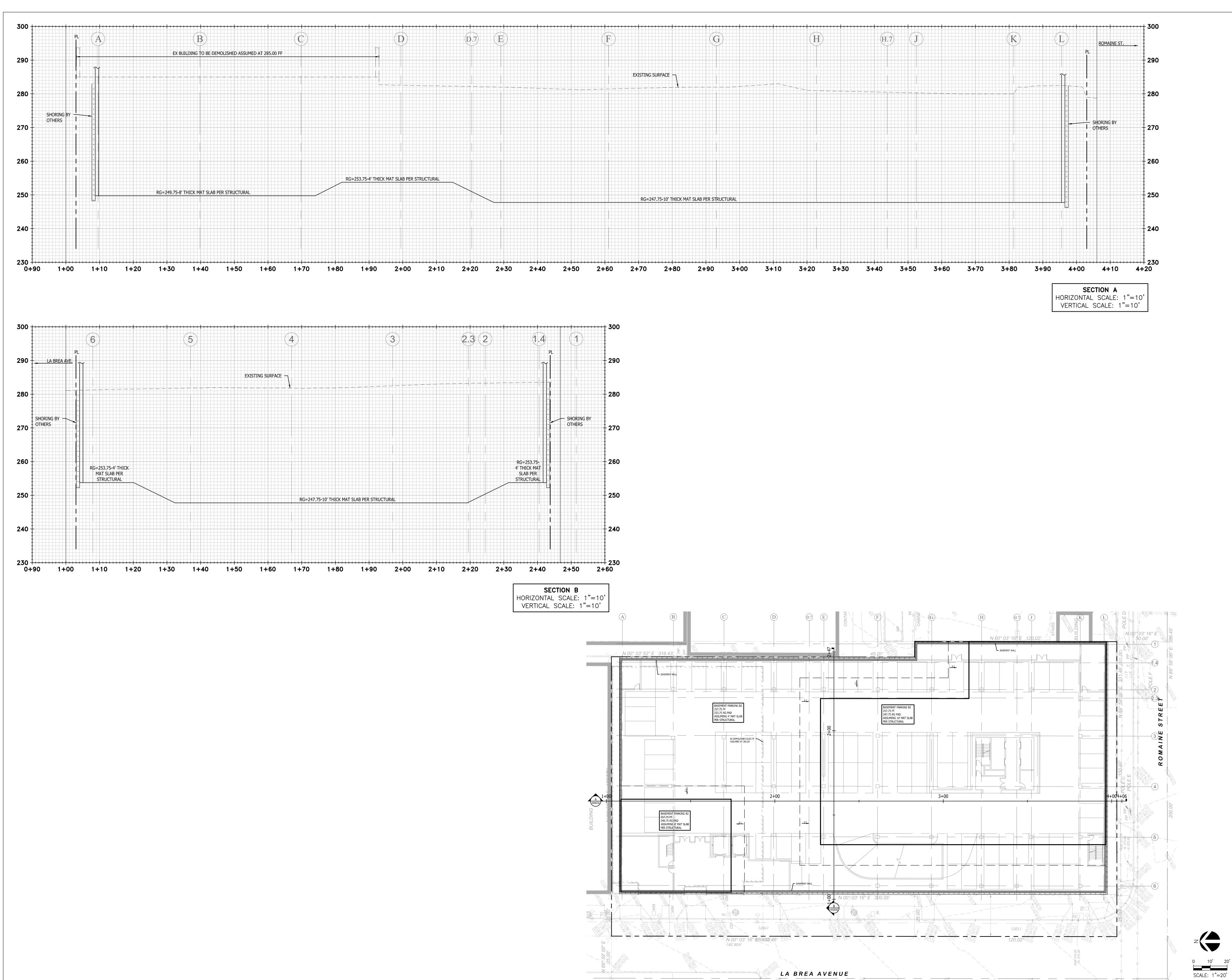
1000 N. LA BREA WEST HOLLYWOOD, CA 90038

ROUGH GRADING PLAN

PROJECT

C1.20

SHEET NUMBER



DK ENGINEER, CORP

6420 WILSHIRE BLVD. #1000
LOS ANGELES, CA 90048
310.926.0248

OWNER

CIM Group
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CONSULTANTS

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STRUCTURAL

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SANTA MONICA, CA 90404
TEL: 310.828.6373

CIVIL

DK ENGINEER, CORP
6420 WILSHIRE BLVD, SUITE 1000
LOS ANGELES, CA 90048
TEL: 310.926.0248



KEY PLAN:

NORTH

THESE PLANS ARE FOR REVIEW ONLY AND NOT FINAL PLANS UNLESS THEY INCLUDE THE SIGNATURE OF THE ARCHITECT/DESIGN ENGINEER AND THE APPROVAL OF THE APPROPRIATE GOVERNMENT AGENCIES.

ARCHITECT/DESIGN ENGINEER AND THE APPROVAL THE APPROPRIATE GOVERNMENT AGENCIES.

NO. ISSUE DATE

XXX XX/XX/XXX

1000 NORTH LA BREA

1000 N. LA BREA WEST HOLLYWOOD, CA 90038

ROUGH GRADING SECTIONS

PROJECT 2021-004 SCALE

