

Appendix C

Cultural Resources Technical Report

**Cultural Resources Technical Report
East End Studios at 6th and Alameda**

1206 East 6th Street
Los Angeles, CA



June 2024

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I. INTRODUCTION AND EXECUTIVE SUMMARY

This technical report evaluates potential direct and indirect impacts of the proposed East End Studios Art District Los Angeles (proposed project) on historical resources. Encompassing nearly fifteen acres, the proposed project consists of twenty two new buildings the majority of which are intended to be used as motion picture and television production studio soundstages, as well as two office buildings and other support buildings. The proposed project is located at 1206 East 6th Street in downtown Los Angeles (hereinafter referred to as “subject properties” or collectively as “subject property”). The subject properties span three assessor parcels – 5164-010-003, 5164-010-004, and 5164-010-005 - and are bounded by East 6th Street to the north, Alameda Street to the west, Wholesale Street to the south (now private), and Mill Street to the east. Located at the southeast corner of East 6th and Alameda Streets, the properties are currently developed with two warehouse buildings constructed in 1963 and 1968. The subject properties are not included in the California Office of Historic Preservation maintained Built Environment Resource Directory. Furthermore, they were not identified in SurveyLA as appearing eligible for designation.

The report includes evaluation of whether or not the subject properties are eligible for listing in the National Register of Historic Places (National Register) and California Register of Historical Resources (California Register), as City of Los Angeles Historic-Cultural Monuments (HCMs) or contributors to any HPOZ. This evaluation relies heavily on the historic context statement prepared for SurveyLA for Industrial Development,¹ specifically under theme “Agricultural Roots, 1850-1965” and subtheme “From Farm to Market, 1900-1960.” The evaluation is based on written guidance produced by the National Park Service (NPS) for evaluating historic properties in National Register Bulletin #15,² *How to Apply the National Register Criteria for Evaluation*, as well as on guidance provided by the California Office of Historic Preservation (OHP), accepted professional practices, and experience with similar properties.

The assessment concludes that the properties do not appear eligible for listing in the National or California Registers, nor for local designation under the City of Los Angeles Cultural Heritage or Historic Preservation Overlay Zone Ordinances. This determination is the result of a site inspection; site-specific and contextual research in primary and secondary sources; and application of the criteria of significance within the appropriate historic context.

Although the subject properties do not appear eligible for designation and are not historical resources, they are located adjacent to a potential historic district identified in SurveyLA, the City of Los Angeles’ citywide historic resources survey. The Downtown Los Angeles Industrial Historic District received a California Historical Resource Status Codes 3S, 3CS, and 5S3, which means it appears eligible for listing in the National Register, California Register, and locally as a City of Los Angeles HPOZ.³

¹ LSA Associates, Inc., “Los Angeles Citywide Historic Context Statement: Industrial Development, 1850-1980,” prepared for the City of Los Angeles, Department of Planning, Office of Historic Resources, September 2011, revised February 2018.

² Rebecca H. Shrimpton, ed., National Register Bulletin, #15, *How to Apply the National Register Criteria for Evaluation*, (National Park Service, 1990) revised 1997 by Patrick W. Andrus. This bulletin is available at the web site, <http://www.nps.gov/history/nr/publications/bulletins/nrb15/>.

³ Historic Resources Group, “Central City North Community Plan Area: Historic Districts, Planning Districts, and Multi-Property Resources,” prepared for the City of Los Angeles, Department of City Planning, Office of Historic Resources, September 2016.

This technical report considers direct and indirect impacts of the proposed project on identified adjacent and nearby historical resources and concludes that no direct impacts to any adjacent buildings located within the Downtown Los Angeles Industrial Historic District are anticipated. In addition, it is not anticipated that the proposed project will have an indirect impact on the setting of the adjacent historic district as it will not destroy the setting of that identified historic district. Therefore, potential indirect impacts to historical resource are less than significant.

This report was prepared by Jenna Snow. Editorial support and peer review were provided by Kathryn McGee. Qualifications are included in Attachment F.

II. METHODOLOGY

Jenna Snow visited and photographed the site and immediate surroundings on August 11, 2022. Jenna Snow also visited the site February 13, 2015 and April 26, 2017. Research included the following primary resources:

Sanborn Maps: Historic Sanborn fire insurance maps depict early building footprints, land uses, and property addresses. A Sanborn map report for the subject property and surrounding area was ordered from Environmental Data Resources, Inc. (EDR) and relevant maps are included in the attachments to this report. Coverage is available for 1954, 1967, and 1970.

Historic Photographs: Historic photograph databases are available online through the Los Angeles Public Library, University of Southern California, California State Library, and the Huntington Library. No historic photographs were located in any of the above repositories.

Aerial Photos: Historic aerial photographs showing early building footprints and patterns of urban development are digitized and available online through University of California Santa Barbara. Relevant aerials are included in the attachments to this report.

Newspaper articles: Historic newspapers, including the *Los Angeles Times*, are digitized and searchable at newspapers.com. Relevant articles are referenced in this report.

Secondary sources consulted include historic contexts presented in the following reports:

“Central City North Community Plan Area: Historic Resources Survey Report” and “Central City North Community Plan Area: Historic Districts, Planning Districts, and Multi-Property Resources,” prepared by Historic Resources Group for the City of Los Angeles, Department of City Planning, Office of Historic Resources, September 2016.

“Los Angeles Citywide Historic Context Statement: Industrial Development, 1850-1980,” prepared by LSA Associates, Inc. for the City of Los Angeles, Department of Planning, Office of Historic Resources, September 2011, revised February 2018.

III. REGULATORY SETTING

Federal

National Register

The National Register of Historic Places is “an authoritative guide to be used by federal, state, and local governments, private groups, and citizens to identify the nation’s cultural resources and indicate what properties should be considered for protection from destruction or impairment,”⁴ Administered by the National Park Service, the National Register is the nation’s official list of historic and cultural resources worthy of preservation. Properties listed in the National Register include districts, sites, buildings, structures, and objects that are significant in American history, architecture, archaeology, engineering, and culture. Resources are eligible for the National Register if they meet one or more of the following criteria for significance:

- A) Are associated with events that have made a significant contribution to the broad patterns of our history; or
- B) Are associated with the lives of significant persons in our past; or
- C) Embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D) Have yielded or may be likely to yield, information important in history or prehistory.⁵

Once a resource has been determined to satisfy one of the above criteria, then it must be assessed for “integrity.”⁶ Integrity refers to the ability of a property to convey its significance. Evaluation of integrity is based on “an understanding of a property’s physical features and how they relate to its significance.” The National Register recognizes seven aspects or qualities of integrity: location, design, setting, materials, workmanship, feeling, and association. To retain integrity, a property must possess several, and usually most, of these aspects.

Relationship to Project

The subject properties are not listed in the National Register, and for the reasons stated in this report, do not appear to meet National Register eligibility requirements. The subject properties are adjacent to the Downtown Los Angeles Industrial Historic District, identified in SurveyLA as an historic district eligible for listing in the National Register.⁷ Therefore, potential indirect impacts of the proposed project to the setting of the district are studied in this report.

State

California Register

Based substantially on the National Register, the California Register is “an authoritative guide... used by state and local agencies, private groups, and citizens to identify the state’s historical

⁴ National Register Bulletin #16A: *How to Complete the National Register Registration Form* (National Park Service, 1997).

⁵ National Register Bulletin #15, *How to Apply the National Register Criteria for Evaluation* (National Park Service, 1990, revised 2002).

⁶ National Register Bulletin #15, *How to Apply the National Register Criteria for Evaluation* (National Park Service, 1990, revised 2002).

⁷ Historic Resources Group, “Central City North Community Plan Area: Historic Districts, Planning Districts, and Multi-Property Resources,” prepared for the City of Los Angeles, Department of City Planning, Office of Historic Resources, September 2016.

resources and to indicate what properties are to be protected.”⁸ For a property to be eligible for listing in the California Register, it must be found by the State Historical Resources Commission to be significant under at least one of the following four criteria:

- 1) Is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage; or
- 2) Is associated with the lives of persons important in our past; or
- 3) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual or possesses high artistic values; or
- 4) Has yielded, or may be likely to yield, information important in prehistory or history.

Also included in the California Register are properties which have been formally determined eligible for listing in, or are listed in the National Register; are registered State Historical Landmark Number 770, and all consecutively numbered landmarks above Number 770; and Points of Historical Interest, which have been reviewed and recommended to the State Historical Resources Commission for listing.

Relationship to Project

The subject properties are not listed in the California Register, and for the reasons stated in this report, do not appear to meet California Register eligibility requirements for individual listing. The subject properties are adjacent to the Downtown Los Angeles Industrial Historic District, identified in SurveyLA as an historic district eligible for listing in the California Register.⁹ Therefore potential impacts of the proposed project to the setting of the district are studied in this report.

California Environmental Quality Act (CEQA)

The purpose of CEQA is to evaluate whether a proposed project may have an adverse effect on the environment and, if so, if that effect can be reduced or eliminated by pursuing an alternative course of action or through mitigation. The *Guidelines for California Environmental Quality Act* (CEQA Guidelines) are the regulations that govern the implementation of CEQA. The CEQA Guidelines are codified in the California Code of Regulations (CCR), Title 14, Chapter 3, § 15000 et seq. and are binding on state and local public agencies. The basic goal of CEQA is to develop and maintain a high-quality environment now and in the future.

CEQA defines a historical resource as:

a resource listed in, or determined eligible for listing in, the California Register of Historical Resources. Historical resources included in a local register of historical resources..., or deemed significant pursuant to criteria set forth in subdivision (g) of Section 5024.1, are presumed to be historically or culturally significant for purposes of this section, unless the preponderance of the evidence demonstrates that the resource is not historically or culturally significant (California Public Resources Code, PRC §21084.1).

⁸ California Public Resources Code §5024.1(a), <<http://codes.lp.findlaw.com/cacode/PRC/1/d5/1/2/s5024.1>>.

⁹ Historic Resources Group, “Central City North Community Plan Area: Historic Districts, Planning Districts, and Multi-Property Resources,” prepared for the City of Los Angeles, Department of City Planning, Office of Historic Resources, September 2016.

Relationship to Project

Although the buildings at the subject properties are not currently designated nor do they appear eligible for listing in the National or California Registers, they are located adjacent to the identified Downtown Los Angeles Industrial Historic District, which is presumed to be a historical resource under CEQA.

Local

City of Los Angeles

§22.171.7 of the Los Angeles Administrative Code defines criteria for designation of a Historic-Cultural Monument (HCM). For ease in applying local eligibility, the following numbers are assigned to the criteria, which align, to a large degree, with National and California Register criteria.

Resources eligible for HCM designation are:

- 1) Historic structures or sites in which the broad cultural, economic or social history of the nation, state or community is reflected and exemplified; identified with important events in the main currents of national, state, or local history; or
- 2) Historic structures or sites identified with personages in the main currents of national, state or local history; or
- 3) Historic structures or sites which embody the distinguishing characteristics of an architectural type specimen, inherently valuable for a study of a period style or method of construction or a notable work of a master builder, designer, or architect whose individual genius influenced his age.

While National and California register criteria apply to individual sites as well as districts, local historic district criteria are contained in separate legislation. According to §12.20.3 of the Los Angeles Municipal Code, which became effective on May 12, 2004, a Historic Preservation Overlay Zone (HPOZ) “is any area of the City of Los Angeles containing buildings, structures, landscaping, natural features or lots having historic, architectural, cultural or aesthetic significance and designated as a Historic Preservation Overlay Zone.” Contributing resources must meet at least one of the following criteria:

1. Adds to the historic architectural qualities or historic associations for which a property is significant because it was present during the period of significance, and possess historic integrity reflecting its character at that time.
2. Owing to its unique location or singular physical characteristics, represents an established feature of the neighborhood, community, or City.
3. Retaining the structure would help preserve and protect an historic place or area of historic interest in the City.¹⁰

Relationship to Project

The subject properties are not individually listed as HCMs or contributors to any HPOZ and, for the reasons stated in this report, do not meet eligibility requirements for individual listing. The subject properties are adjacent to the Downtown Los Angeles Industrial Historic District, identified

¹⁰ *Cultural Heritage Masterplan*, 45. City of Los Angeles Cultural Affairs Department. Adopted 2000. Web. May 2016.

in SurveyLA as an historic district eligible for listing as a local historic district (HPOZ).¹¹ Therefore, potential indirect impacts of the proposed project to the setting of the district are studied in this report.

¹¹ Historic Resources Group, “Central City North Community Plan Area: Historic Districts, Planning Districts, and Multi-Property Resources,” prepared for the City of Los Angeles, Department of City Planning, Office of Historic Resources, September 2016.

IV. HISTORIC CONTEXT

The subject properties are surrounded on three sides by an area identified in SurveyLA as a potential historic district, the Downtown Los Angeles Industrial Historic District. Even though the subject properties are not included within the boundaries, it is appropriate to consider them within the same historic context. The following historic context is excerpted from the statement of that identified historic district included in “SurveyLA Citywide Historic Context Statement; Industrial Development, 1850-1980.”¹²

The Downtown Los Angeles Industrial Historic District is significant for its role in the industrial history and development of Los Angeles. The district as a whole served as the city’s primary industrial district from the late-19th century through World War II. The district’s period of significance is 1900 to 1940, when most of the original buildings in the district were constructed. Contributors not only represent important industries and industrial building typologies, but also reflect significant examples of architectural styles of the day applied to industrial buildings and were often the work of noted architects and designers. Buildings in the district are also associated with the ethnic/cultural and labor histories of the area. Some contributors within the district have also been evaluated for individual significance.

The land comprising the district was first improved as part of a vineyard operated by Jean-Louis Vignes, who arrived in Los Angeles from France in 1831... However, the landscape of the district evolved during the last decades of the 19th century as rail lines and manufacturing plants emerged to serve the citrus industry’s shipping needs. Soon the character of the district would be redefined by the presence of the railroad.

Until the 1870s, only local rail lines ran through Los Angeles. But in 1876, the opening of the Southern Pacific Railroad line from San Francisco linked the city with the transcontinental railroad. A depot for the Southern Pacific line was constructed at the southwest corner of Alameda and 5th streets, immediately adjacent to the district. The Atchison, Topeka, and Santa Fe Railroad (AT&SF) constructed a depot and freight yards south of 1st Street in 1885, on the northern edge of the district. In 1893, the company also constructed the distinctive Moorish Revival-style La Grande Station at 2nd and Santa Fe streets, in the northeastern part of the district. The Atchison, Topeka & Santa Fe Railway Outbound Freight House (known as the Santa Fe Freight Depot) was constructed in 1906 to accommodate the majority of goods shipped out of Los Angeles on rail by the AT&SF. Located on the eastern edge of the district, the building is now occupied by the Southern California Institute of Architecture (SCI-Arc) and is Los Angeles Historic-Cultural Monument No. 95). It was originally paired with the AT&SF Railway Inbound Freight House directly across Santa Fe Avenue. Today, the AT&SF Outbound Freight House stands as the last remaining historic reference to the Atchison, Topeka, and Santa Fe Railroad along Santa Fe Avenue in Los Angeles. While most of these early railroad buildings have been lost, their locations and relative proximity to one another motivated the

¹² “Los Angeles Citywide Historic Context Statement: Industrial Development, 1850-1980,” prepared by LSA Associates, Inc. for the City of Los Angeles, Department of Planning, Office of Historic Resources, September 2011, revised February 2018, 167-170.

development of the surrounding area as an industrial district. Within a few years, businesses had begun to capitalize on the convenience of locating their operations near the rail lines, and a small concentration of manufacturing and warehouse facilities had sprung up in the area between Alameda Street and Santa Fe Avenue.

By the turn of the 20th century, a range of manufacturers and processing companies had established themselves in the area. A 1909 map of the area notes a number of warehouses and storage facilities, as well as a wide variety of processing and manufacturing operations – including lumber yards, freight yards, ice and cold storage, slaughterhouses and meatpackers, produce companies and canneries, and blacksmiths, among others. As the railroads increased mobility, Los Angeles ceased to be simply a market for manufactured goods produced in San Francisco and the East, but began to support local industries as well. Similarly, as agricultural activities in other areas of the city supplanted those near the city center, the district evolved from simply a shipping hub to a processing and manufacturing center in its own right. In particular, businesses related to the building trades had expanded rapidly beginning in the 1880s when the first regional real estate boom spurred residential and commercial construction; as a result the district saw the opening of a number of lumber, construction, and even furniture trades.

In the early decades of the 20th century, many of the district's industrial buildings were one of two types: manufacturing or processing facilities, and warehouses. Many of the area's industrial buildings were constructed directly on a rail spur; these buildings often display curved facades that follow the tracks, with docks and large bay doors set several feet above the ground (to the height of a boxcar), to facilitate the loading and unloading of goods. Warehouses were built either as general storage facilities – with space that could be rented by a variety of companies or operators – or were purpose-built facilities associated with a particular company. Examples of general warehouses include the Pacific Commercial Warehouse (1910); the Bekins Van & Storage Co. warehouse (1923); and the Metropolitan Warehouse Company (1924). Purpose-built warehouses constructed during this period include those built for J. R. Newberry & Co. (1900); Barker Bros. Furniture (1920 and 1923); Cheeck Neal Coffee Co. (1924); and Hills Bros. Coffee Co. (1929)...

By the 1920s, the area now comprising the historic district was fully established as an industrial hub. This was aided in part by the pattern of development occurring outside the central city. As the City of Los Angeles continued to annex existing communities as well as available land in the San Fernando Valley, zoning was amended to eliminate residential housing in the Downtown area. By 1922, the City had officially re-zoned the Downtown area to accommodate the construction of more offices, retail, and manufacturing facilities. By the 1950s, the area was home to automotive manufacturing, trucking and transport, furniture manufacturing and storage, paint and chemical manufacturing, and paper and plastic production – as well as historically dominant industries such as food processing and lumber and woodworking operations. While industries evolved over time, the district maintained its character as an industrial center, with one processing or manufacturing operations simply replacing another. Over the course of the 20th century a single manufacturing facility might house the production of everything from dog food to pie.

By the 1960s, however, the character of the area within the district was evolving away from that of an industrial center. Industry on the whole struggled to adapt to the postwar challenges of containerization and new technologies in manufacturing and transport. Railroads had given way to the trucking industry, and businesses within the district were constrained by the physical demands such methods placed on their operations. Furthermore, outlying fledgling industrial centers such as Vernon and the City of Commerce were comparatively undeveloped and offered plentiful land at lower prices, presenting many companies with an opportunity to relocate and construct newer and more efficient facilities. As a result, by the 1970s many buildings within the district were vacant. However, the area found new life as artists and other creative types began to congregate amidst the vacant buildings and empty lots. Priced out of established artists' colonies in neighborhoods such as Venice and Hollywood, Los Angeles' industrial district provided many with an opportunity to live and work inexpensively in the vast and vacant warehouse buildings. Soon, the area was home to a number of avant-garde art galleries, giving rise to the group of early artists now called the "Young Turks." Many of the area's most prominent industrial buildings found new life as gallery space and underground hangouts for a burgeoning art scene as well as the punk-rock music scene. In 1981, the City of Los Angeles implemented the Artist-in-Residence Program, which legalized the residential use of formerly industrial buildings for artists, legitimizing their efforts. In the mid-1990s, the area was officially designated as the Arts District. A subsequent wave of development began in 1999 with the passing of the Adaptive Reuse Ordinance which relaxed zoning codes and allowed for the conversion of pre-1974 commercial and industrial buildings into residences for artists and non-artists alike. Today, the area continues to attract new commercial and residential development, and existing facilities are adapted to meet the needs of the growing community.

V. IDENTIFICATION OF HISTORICAL RESOURCES

Subject Property

Description

Site

The subject properties are located at the southeast corner of 6th and Alameda Streets (Maps 1-2). Mill Street is located to the east, while the vacated right-of-way street, Wholesale Street, lines the properties to the south. The properties are located in an urban setting with a mix of commercial and industrial buildings. Alameda Street is a major north-south thoroughfare, connecting the I-10 Freeway with downtown Los Angeles. The little vegetation there is surrounding the site is limited to a few, short trees lining Alameda Street. The identified Downtown Los Angeles Industrial Historic District surrounds the subject properties on three sides but does not incorporate them within its boundaries.

The subject properties contain two buildings, arranged parallel to each other in an east-west orientation. Asphalt paving surrounds the buildings on all sides. There is an almost continuous driveway along East 6th Street and a metal fence lines the properties along Alameda Street. Two contemporary, freestanding signs are located along Alameda Street: one at corner of 6th and Alameda Streets and the other further south on Alameda Street.

Exterior

The two buildings at the subject properties are mirror images of each other with only minor differences. They have no discernible architectural style and no ornamentation. The buildings have a rectangular plan and are a high one story with an interior mezzanine. They are constructed of reinforced concrete with a very low-pitched hipped roof.

North building (Figures 1-8): Circular rotary vents are evident along the ridgeline of the roof of the north building. Multi-light, metal, awning windows are arranged in pairs along the mezzanine floor of east and west elevations. Truck loading docks with metal roll-up doors are regularly spaced along the north elevation. Warehouse floors are about four feet above exterior grade, at the height of adjacent dock. Entrances to individual warehouses are reached via short flights of contemporary, metal steps along this elevation, which are interspersed among truck loading docks. The east elevation has a projecting deck covered by a corrugated metal shed roof supported by thin metal piers. A continuous platform, covered by a corrugated metal canopy, runs almost the full length of the south elevation. Irregularly spaced, wide openings face the platforms. The platform ramps down to the ground level at both ends.

South building (Figures 15-19): The south building has no fenestration; east and west elevations have no articulation. Truck loading docks with metal roll-up doors are regularly spaced along the south elevation. Warehouse floors are about four feet above exterior grade, at the height of adjacent dock. Entrances to individual warehouses are reached via short flights of contemporary, metal steps along this elevation, which are interspersed among truck loading docks. The west portion of the south elevation is set back a few from the adjacent loading docks, creating a shallow "L." A continuous platform, covered by a corrugated metal canopy, runs almost the full length of the north elevation of south building.

Interior (Figures 9-14 and 20-22)

The interiors of both buildings consist of large volume warehouse spaces with unfinished concrete exterior walls and floors. Ceilings have visible glulam beams while a line of regularly spaced metal columns steps down the center of the buildings. Partitions between warehouse spaces consist of drywall covered by unfinished plywood. Contemporary offices and interior partitions are constructed within the high-volume space using a variety of materials. Large, contemporary, metal refrigerators are also constructed within the high-volume spaces.

Alterations

The north building was completed in 1963 as two separate buildings. The western portion, Building “B,” was 440-feet long, while the eastern portion, Building “C,” was 500-feet long. The two buildings were separated by 65 feet.¹³ The two portions of the north building appear in a historic aerial photograph from 1965 (Map 10) and a historic Sanborn Fire Insurance map from 1967 (Map 11). The eastern portion of the south building was constructed in 1968 and measured 450-feet long by 202-feet wide.¹⁴ This portion of the south building is evident in a historic Sanborn Fire Insurance map from 1970 (Map 12). Drawings dated March 23, 1973 show a proposed western addition to the south building. Drawings also indicate the two portions of the north building were joined at this date. Elevations of both buildings were also unified with regularly spaced openings and continuous canopies. Building permits from the 1970s and later were not available for this evaluation. It is unknown when contemporary metal stairs and entrances to individual warehouses were added. Many interior offices and refrigeration units appear to have been constructed within the last 20 years.

Property History

Originally owned by Los Angeles Union Terminal, Inc., the buildings replaced a continuous series of one-story, small produce stalls that were located immediately adjacent to East 6th Street (Maps 6-9). A rail spur ran along the south side of the buildings along Produce Street, a private street. Another series of one-story stalls ran along the center of the properties, while a larger warehouse, owned by Los Angeles Public Market Company, was located along the south side of the properties. A second rail spur ran along the private Warehouse Street. L.A. Union Terminal had a small produce warehouse at the southwest corner of the site.

L.A. Union Terminal, Inc. and Los Angeles Public Market Company were “wholly owned facilities of the Southern Pacific Co.”¹⁵ Drawings prepared in 1973 indicate the subject properties were a “warehouse extension for Los Angeles Union Terminal, Inc.” who developed the Los Angeles Union Market located a short distance away at East 8th and Alameda Streets (described in more detail below). A chain of title was not available for this evaluation.

Southern Pacific Company, later known as Southern Pacific Transportation Company, started in the mid-nineteenth century and became a vertically integrated monopoly in California and throughout

¹³ “1206 E 6th Street,” Application to Construct New Building and for Certificate of Occupancy, City of Los Angeles, Department of Building and Safety, Permit No. 22741, 18 October 1962.

“1206 E 6th Street,” Certificate of Occupancy, City of Los Angeles, Permit No. 22741, 4 June 1963.

¹⁴ “1306 E 6th Street,” Application to Construct New Building and for Certificate of Occupancy, City of Los Angeles, Department of Building and Safety, Permit No. 22742, 18 October 1962.

“1306 E 6th Street,” Certificate of Occupancy, City of Los Angeles, Permit No. 22742, 4 June 1963.

¹⁵ “1321 Wholesale Street,” Application for Inspection of New Building and for Certificate of Occupancy, City of Los Angeles, Department of Building and Safety, Permit No. 61529, 20 December 20, 1967.

“1321 Wholesale Street,” Certificate of Occupancy, City of Los Angeles, Permit No. 61529, 27 December 1968.

¹⁶ “Three Union Terminal Executives Advanced,” *Los Angeles Times*, 7 April 1950, 28.

the country. Southern Pacific's Arcade Station, serving Los Angeles passengers, opened in 1888 at 4th and Alameda Streets, very close to the subject properties. The wood-frame Arcade Station operated for about 25 years, when it was replaced by Central Station in 1914, which was located at 5th Street and Central Avenue, also close to the subject properties.¹⁶ All passenger trains were redirected to Los Angeles Union Station when it opened in 1939. However, Southern Pacific Company and its subsidiaries continued to use the rails and surrounding land for freight and warehousing.

As noted on the 1967 Sanborn Fire Insurance map, the north building was constructed as a "general merchandise warehouse" while the south building was constructed as a "building material warehouse." As outlined in the Table of Tenants below, early tenants included Montgomery Ward Co., Morton Salt Co., and Major Casket Co.

Original drawings were completed by the Office of the Chief Engineer of the Southern Pacific Transportation Company. Earlier drawings were completed in the Los Angeles office while later drawings were completed in the San Francisco office. It is not known who the chief engineer was during this period. Draftsmen of all drawings are indicated by initials, with the set completed through a collaboration of several different draftsmen.

¹⁶ Nathan Masters, "Lost Train Depots of Los Angeles," KCET SoCal Focus, 17 January, 2013, <http://www.kcet.org/updaily/socal_focus/history/la-as-subject/lost-train-depots-of-los-angeles.html>.

Tenants

	1965	1969	1975	1980	1987
Address	Tenant	Tenant	Tenant	Tenant	Tenant
1206 6 th	Farley Terminal Co, Montgomery Ward Co	Morton Salt Co, Simoniz Co	Bayless Mkt., Donia Frank C., Pathfinder Trucking	Bayless Mkt., Donia Frank Co., Pathfinder Trucking, Pinks Prod., Ray's Prod., Westlake Dist., David Prell	Heath & LeJune, G&K Dist., Butler LD, Fruitworld, Blue Pacific, Direct Produce, Pathfinder Trucking, Mercedes Trucking, Donia Frank Co
1230 6 th		Wilson Mfgs Agent			
1266 6 th		Progressive Produce	Progressive Produce	Progressive Produce	Progressive Produce
1306 6 th	Major Casket Co	Major Casket Co	Major Casket Co.		
1308 6 th	Wood Conversion Co	Conwed Corp.	Conwed Corp		
1318 6th	Mutual Wholesale Liquor				
1320 6 th					Davalan Sales Inc.
1330 6 th					California Watercress, Rocky Mtn Prod., Cent. Fruit & Prod., A&L Produce Dock
1338-B 6 th	Carlip	Carlip	Veltman Terminal	Veltman	
1205 Wholesale					Mrs. Gooches, Charter Produce Corp., United Food, Melissa's Fresh Herbs
1221 Wholesale		Cal Stores			Tranco Imports of LA, Kyo Trading
1225 Wholesale					Tavilla Sales Co
1247 Wholesale		Giardua Produce			
1305 Wholesale					Yu's Company
1317 Wholesale					Acme Trading Corp

Assessment

The subject properties have not been previously evaluated for historic or architectural significance and are evaluated in this section of the report.

Individual Eligibility

Because eligibility criteria for local HCM designation align in large degree with eligibility criteria for National and California Registers, the following evaluation considers eligibility under each of the criteria at federal, state and local levels under a single heading.

Criterion A/1/1: Is associated with events that have made a significant contribution to the broad patterns of our history and cultural heritage.

The two buildings at the subject properties were developed in 1963 and 1968 primarily as general merchandise warehouses. Like earlier warehouses, space at the subject properties was rented by a variety of tenants, storing materials ranging from salt to caskets. As noted above, by the 1960s, the character of the surrounding area was evolving away from that as an industrial center. The period of significance for the identified Downtown Los Angeles Industrial Historic District begins in 1900 and ends in 1940. The subject properties were both constructed after the period of significance and clearly responded to a need for general warehouse space, even though the industrial character of the area was in decline when they were constructed. As general warehouses, the subject properties have not made any contribution to the broad range of our history or cultural heritage simply by temporarily housing a variety of items. In addition, due to significant alterations in 1973, specifically combining two buildings into one and constructing a major addition onto the south building, losses of integrity prevent the subject properties from conveying any meaning they may have once had. Therefore, the buildings at the subject properties are not eligible under Criterion A/1/1.

Criterion B/2/2: Is associated with the lives of persons important in our past.

Owned by a large conglomerate, few, if any, specific individuals can be associated with the subject properties and none rise to the level required to warrant consideration under Criterion B/2/2. There was a high turnover of tenants and it can be assumed that, as warehouse spaces, the subject properties were not the location of important work for any of the individuals connected with the tenants. Therefore, the subject properties are not eligible under Criterion B/2/2.

Criterion C/3/3: Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual or possesses high artistic values.

The buildings at the subject properties have no discernible architectural style and no ornamentation. As utilitarian warehouses, the subject properties are not distinctive of a type, period, region, or method of construction. In addition, as a collaboration between several different draftsmen, the buildings are not significant for an association with an important creative individual or group of individuals. No information on specific draftsmen responsible for the buildings is available. Furthermore, because of alterations in the 1970s, the buildings no longer retain integrity. Therefore, the subject properties are not eligible under Criterion 3/C.

Criterion D/4: Has yielded, or may be likely to yield, information important in prehistory or history.

The subject properties cannot be reasonably expected to yield information important in prehistory or history; therefore, they are not eligible under Criterion D/4.

Integrity

In addition to meeting one of the four criteria, National and California Register-eligible properties must also retain sufficient integrity to convey historic significance from their period of significance. A property either retains its integrity, the physical and visual characteristics necessary to convey its significance, or it does not. Evaluation of integrity is founded on “an understanding of a property’s physical features and how they relate to its significance.”¹⁷ The seven aspects of integrity are Location, Design, Setting, Materials, Workmanship, Feeling, and Association. The two buildings on the subject properties have been significantly altered and do not retain integrity of design, materials, workmanship, or feeling.

Location: The subject properties retain their integrity of location, as they have not been moved or moved to the site.

Design: Integrity of *design* has been compromised at the subject properties. Originally three buildings, Buildings B and C were combined into one building in 1973. The same year, the west portion of the south building was constructed.

Setting: The subject property retains integrity of setting, which is defined in part as relationships between buildings and other features, or open space.

Materials: Integrity of materials at the building at the subject properties was compromised by alterations to the design, as well as by construction of individual warehouse entrances.

Workmanship: Due to losses of integrity of design and materials, the subject properties do not retain integrity of workmanship, or evidence of artisans’ labor and skill in constructing or altering a building.

Feeling: Integrity of feeling is defined as a property’s expression of the aesthetic or historic sense of a particular period of time resulting from the presence of physical features that, taken together, convey the property’s historic character. The subject properties lack integrity of feeling as the original character is no longer present.

Association: Integrity of association requires the presence of physical features that would convey the historic character of a property. As the subject properties were constructed primarily as produce warehouses and they continue to function in that capacity, they retain integrity of association.

Historic District Eligibility

As noted above, the subject properties are surrounded on three sides by the potential Downtown Los Angeles Industrial Historic District. The buildings at the subject properties were likely excluded from the boundaries due to their construction over two decades after the end of the period of significance. Not only were the buildings constructed well outside of the period of significance, they never represented an important industry nor do they reflect an industrial building typology. The buildings at the subject property are not eligible as contributing buildings to the potential historic

¹⁷ Rebecca H. Shrimpton, editor, *How to Apply the National Register Criteria for Evaluation* (Washington, DC: National Park Service, Department of the Interior, 1998) 44, <<http://www.nps.gov/history/nr/publications/bulletins/nrb15/>>.

district. Furthermore, there is not any other potential historic district in the vicinity to which the subject properties could contribute.

Adjacent and Nearby Historical Resources

Study Area

This report evaluates potential impacts of the proposed project on identified historical resources that are adjacent and nearby the subject properties (see photographs, Attachment D). For purposes of this analysis, a study area surrounding the subject properties has been defined, outlined in black on the below map, with the subject properties at center highlighted in yellow. While there are no properties in the study area that are individually designated or determined eligible as historical resources, a portion of the boundary of the Downtown Los Angeles Industrial Historic District is located in the study area. The boundary of the historic district is shown on the below map as a blue dashed line, while parcels that have been shaded blue are proposed contributors to the historic district. With the exception of the subject properties, all other properties in the study area are located within the proposed historic district. The subject properties are also located close to the Los Angeles Union Terminal Market, which is outlined in red. The Los Angeles Union Terminal Market is located south and on the opposite side of Alameda Street of the subject properties and proposed historic district. It is therefore not included within the boundaries of the study area.

Map of Study Area

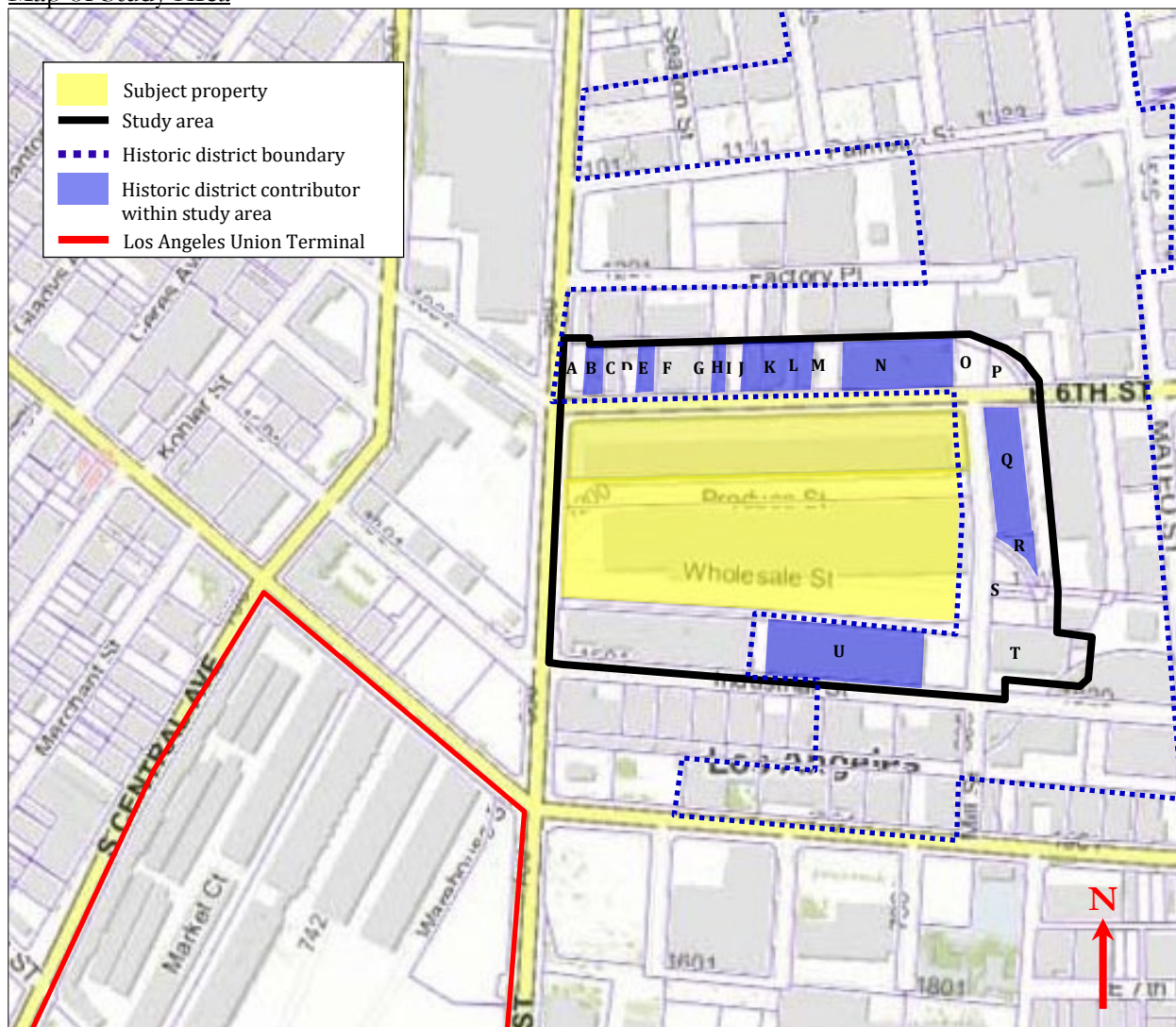


Table of Study Area

<i>Letter</i>	<i>Address</i>	<i>APN</i>	<i>Dates of Construction</i>	<i>Contributor to district?</i>	<i>Figure #</i>
A	1201 E 6 th Street	5164-009-041	1985	No	
B	1205 E 6 th Street	5164-009-012	1912	Yes	25-26
C	1217 E 6 th Street	5164-009-013	1921	No	27
D	1225 E 6 th Street	5164-009-014	1958	No	28
E	1235 E 6 th Street	5164-009-015	1901	Yes	29
F	1239 E 6 th Street	5164-009-024	1912	No	30
G	1261 E 6 th Street	5164-009-018	1909	No	31
H	1269 E 6 th Street	5164-009-019	1906	Yes	32
I	1271 E 6 th Street	5164-009-025	N/A	No	33
J	1275 E 6 th Street	5164-009-022	1911	Yes	34
K	1281 E 6 th Street	5164-009-023	1922	Yes	35
L	1291 E 6 th Street	5164-008-003	1923	Yes	36
M	1301 E 6 th Street	5164-008-004	2009	No	37
N	1309 E 6 th Street	5164-008-005	1923	Yes	38-39
O	1337 E 6 th Street	5164-008-006	N/A	No	40
P	No address	5164-008-013	N/A	No	40
Q	1340 E 6 th Street	5164-011-001	1924	Yes	41-42
R	1340 E 6 th Street	5164-011-002	1945	Yes	42
S	No address	5164-011-003	N/A	No	43
T	1809 Industrial Street	5164-012-022	1967	No	44
U	1567 Industrial Street	5164-010-002	1905, 1906, 1913, 1919, 1971	Yes	45-50

Downtown Los Angeles Industrial Historic District

As noted above, the Downtown Los Angeles Industrial Historic District was identified in SurveyLA as appearing eligible for listing in the National Register, California Register, and locally as a City of Los Angeles HPOZ. As described more fully below, the subject properties were excluded from the historic district boundaries to improve the ratio of contributing resources to noncontributing resources.

The draft survey record for the historic district provides the following description:¹⁸

The Downtown Los Angeles Industrial Historic District is an industrial area situated between the Alameda Street corridor and the Los Angeles River, just east of downtown Los Angeles. The district occupies flat terrain generally bounded by E. 1st Street on the north, Santa Fe Avenue and Mateo Street on the east, E. 7th Street on the south, and S. Alameda Street on the west. Interior streets are arranged in a generally orthogonal grid, with 4th Street traversing the district diagonally from the northwest to the southeast. Development in the district is almost exclusively industrial in nature, with a handful of commercial and institutional uses. Properties within the district vary widely in size, from modest industrial buildings to massive warehouses spanning full city blocks. Original buildings were constructed primarily from 1900 to 1940 and are predominantly vernacular or utilitarian in design. Today, these early buildings share the block[s] with more recent construction.

The district contains 196 individual buildings. Of these, 104 have been evaluated as district contributors, or approximately 53 percent; 92 properties have been evaluated as non-contributors due to alterations or construction outside the period of significance. Additional distinguishing features of the district include its location in relation to the Alameda Street industrial corridor and the Los Angeles River; the interior circulation pattern (including streets, alleys, and rail spur rights-of-way); the nearly exclusive industrial use; extensive surface parking areas, often designed to accommodate large trucks; the absence of sidewalks and street lighting in some areas; the absence of landscaping throughout the district; evidence of former rail lines (such as remnant tracks, and a rail stop); and remnant granite infrastructure (including curbs, swales, and rail beds).

History of Contributing Properties

The study area contains a mix of properties identified as contributing and non-contributing to the historic district. Of the 21 properties within the study area, 10 are contributing resources. All can generally be described as having an industrial or utilitarian character. The segment of East 6th Street, located north of the subject properties, contains buildings one- to two-stories in height and constructed to the property line. There is the sense of a continuous street wall of similarly scaled, early buildings, even though there are a few breaks for surface parking lots. While most were constructed prior to 1925, there is a mix of contributing and non-contributing properties. East of the subject properties, along Mill Street, the buildings are more varied in height and size. Rising to six-stories, Property R is a warehouse substantially taller and larger than the buildings along East 6th Street, although the building has a rear addition to the south, Property S, which is a low-scale, one-story building. South of Property S there is a roadway, Conway Place, and a contemporary two-story building, Property U. Thus, there is no sense of a continuous street wall along Mill Street, but rather

¹⁸ Central City North, Historic Districts, Planning Districts, and Multi-Property Resources, draft findings for Downtown Los Angeles Industrial Historic District, City of Los Angeles Office of Historic Resources, 4 Sept 2016: 1.

of separate buildings. Finally, south of the subject properties is a segment of Industrial Street containing buildings one- to two-stories in height. Property V comprises the east half of this segment and contains a row of early contributing buildings constructed to the property lines, offering the sense of a continuous street wall in this location. However, this street wall is interrupted to the west by a row of similarly scaled, non-contributing, buildings located outside the district boundary (Property W).

The following provides a brief developmental history of each contributing property in the study area. Information is based on historic Sanborn maps (included in Attachment B) and building permits. Properties are keyed to the map above and Map 5 (included in Attachment A).

- Property B, 1205 E 6th Street (1912): In 1911, a permit was issued to owner Philip L. Wilson for construction of a 3-story, 54-room brick rooming house at 1211 E 6th Street.¹⁹ The building was 50x125-feet on a lot of the same size. The architect was R.B. Young and Son. The contractor was Pozzo Construction Company. Valuation of the permit was \$22,000. Historic Sanborn maps show that in 1950 the building was used as a lumber and metal warehouse, in 1953 and 1954 it was used as a hotel, and in 1959-1970 it was used as a Chinaware warehouse and hotel.²⁰ The building currently functions as low income/homeless housing.
- Property E, 1235 E 6th Street (1901): Despite the Los Angeles County Assessor's date of construction of 1901, there are no permits available for this property prior to 1910. In 1910, a permit was issued to owner Mrs. Pearl Vollmer Mines for construction of a 1-story, 1-room brick warehouse at 1235 E 6th Street.²¹ The building was 50x115-feet on a 50x150-foot lot. The architect was not listed on the permit. The contractor was LA Planing Mill Company. Valuation of the permit was \$43,000. Historic Sanborn maps show that in 1950 the building was used for fish curing, in 1959 it was a smoked fish warehouse, in 1960 it was a metal warehouse; Sanborn maps dated 1967 and 1970 simply label it as a warehouse.²²
- Property H, 1269 E 6th Street (1906): There is no original permit available documenting construction of this property. The earliest available building permit is an alteration permit from 1935, issued to owner A. Pellagrini to add a mezzanine floor for the purpose of storing empty cases and wine bottles.²³ The building was used for the California Wine and Brandy Company at the time. No architect was listed on the permit. The contractor was Albert Claster. Historic Sanborn maps show the building was used for wines and bottling through at least 1953; from 1954 through at least 1970 it was used for old cloth sorting.²⁴

¹⁹ "1211 E. 6th Street," Application for the Erection of Building, Class D. City of Los Angeles, Board of Public Works, Department of Buildings. Permit No. 9587, 11 October 1911.

²⁰ Sanborn Maps, 1950, 1953, 1954, 1960, 1967, and 1970. City of Los Angeles, Volume 2, Sheets 191-204. Certified Sanborn Map Report for 6th and Alameda Streets, Environmental Data Resources, Inc., 10 May 2017.

²¹ "1235 E 6th Street," Application for Erection of "Class B & C" Buildings. City of Los Angeles, Board of Public Works, Department of Buildings. Permit No. 5203, 27 June 1910.

²² Sanborn Maps, 1950, 1959, and 1960, 1967, and 1970. City of Los Angeles, Volume 2, Sheets 201-205. Certified Sanborn Map Report for 6th and Alameda Streets, Environmental Data Resources, Inc., 10 May 2017.

²³ "1269 E 6th Street," Application to Alter, Repair, Move or Demolish." City of Los Angeles, Department of Building and Safety, Building Division." Permit No. 22228, 25 November 1935.

²⁴ Sanborn Maps, 1950, 1953, 1954, 1970. City of Los Angeles, Volume 2, Sheets 201-205. Certified Sanborn Map Report for 6th and Alameda Streets, Environmental Data Resources, Inc., 10 May 2017.

- Property J, 1275 E 6th Street (1911):
In 1910, a permit was issued to owner E.M. Weyl and M. Zuckerman for construction of a 2-story brick wholesale produce building at 1275-1277 E 6th Street.²⁵ The building was 50x125-feet on a lot of the same size and valued at \$12,500. The building was designed by the architectural partnership of Edelman and Barnett. Abraham A. Edelman was a prolific and prominent Los Angeles architect who practiced for over 50 years. His “greatest achievement” was his design of Wilshire Boulevard Temple in 1929.²⁶ Historic Sanborn maps show that the building was used for furniture manufacturing from at least 1950 until at least 1970.²⁷
- Property K, 1281 E 6th Street (1922):
In 1922, a building permit was issued to owner Pacific Provision Company to construct a 1-story plus basement brick cold storage warehouse at 1281 E 6th Street.²⁸ The building was 50x125-feet on a 100x135-foot lot, designed by the owner and constructed by contractor Lynch Cannon Engineering Company. Later the same year, a permit was issued to the same owner to add a cooling tower to the roof of the existing building.²⁹ Historic Sanborn maps show that by 1950 the building was used as a food warehouse, by 1953 it was used as a fresh dairy products warehouse, and by 1959 through at least 1970 it was used as a smoked fish warehouse.³⁰
- Property L, 1291 E 6th Street (1923):
In 1922, a building permit was issued to owner Mc. Cunniff Brothers for construction of a 2-story, brick, 3-room warehouse at 1291 E 6th Street.³¹ The 50x125 foot building was designed by architect F.D. Harrington. The contractor was Mc. Cunniff Brothers. Valuation of the permit was \$20,000. Historic Sanborn maps show that by 1950 the building was used as a “stationary warehouse,” by 1959 it was used as a rag warehouse, and by 1967 it was used for parking on the first floor and offices on the second.³²
- Property N 1309 E 6th Street (1923):
Historic Sanborn maps show this property historically included addresses 1309-1331 E 6th Street. In 1922 a permit was issued to owner Los Angeles Gas and Electric Corporation for construction of a 134x134-foot, 1-story, 3-room garage building of brick.³³ The owner is

²⁵ “1275-1277 E 6th Street,” Application for Erection of “Class B & C” Buildings. City of Los Angeles, Board of Public Works, Department of Buildings. Permit No. 2009, 12 March 1910.

²⁶ Henry F. Withey and Elise Rathburn Withey, *Biographical Dictionary of American Architects (Deceased)*, (Los Angeles: Hennessey & Ingalls, Inc., 1970), 189-190.

²⁷ Sanborn Maps, 1950 and 1970. City of Los Angeles, Volume 2, Sheets 201-205. Certified Sanborn Map Report for 6th and Alameda Streets, Environmental Data Resources, Inc., 10 May 2017.

²⁸ “1281 E 6th Street,” Application for Erection of Buildings, Class C. City of Los Angeles, Board of Public Works, Department of Buildings. Permit No. 31842, 14 September 1922.

²⁹ “1281 E 6th Street,” Application to Alter, Repair or Demolish. City of Los Angeles, Board of Public Works, Department of Buildings. Permit No. 46912, 27 December 1922.

³⁰ Sanborn Maps, 1950, 1953, 1959, and 1970. City of Los Angeles, Volume 2, Sheets 201-205. Certified Sanborn Map Report for 6th and Alameda Streets, Environmental Data Resources, Inc., 10 May 2017.

³¹ “1291 E 6th Street,” Application for the Erection of Buildings, Class C. City of Los Angeles, Board of Public Works, Department of Buildings. Permit No. 47077, 27 December 1922.

³² Sanborn Maps, 1950, 1959, and 1967. City of Los Angeles, Volume 2, Sheets 201-205. Certified Sanborn Map Report for 6th and Alameda Streets, Environmental Data Resources, Inc., 10 May 2017.

³³ “1317 E 6th Street,” Application for the Erection of Buildings, Class C. City of Los Angeles, Board of Public Works, Department of Buildings. Permit No. 40924, 13 November 1922.

listed as the architect. Valuation of the permit was \$30,000. Historic Sanborn maps show that by 1950 the property was occupied by Gas Appliances, Inc., by 1959 it was occupied by Affiliated Metal Products and included sheet metal storage, and by 1976 it was occupied by Universal Titanium Company, Inc.³⁴

- Properties Q and R, 1340 E 6th Street (1924, 1945):
In 1924, a permit was issued to owner Western Improvement Company for construction of a 6-story reinforced concrete warehouse building built to the parcel boundaries at 1340 E 6th Street.³⁵ There is no architect listed on the permit. The engineer was O.G. Boweil. The contractor was C. A. Fellows. Valuation of the permit was \$85,000. In 1945, a permit was issued to owner Metropolitan Warehouse Company for addition of a new 5,300 square foot building.³⁶ The architect was Harry T. Miller. The contractor was William P. Neil Company, Ltd. Valuation of the permit was \$16,000. Historic Sanborn maps show that from 1950-1970 the building was identified as the Metropolitan warehouse, used as a general storage warehouse.³⁷ The 1945 addition is referred to as the “annex” on these maps.
- Property U, 1567 Industrial Street (circa 1900-1905, 1914, 1971):
This property includes a long rectangular parcel encompassing addresses 1555-1719 Industrial Street, comprised of five building with multiple dates of construction. While there are no building permits documenting construction of the earliest buildings at the property, the 1906 Sanborn map shows the property developed with two of the existing buildings, located in its east half; the buildings were used for cement storage at the time.³⁸ In 1914, a permit was issued for construction of an additional 1-story, 80x68-foot, steel storage warehouse at 1575 Industrial Street.³⁹ The owner’s name is illegible on the permit. There is no architect listed and the contractor was the owner. In 1917, a permit was issued to owner California Sanitary Canning Company for erection of a 25x100-foot loading platform at 1583-1593 Industrial Street.⁴⁰ Historic Sanborn maps show that by 1950 the buildings at the property were used for industrial operations including: building materials and cement storage, paper products warehouse, bottle closure warehouses, bottle stopper manufacturing, and for a private garage and auto repair facility; from 1960-1970, uses remained industrial and had changed slightly to include metal furniture assembly and warehouse space.⁴¹ In 1971, an addition was made to the property incorporating new construction at its west end; a Certificate of Occupancy was issued to owner American Bonded Fiber for a 1-story, 59x149-

³⁴ Sanborn Maps, 1950, 1959, and 1976. City of Los Angeles, Volume 2, Sheets 201-205. Certified Sanborn Map Report for 6th and Alameda Streets, Environmental Data Resources, Inc., 10 May 2017.

³⁵ “1340 E 6th Street,” Application for the Erection of Buildings, Class A. City of Los Angeles, Board of Public Works, Department of Buildings. Permit No. 30401, 24 July 1924.

³⁶ “1340 E 6th Street,” Application to Alter, Repair, Move or Demolish. City of Los Angeles, Department of Building and Safety, Building Division. Permit No. 10512, 18 July 1945.

³⁷ Sanborn Maps, 1950, 1960, and 1970. City of Los Angeles, Volume 2, Sheets 203-209. Certified Sanborn Map Report for 6th and Alameda Streets, Environmental Data Resources, Inc., 10 May 2017.

³⁸ Sanborn Map, 1906. City of Los Angeles, Volume 2, Sheets 201-205. Certified Sanborn Map Report for 6th and Alameda Streets, Environmental Data Resources, Inc., 10 May 2017.

³⁹ “1575 Industrial Street,” Application for Erection of Frame Building, Class D.” City of Los Angeles, Board of Public Works, Department of Buildings. Permit No. 23819, 16 December 1914.

⁴⁰ “1583-1593 Industrial Street,” Application for Erection of Frame Building, Class D. City of Los Angeles, Board of Public Works, Department of Buildings. Permit No. 4405, 23 August 1917.

⁴¹ Sanborn Maps, 1950, 1960, and 1970. City of Los Angeles, Volume 2, Sheets 201-209. Certified Sanborn Map Report for 6th and Alameda Streets, Environmental Data Resources, Inc., 10 May 2017.

foot addition to the existing 400x149-foot light manufacturing and warehouse building at 1601 Industrial Street.⁴² This 1971 building is considered non-contributing.

⁴² "1601 Industrial Street," Certificate of Occupancy. City of Los Angeles, Department of Building and Safety. Permit No. 23366, 8 September 1971.

VI. THRESHOLDS FOR DETERMINING SIGNIFICANCE OF IMPACTS

California Environmental Quality Act (CEQA) Guidelines

According to the CEQA Guidelines, a project would result in a significant impact to historical resources if it would cause a *substantial adverse change* in the significance of an historical resource. A substantial adverse change is defined in CEQA Guidelines §15064.5(4)(b)(1), as “physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the *significance of an historical resource would be materially impaired.*” The significance of an historical resource is materially impaired, according to CEQA Guidelines §15064.5(4)(b)(2), when a project:

- (A) Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources; or
- (B) Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to §5020.1(k) of the Public Resources Code or its identification in an historical resources survey meeting the requirements of §5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of the evidence that the resource is not historically or culturally significant; or
- (C) Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.

The CEQA Guidelines also specify a means of evaluating the relative significance of project impacts on historical resources. CEQA Guidelines §15064.5(b)(3) state:

Generally, a project that follows the *Secretary of the Interior’s Standards for the Treatment of Historic Properties* (*Secretary’s Standards*, Weeks and Grimmer, 1995), shall be considered as mitigated to a level of less than a significant impact on the historical resource.⁴³

Under CEQA, the key issue relates to how a proposed development may impact the potential eligibility of a structure(s) or a site for designation as an historic resource. The *Secretary’s Standards* were developed by the U.S. Department of the Interior as a means to evaluate and approve work for federal grants for historic buildings and then for the federal rehabilitation tax credit (see 36 Code of Federal Regulations Section 67.7). Similarly, the City’s Cultural Heritage Ordinance provides that compliance with the *Secretary’s Standards* is part of the process for review and approval by the Cultural Heritage Commission of proposed alterations to Historic-Cultural Monuments (see Los Angeles Administrative Code Section 22.171.14. a.1). Therefore, the *Secretary’s Standards* are used for regulatory approvals for designated resources but not for resource evaluations. Similarly, CEQA recognizes the value of the *Secretary’s Standards* by using them to demonstrate that a project may be approved without an Environmental Impact Report (EIR). In effect, CEQA has a “safe harbor” by providing either a categorical exemption or a negative declaration for a project which meets the *Secretary’s Standards* (see State CEQA Guidelines Section 15331 and 15064.5(b)(3)).

⁴³ CEQA Guidelines §15064.5(b)(3).

In summary, the definition of substantial adverse change is whether a project demolishes or materially alters in an adverse manner the physical characteristics that convey historical significance of the resource or that justify its eligibility for the California Register or a local register such as the list of Historic-Cultural Monuments. In other words, if a project would render an eligible historic resource ineligible then there would be a significant adverse effect under CEQA.

Secretary of the Interior's Standards for Treatment of Historic Properties

As noted above, projects in conformance with the Secretary's Standards generally have a less than significant environmental impact on historical resources. The Secretary's Standards consist of four treatments, the most common of which is rehabilitation, which is defined as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values." The rehabilitation standards are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The Secretary's Standards are intended to be flexible and adaptable to specific project conditions to balance change while retaining historic building fabric to the maximum extent feasible. The National Park Service has created a substantial amount of written guidance, most of it available

online, including Illustrated Guidelines for Rehabilitating Historic Buildings, Preservation Briefs, Preservation Tech Notes, and Interpreting the Standards Bulletins (ITS).

VII. ASSESSMENT OF PROJECT IMPACTS

Description of Proposed Project

The proposed project is described in a drawing set prepared by Grimshaw, Inc, dated June 12, 2023 (see Attachment E). The proposed project involves demolition of both existing buildings at the subject properties and construction of a new production studio campus for movies, television and commercials. The campus will consist of 16, tall, one-story studios (53-feet), assembled into five groups and associated three production support areas. In addition, the campus will include two, five-story office buildings (74-feet), and a five-story parking structure (57-feet).

The office buildings will be located at the northwest corner of the site at 6th and Alameda Streets and northeast corner of the site at 6th and Mills Streets. Two groups of three studios each will be separated by a production support area along the 6th Street property line to the north. Along the southern property line, a pair of large studios will be flanked by a production support area on either side with two additional groups of four studios creating a symmetrical composition. The parking structure will be roughly centered along the east side of the property facing Mill Street. All buildings are proposed to be constructed nearly to the property lines with a minimal set-back.

In addition to the parking structure, surface parking will also be located at ground level between the rows of studios. Two driveways for vehicle access will be provided along 6th Street between each of the office buildings and studio buildings. An additional entrance to the parking structure will be located along Mill Street. Pedestrian access will be granted through gates at the east and west sides of the property.

All buildings are rectangular in plan with flat roofs and designed in a contemporary style. The studios will be constructed of tilt-up concrete wall panels. In contrast to the solid mass of the studios, the two office buildings will be divided nearly in half. Both halves will have regularly spaced fenestration, although windows on one side will be larger and placed closer together than the other half. The more open portion of the office building will be finished in bronze color cladding. Floor plates will project slightly from the face of the building, emphasizing a horizontal axis. The more solid portion of the office building will be clad in light colored panels. A fin will be placed vertically alongside each window, emphasizing a vertical axis. Ground floors of the office buildings will be primarily glazed, providing access to the office lobby as well as possible retail tenants. Along Mill Street, ground floors will be finished in a painted concrete masonry unit. Some panels of CMU may be painted with a mural. The rooftops of both office buildings will serve as a landscaped terrace.

Evaluation of Direct Impacts

Since existing buildings at the subject property do not appear eligible for listing in the National or California Registers or for local designation, there is no potential for direct impacts to historical resources at the project site.

Potential direct impacts caused by construction activities, including excavation, impaction, shoring, etc. were considered for Property V, located at 1567 Industrial Street, the only contributing property to the Downtown Los Angeles Industrial Historic District that is immediately adjacent to the subject properties. As discussed in Section G of the Environmental Impact Report analyzing potential noise and vibration impacts, given the distance to Property V and method of construction planned for the proposed project, no vibration impacts are anticipated.

Evaluation of Indirect Impacts

In general, CEQA describes an *indirect* impact as one that results from the “...alteration of the resource or *its immediate surroundings* such that the significance of an historical resource would be materially impaired” (CEQA Guidelines §15064.5(b)(1)(emphasis added). The proposed project consists of new construction in close proximity to an identified historical resource: the Downtown Los Angeles Industrial Historic District. While the project site is outside the proposed historic district, there is nevertheless the potential for indirect impacts to the setting of the district. Therefore, the following analysis considers indirect impacts to the setting of the district, specifically those properties within the study area, as identified above. Although outside of the historic district, the *Secretary’s Standards* are a useful tool for assessing potential indirect impacts, specifically Secretary’s Standard 9, which deals with compatibility of new additions.

While proposed project is located outside of the boundary of the historic district, it can still impact integrity of the district’s setting, which is defined in part as relationships between buildings and other features, or open space. As described above, the district is historically significant for its vernacular- and utilitarian-style industrial buildings constructed from 1900-1940. The setting of the district consists of buildings that range in scale and include buildings of low- mid- and high-rise construction, with some areas incorporating “in-between spaces,” such as public or private alleys. While some of the existing buildings are modestly sized, encompassing only a single assessor parcel, others consume entire city blocks. The range of variation in building types reflects the multitude of unique industrial uses inhabiting the area over time.

The proposed project is in conformance with Standard 9 as it will not destroy any spatial relationships that characterize adjacent and nearby historical resources. Specifically, the proposed project is designed in a contemporary style and is distinct from the surrounding buildings in the historic district. While some of the adjacent buildings within the historic district are one-story, Property Q, located at 1340 East 6th Street immediately south of the proposed project is five-stories, a similar height as the office buildings at the proposed project. In addition, the proposed project is comprised of a campus of multiple buildings, not dissimilar to Property U at 1567 Industrial Street, which consists of five separate buildings. As the proposed project maintains a similar size, scale, proportion and massing to the surrounding historic district, it will conform with Secretary’s Standard 9 and not destroy the historic district’s integrity of setting.

Evaluation of Cumulative Impacts

There are a total of 21 related projects in the vicinity of the proposed project at the subject properties, based on information obtained primarily from Los Angeles Department of Transportation and the Department of City Planning. Six of the related projects are located within the identified Downtown Los Angeles Industrial Historic District while five are located within one city block of the identified boundaries. The six related projects within the boundaries of the identified Downtown Los Angeles Industrial Historic District are:

Related Project #2, Mixed-Use, 1340 E. 6th St.: Six-story industrial warehouse building identified as a contributing resource to the historic district in SurveyLA. A proposed project will convert the building to live/work units. No historical resource impacts were identified in a Categorical Exemption processed in 2018.

Related Project #4, Palmetto, 527 Colyton St.: Proposed construction of a mixed-use development that includes residential and commercial space. 527 Colyton St. is currently developed with one building that was identified in SurveyLA as a non-

contributing resource to the historic district. The Initial Study (IS) describes that possible impacts to the identified historic district will be studied in the EIR, which has not yet been published.

Related Project #5, Mixed-Use (Revised), 1800 E. 7th St.: Construction of a new, 7-story mixed-use project on a surface parking lot. No historical resource impacts were identified in an IS/MND certified in 2019 and addendum published in 2020.

Related Project #9, Arts District Center, Mixed-Use, 1129 E. 5th St.: Construction of a 12-story, mixed use building was studied in an EIR published in 2019. Although SurveyLA identified the existing building at the site as a contributing resource to the identified historic district, the technical report accompanying the EIR found that it did not retain sufficient integrity. Therefore, no historical resource impacts were identified in the EIR that was certified in 2019.

Related Project #10, 400 S. Alameda St.: Conversion of an identified contributing resource to hotel, restaurant, and retail use. The 1908 building's exterior walls are proposed to be retained while adding a single-story rooftop addition. No historical impacts were identified in an IS/MND prepared in 2017.

Related Project #13, 4th & Hewitt, 405 S. Hewitt St.: The proposed project includes demolition of existing non-contributing buildings and construction of an 18-story building. An EIR was published in 2002. The accompanying Historic Resource Technical Report did not identify any potential impacts to historical resources.

The five projects located immediately adjacent to the identified historic district are:

Related Project #1, Camden Arts Mixed-Use, 1525 Industrial St.: Studied in a MND dated 2016, the project involves demolition of existing building and construction of a new, seven-story, mixed-use project. The existing building was found not to be a historical resource and no cultural resource impacts were identified.

Related Project #3, 668 Alameda St. Mixed-Use, 668 S. Alameda St.: New, 7-story, mixed-use development, replacing an existing, contemporary building. No indirect impacts were identified on nearby historical resources, including the identified Downtown Industrial Historic District.

Related Project #6, 1100 5th Mixed-Use, 1100 E 5th St.: Proposed new 8-story building to replace three, existing warehouses. The IS, published in February 2018, identified potential historical resource impacts as one of the existing warehouse buildings was constructed in 1928. No additional environmental review has been published in the past five years elaborating on possible historic resource impacts.

Related Project #7, 676 Mateo Mixed-Use, 676 S. Mateo St.: Demolition of the existing building on the site, which dates from 1978, and construction of a new, eight-story, mixed-use development. An EIR, published in January 2021, did not identify any potential indirect impacts to historical resources located across Mateo St.

Related Project #8, 520 Mateo Project, 520 Mateo St.: Demolition of an existing building that is approximately 30 years old and not identified as a historical resource and construction of a new, 35-story tower. The Draft EIR did not identify impacts to any nearby historical resources. Potential impacts to the identified Downtown Industrial Historic District were not studied in the Draft EIR.

No direct or indirect impacts to historic resources were identified for the six related projects located within the Los Angeles Industrial Downtown Historic District. Of the five related projects adjacent to and nearby the Los Angeles Industrial Downtown Historic District, only one identified possible historic resources impacts that will be studied in a future environmental document. At this point in time, none of the related projects have recognized impacts to historical resources. Specifically, none identify historical resource impacts, either direct or indirect, to the setting of the identified historic district.

CEQA §15355 defines a cumulative impact as “two or more individual effects which, when considered together, are considerable or which compound or increase other environmental impacts.” The proposed project has not been shown to have either a direct or an indirect impact on historical resources, specifically, it will not indirectly impact the setting of the historic district. As the proposed project will not on its own indirectly impact the setting of the identified historic district, when considered with the other 11 related projects described above, there would not be a compounded impact to the setting of the identified historic district.

VIII. CONCLUSION

This report evaluates existing buildings at the subject properties, finding they are not eligible as historical resources under CEQA. However, the subject properties are immediately adjacent to an identified historical resource: the Downtown Los Angeles Industrial Historic District. This district is significant for its grouping of early industrial buildings. The proposed project entails construction of a nearly fifteen acre site with a production soundstage, office and other studio support buildings. The proposed project was evaluated for potential direct and indirect impacts on the historic district. Given the method of construction and distance from Property V, located at 1567 Industrial Street, direct impacts due to damage from vibration or other construction activities, are not anticipated. While the proposed project could cause direct impacts to Property V, located at 1567 Industrial Street, that these impacts will be less than significant with precautions taken during planning, excavation, and construction. Finally, the proposed project will not materially impair the setting of the identified historic district and will not result in an indirect impact to its setting. The proposed project was also evaluated for cumulative impacts along with 27 other development projects in the area and does not appear that it will result in any cumulative impacts to historical resources.

IX. BIBLIOGRAPHY

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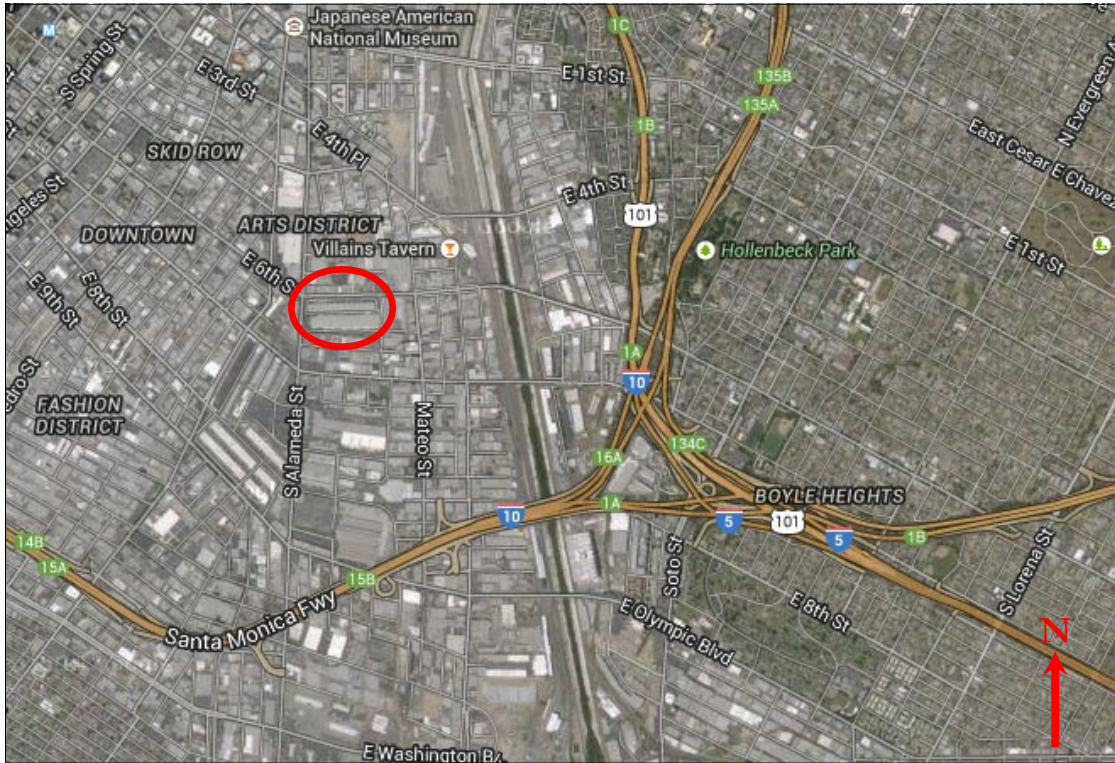
Henry F. Withey and Elise Rathburn Withey, *Biographical Dictionary of American Architects (Deceased)*, (Los Angeles: Hennessey & Ingalls, Inc., 1970), 189-190.

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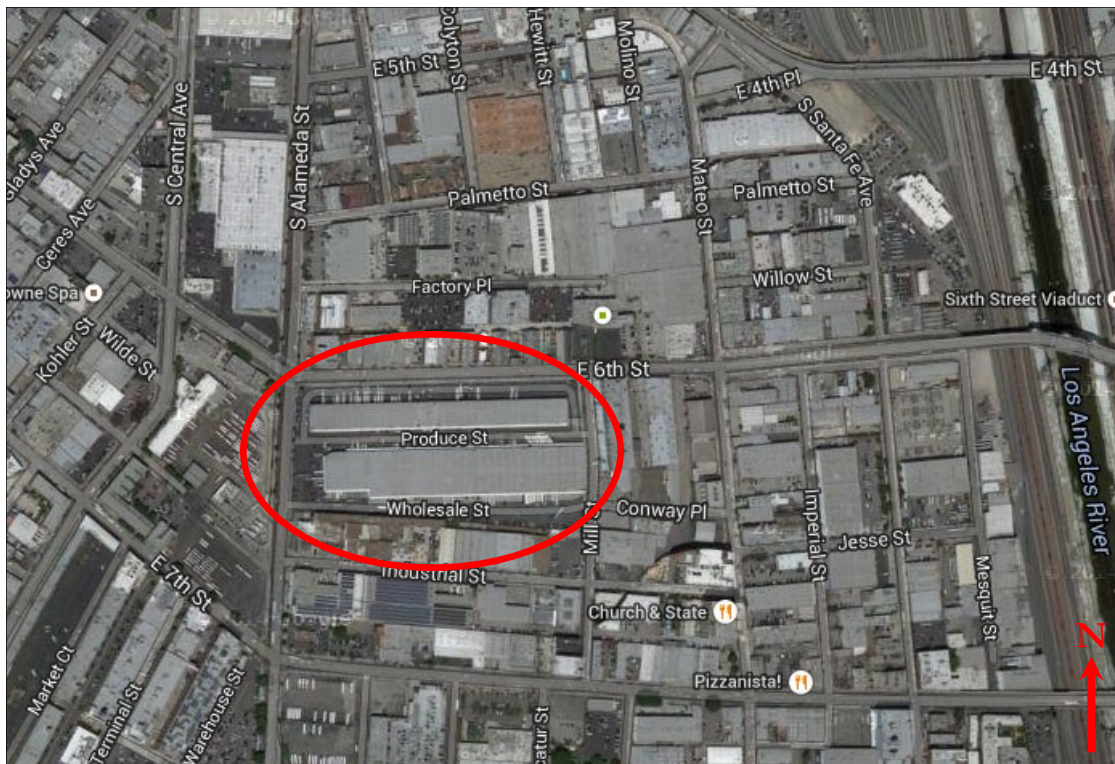
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Masters, Nathan. “Lost Train Depots of Los Angeles,” *KCET SoCal Focus*, 17 January 2013, <http://www.kcet.org/updaily/socal_focus/history/la-as-subject/lost-train-depots-of-los-angeles.html>.

Attachment A: Maps



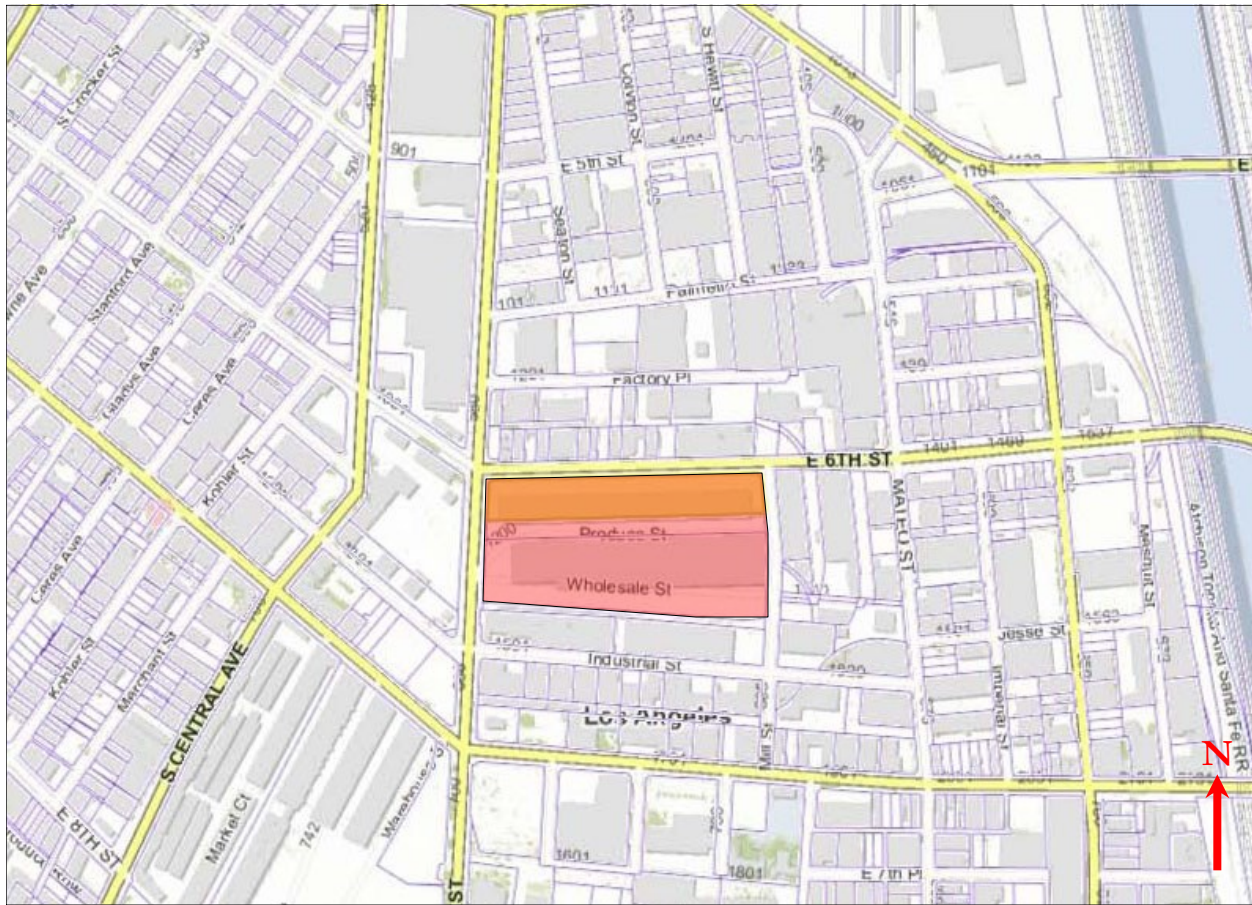
Map 1: Location map, subject properties circled (Source: Google map, 2015)



Map 2: Detail of location map, subject properties circled (Source: Google map, 2015)

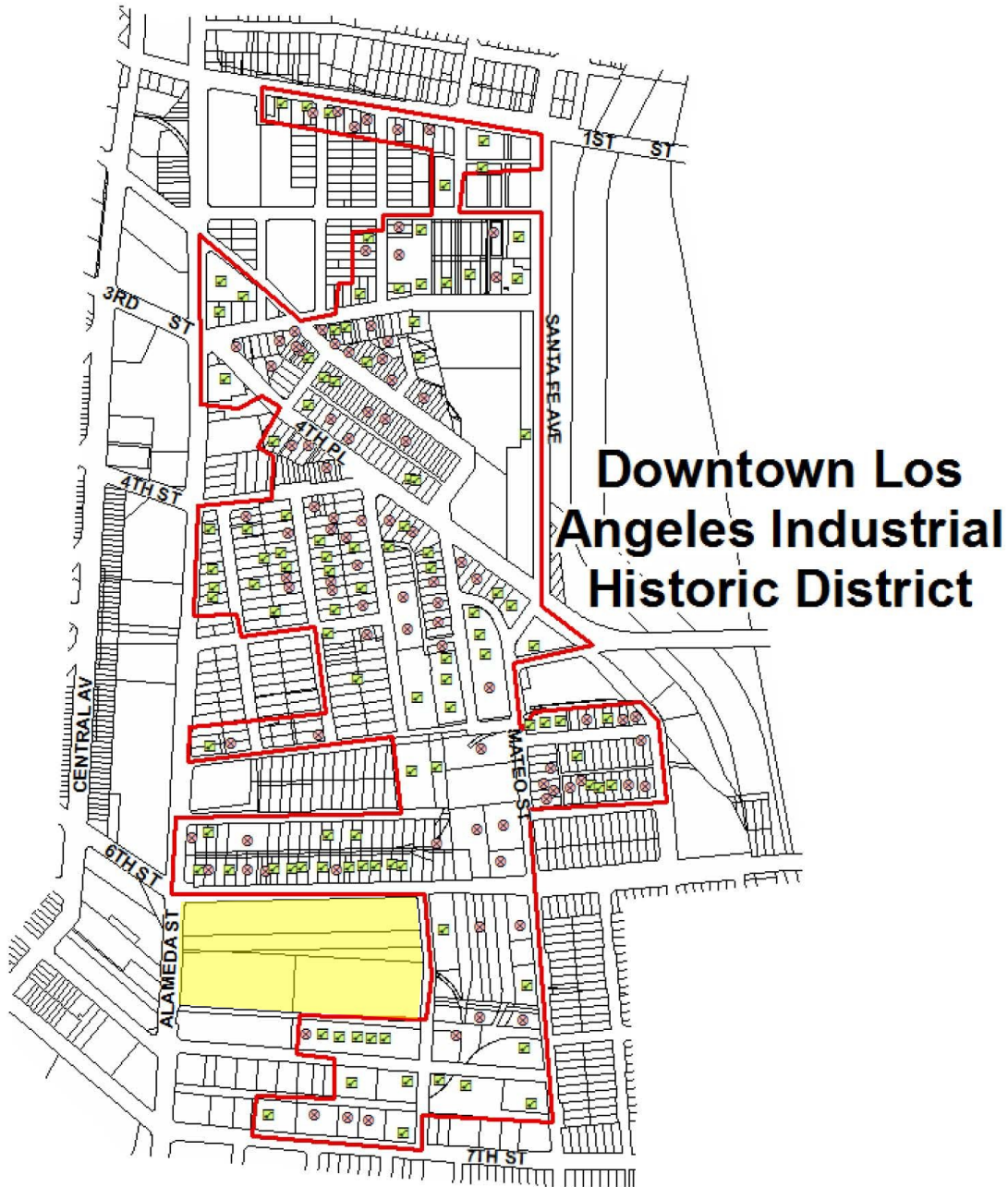
1206 – 1338 East 6th Street & 1205 – 1321 Wholesale Street

Attachment A: Maps



Map 3: Location map, subject property highlighted red (Source: Los Angeles County Assessor, 2015)

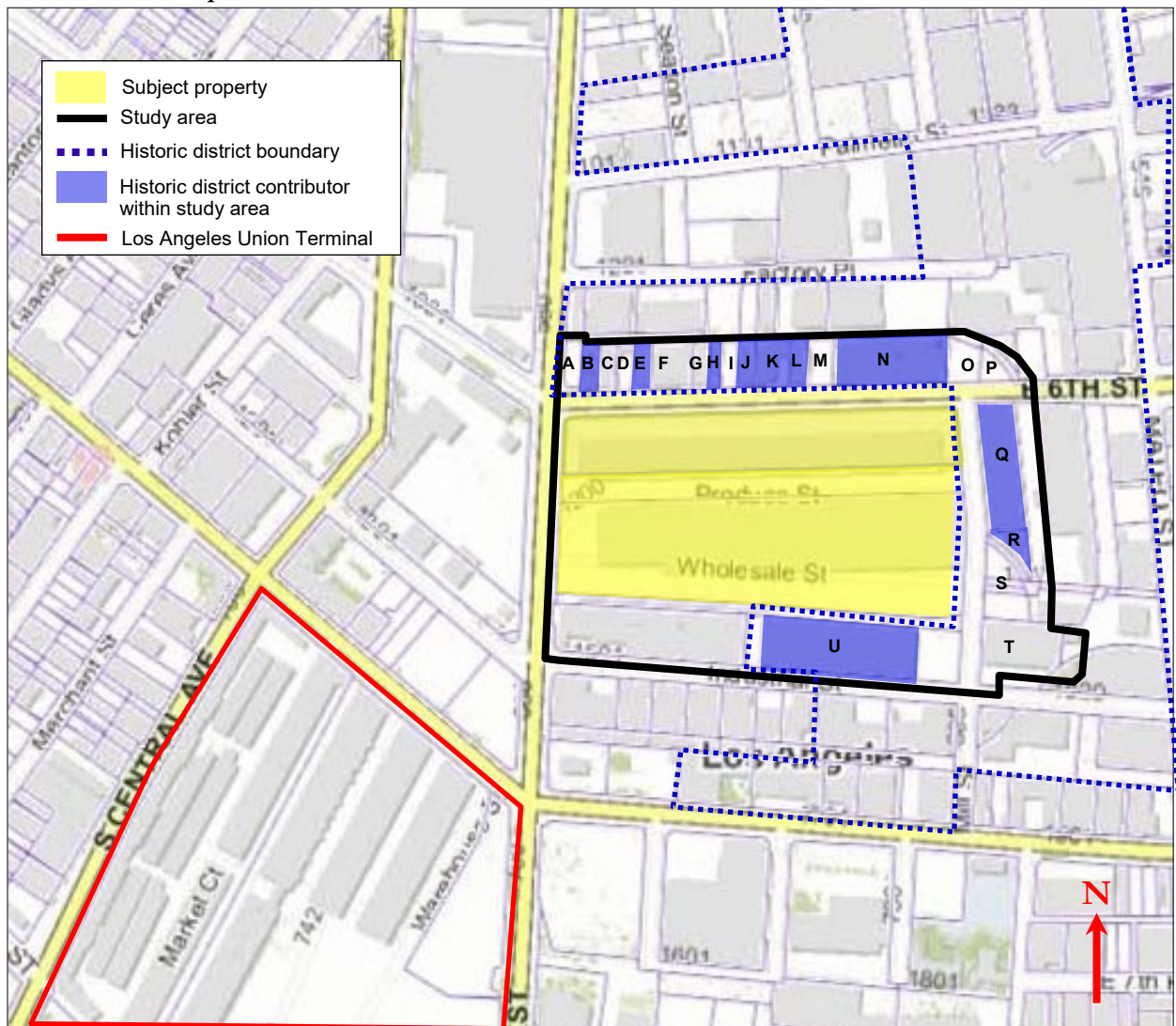
1206 – 1338 East 6th Street & 1205 – 1321 Wholesale Street



Map 4: SurveyLA map of Downtown Los Angeles Industrial Historic District, subject properties highlighted in yellow
(Source: City of Los Angeles Office of Historic Resources, September 4, 2016)

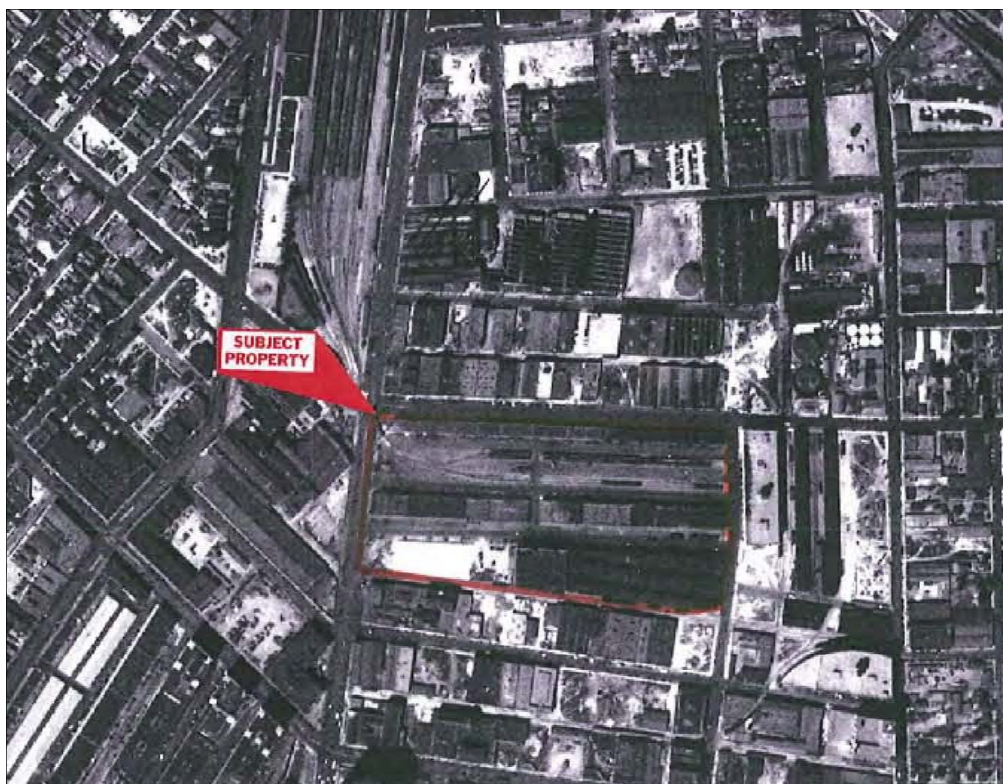
1206 – 1338 East 6th Street & 1205 – 1321 Wholesale Street

Attachment A: Maps

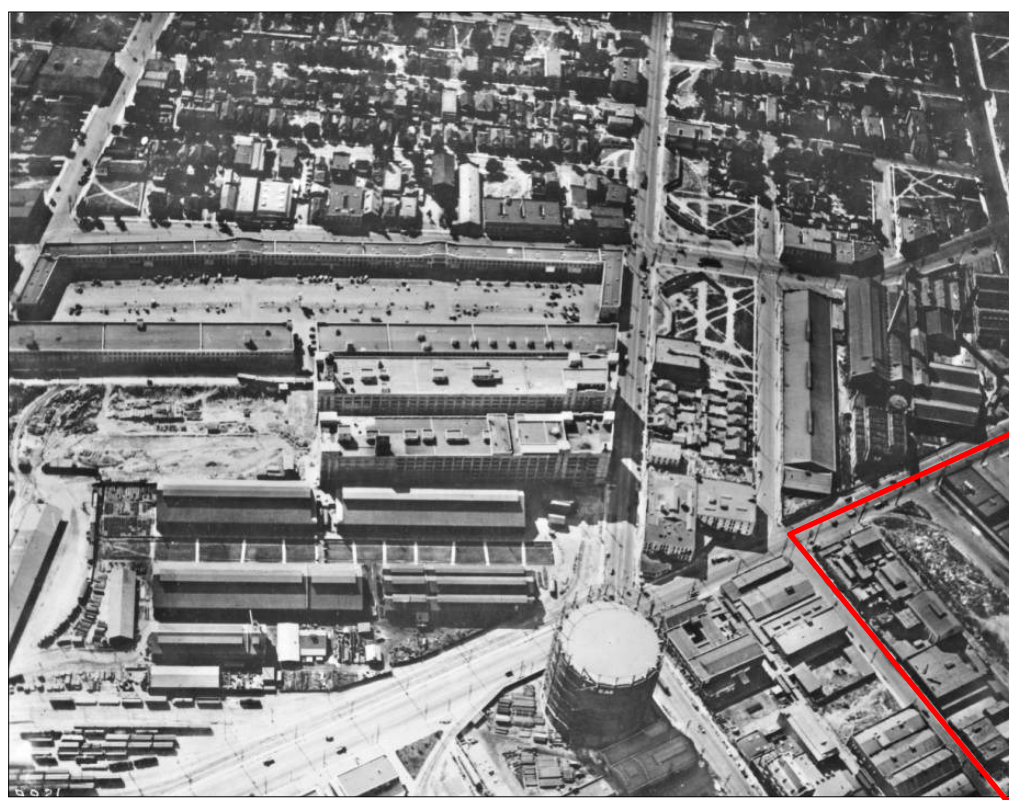


Map 5: Parcel map of study area, with subject property shaded yellow; study area outlined in black; boundary of Downtown Los Angeles Industrial Historic District outlined in blue dashed line; and contributors to the district shaded in blue. Also outlined is Los Angeles Union Terminal outlined in red (Source of base map: Los Angeles County Assessor)

Attachment B: Historic Maps



Map 6: Historic aerial photo, subject properties outlined in red (1928)



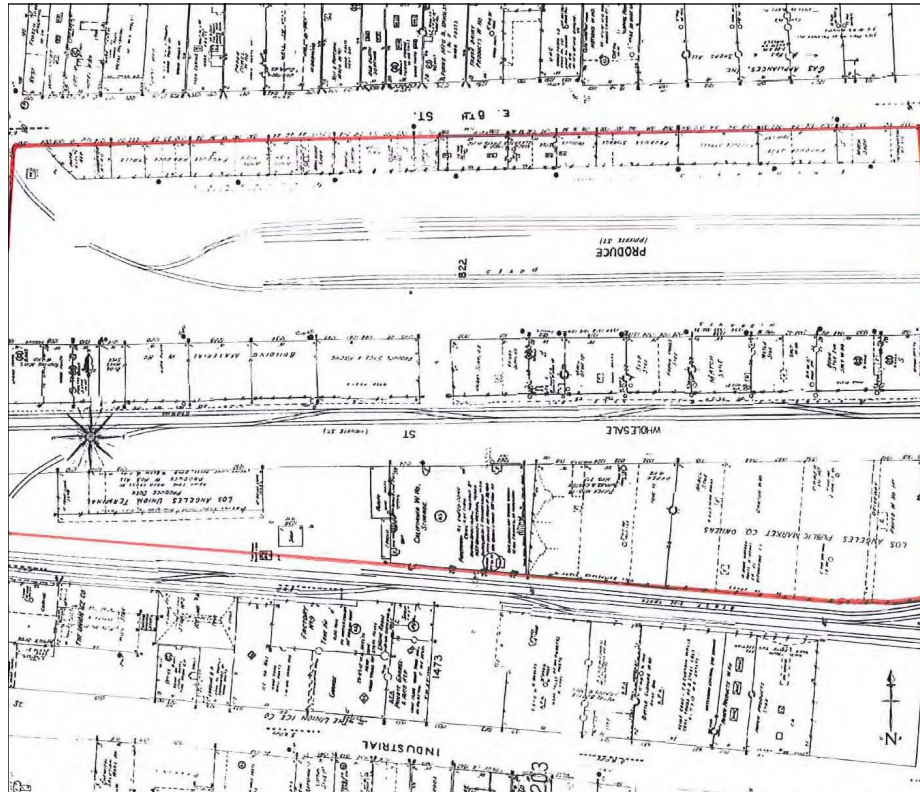
Map 7: View northwest showing a portion of subject property in 1928 (Source: USC Digital Library)

1206 – 1338 East 6th Street & 1205 – 1321 Wholesale Street

Attachment B: Historic Maps



Map 8: Historic aerial photo, subject properties outlined in red (1947)



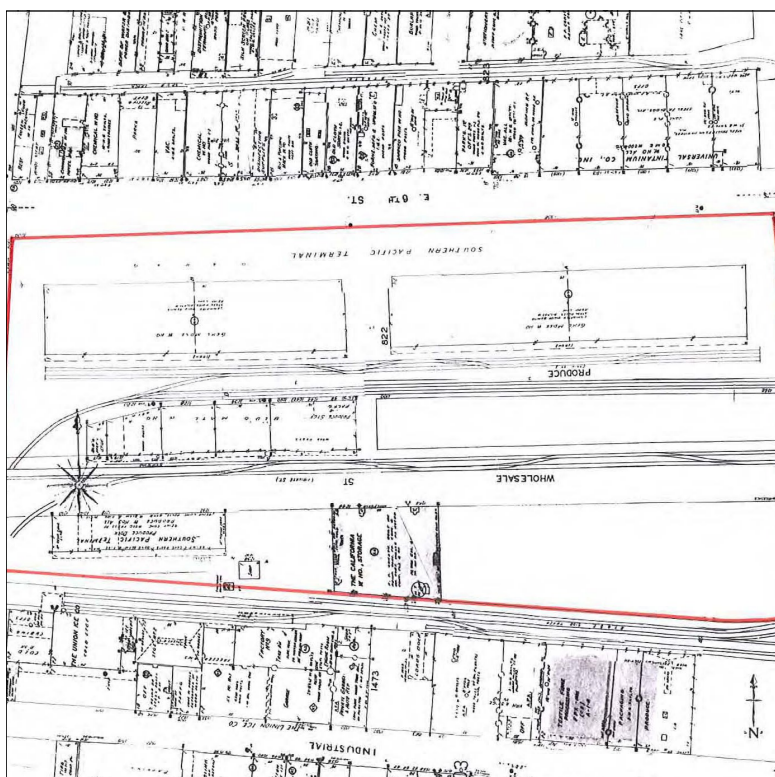
Map 9: Sanborn Fire Insurance map, subject properties outlined in red (1954)

1206 – 1338 East 6th Street & 1205 – 1321 Wholesale Street

Attachment B: Historic Maps



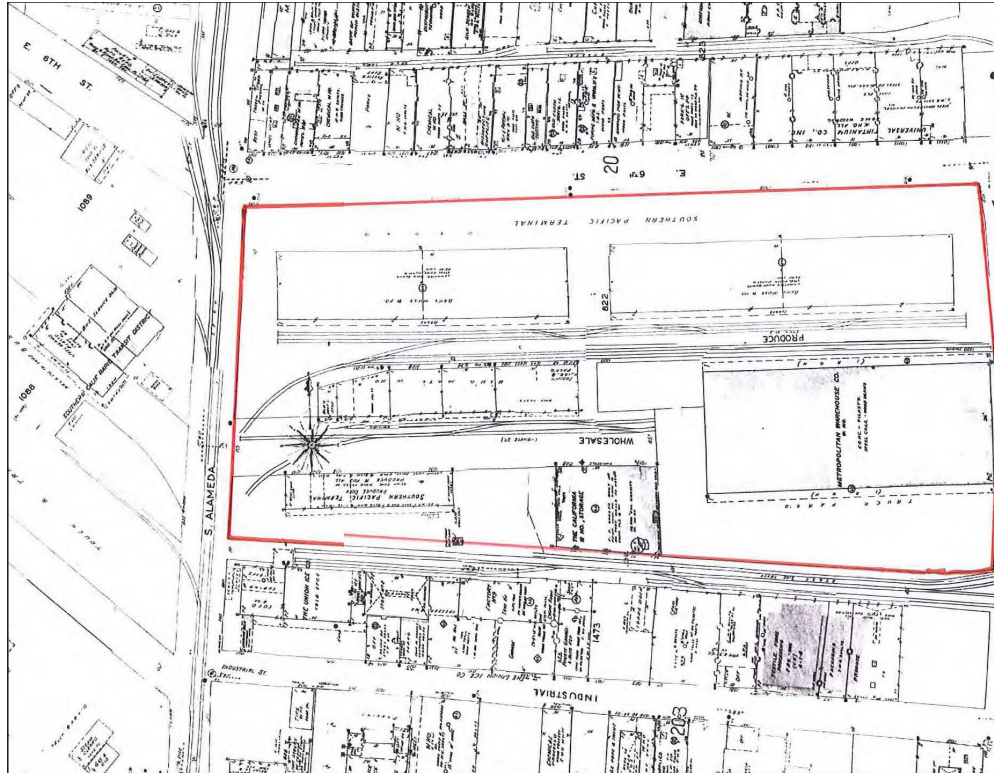
Map 10: Historic aerial photo, subject properties outlined in red, note northern building extant (1965)



Map 11: Sanborn Fire Insurance map, subject properties outlined in red (1967)

1206 – 1338 East 6th Street & 1205 – 1321 Wholesale Street

Attachment B: Historic Maps



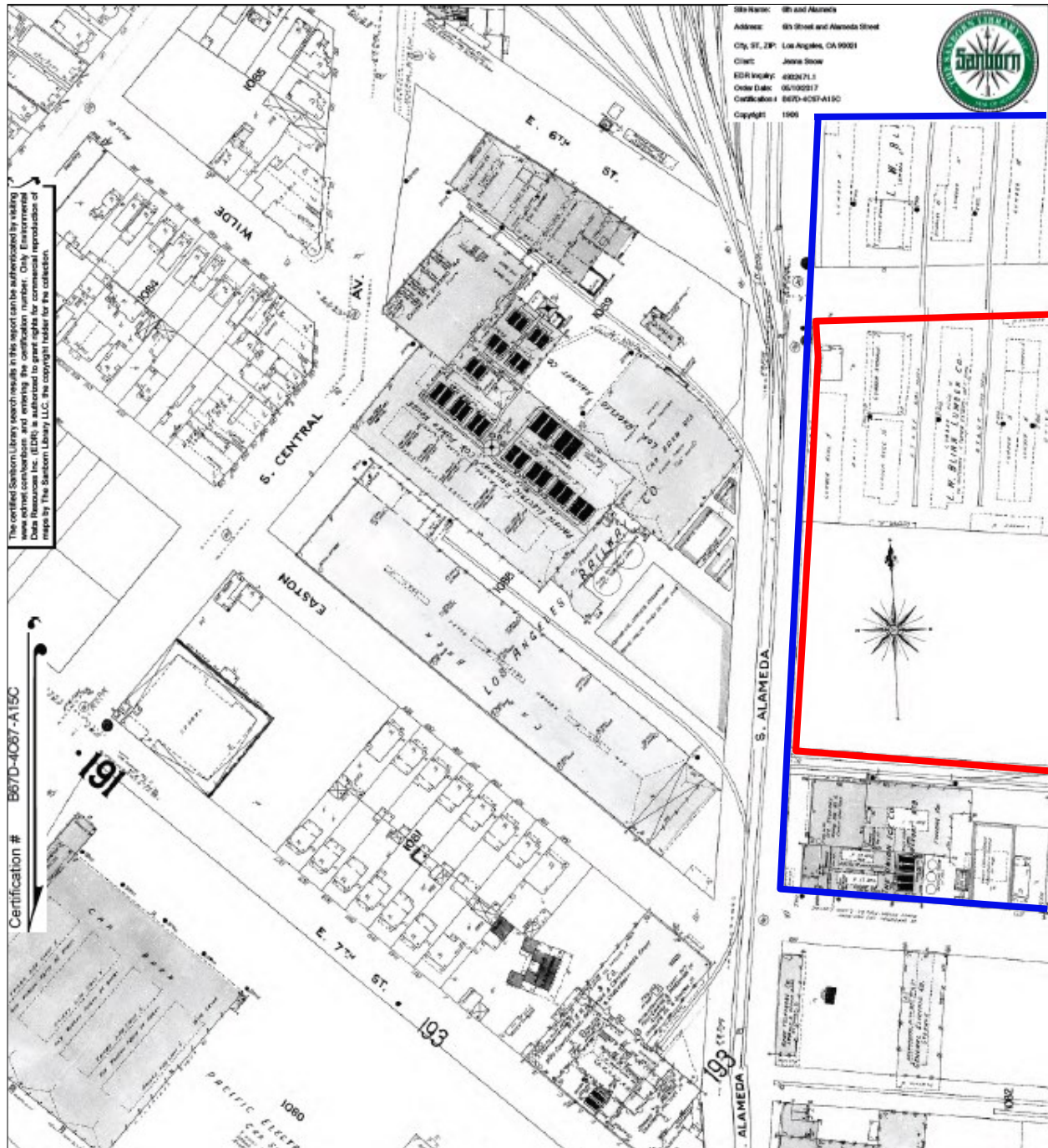
Map 12: Sanborn Fire Insurance map, subject properties outlined in red, note part of southern building extant (1970)



Map 13: Historic aerial photo, subject properties outlined in red, note both buildings extant as they currently appear (1976)

1206 – 1338 East 6th Street & 1205 – 1321 Wholesale Street

Attachment B: Historic Maps



Map 14: Sanborn Map showing west portion of study area (outlined in blue) and subject properties (outlined in red), 1906 (Environmental Data Resources, Inc.)

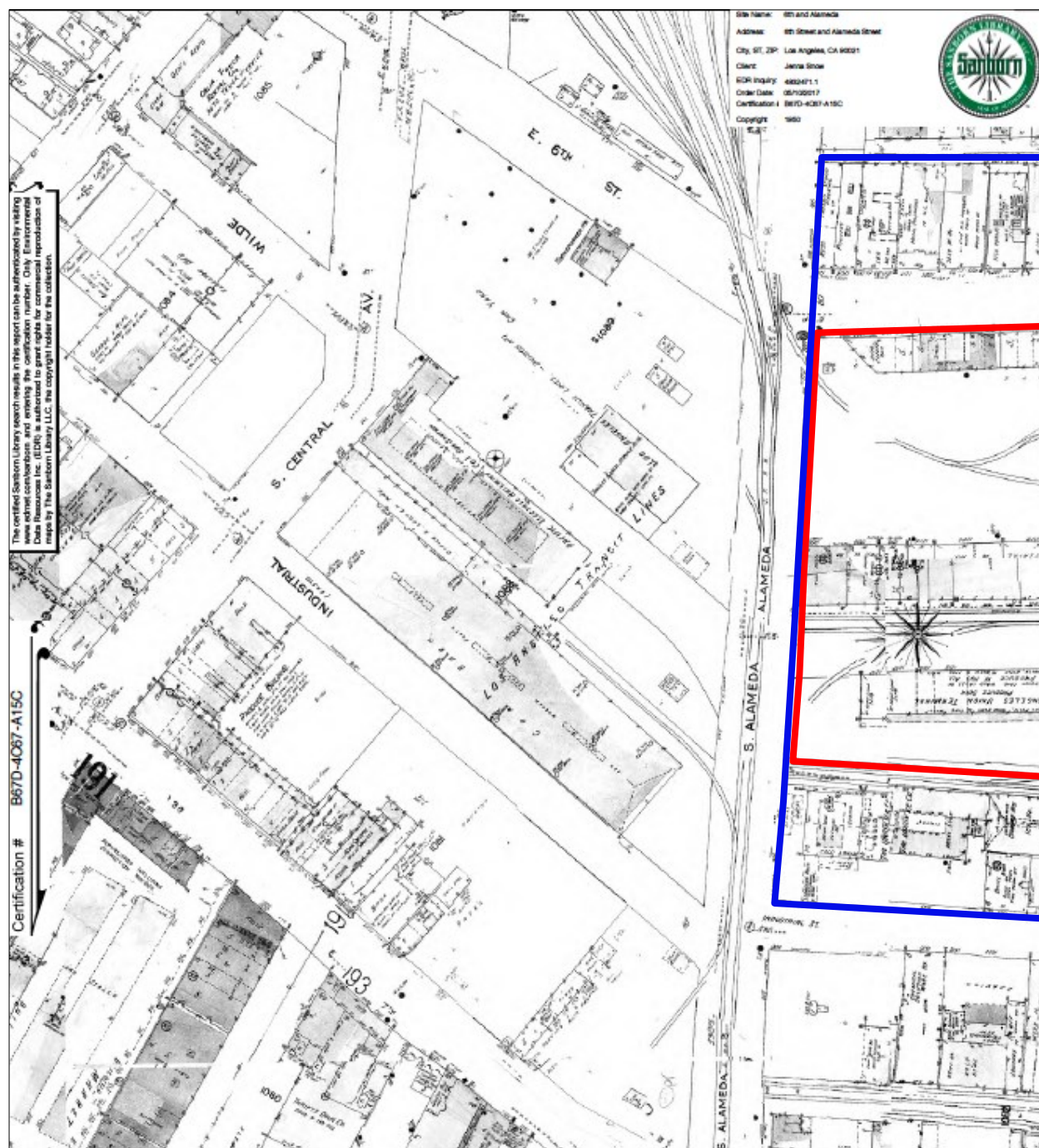
[illegible]

1206 – 1338 East 6th Street & 1205 – 1321 Wholesale Street

[illegible]

1206 – 1338 East 6th Street & 1205 – 1321 Wholesale Street

Attachment B: Historic Maps



Map 17: Sanborn Map showing west portion of study area (outlined in blue) and subject properties (outlined in red), 1950 (Environmental Data Resources, Inc.)

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 Post: 8th Street and Main Street
 ST: 2P: Los Angeles, CA 90011
 re: Java Show
 Inquiry: 800-371-1
 M Date: 05/10/2017
 SearchID: 8070-KC7-A15C

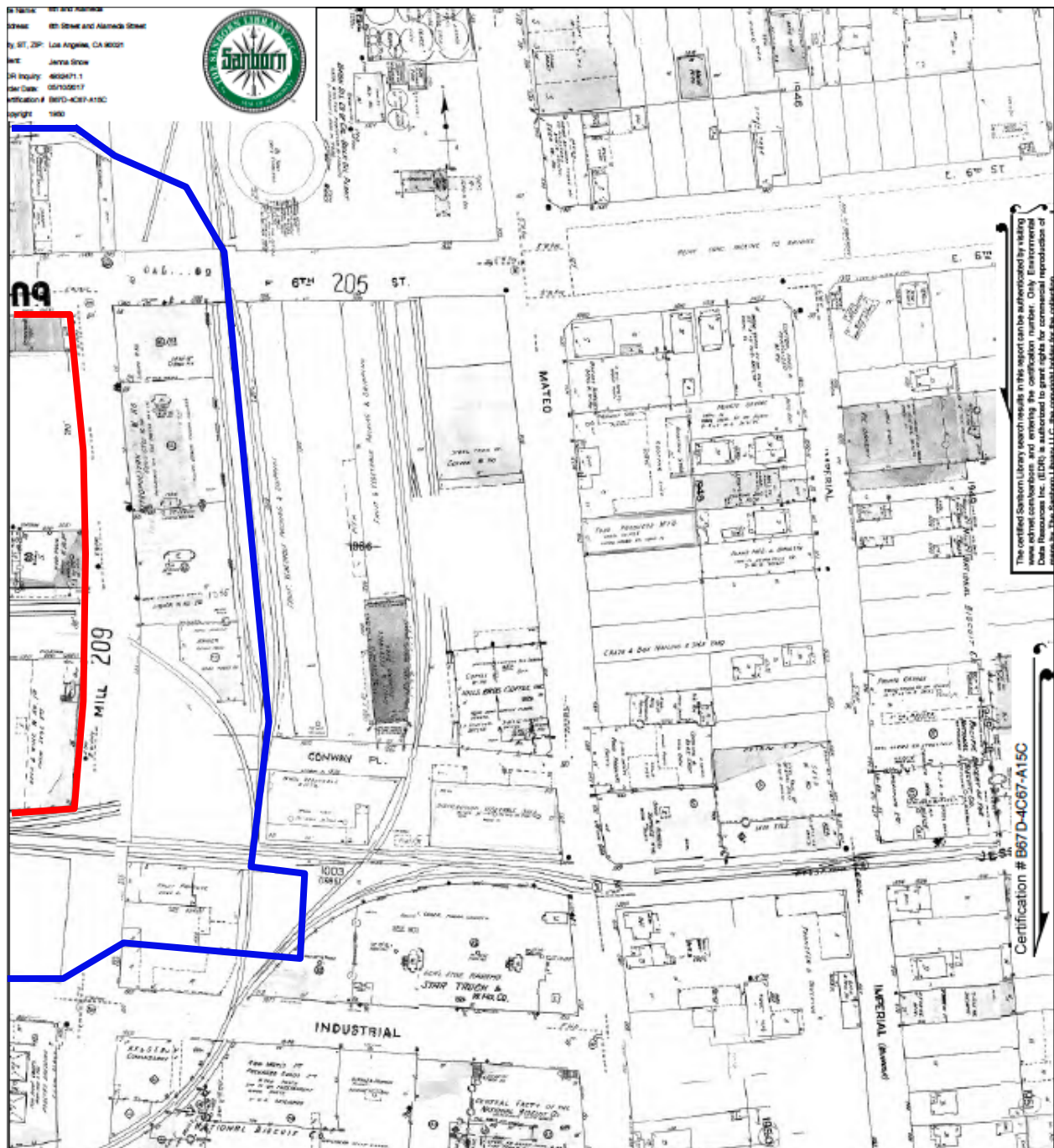
SANBORN LIBRARY

The certified Sanborn Library search results in this report can be authenticated by visiting www.sanborn.com and entering the certification number: Only Element

Certification # B67D-4067-A15C

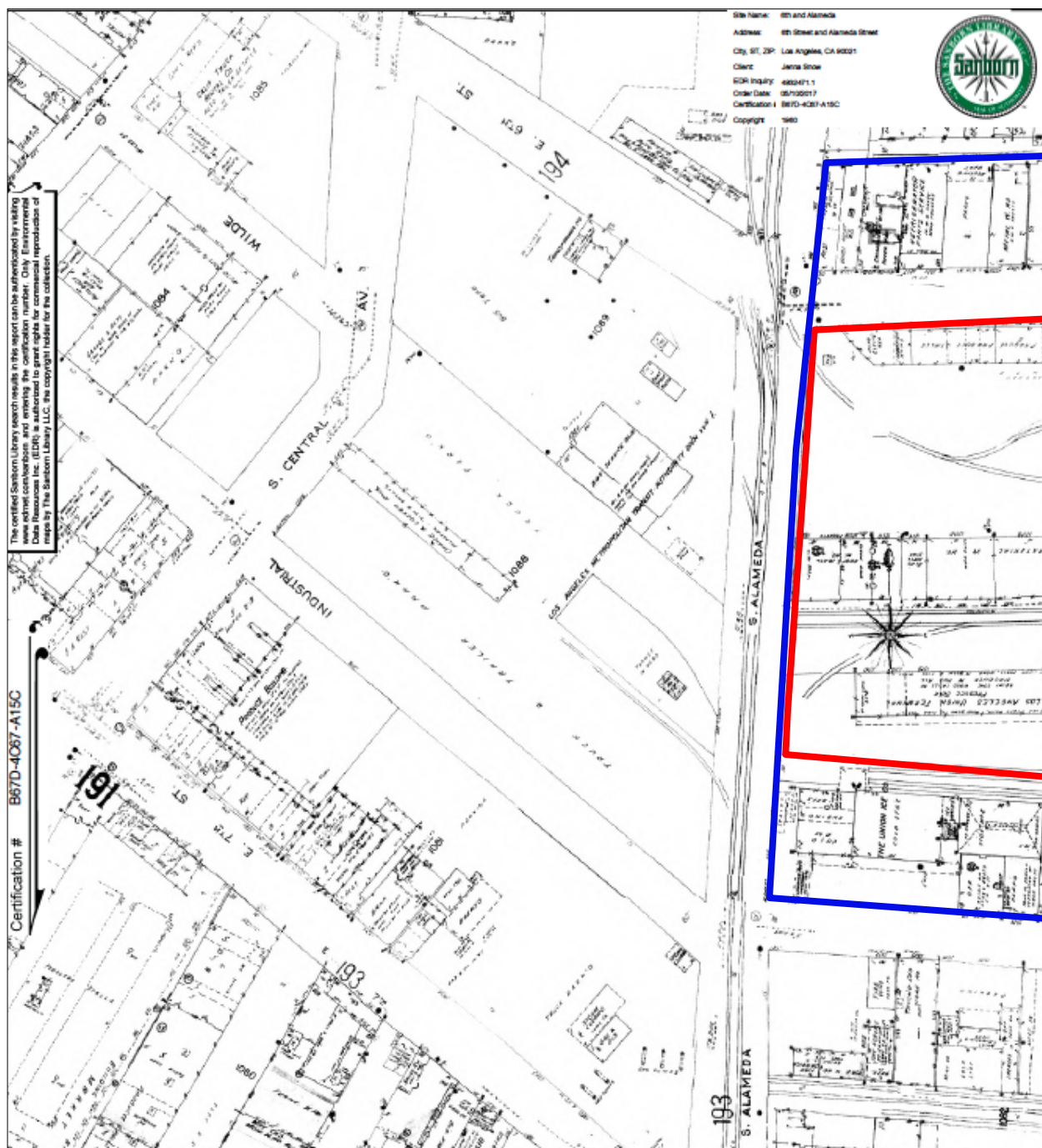
1206 – 1338 East 6th Street & 1205 – 1321 Wholesale Street

Attachment B: Historic Maps



Map 19: Sanborn Map showing east portion of study area (outlined in blue) and subject properties (outlined in red), 1950 (Environmental Data Resources, Inc.)

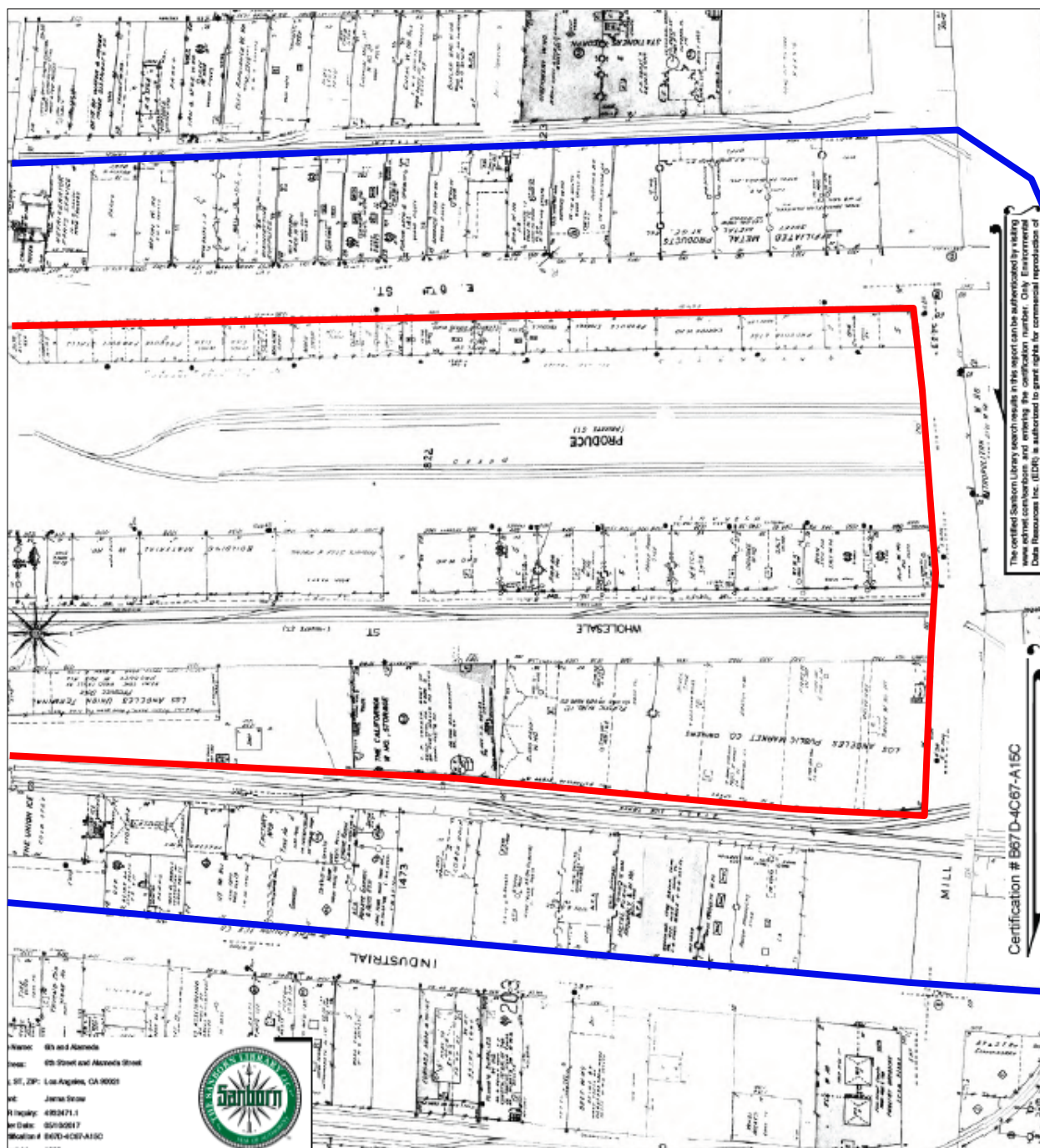
Attachment B: Historic Maps



Map 20: Sanborn Map showing west portion of study area (outlined in blue) and subject properties (outlined in red), 1960 (Environmental Data Resources, Inc.)

1206 – 1338 East 6th Street & 1205 – 1321 Wholesale Street

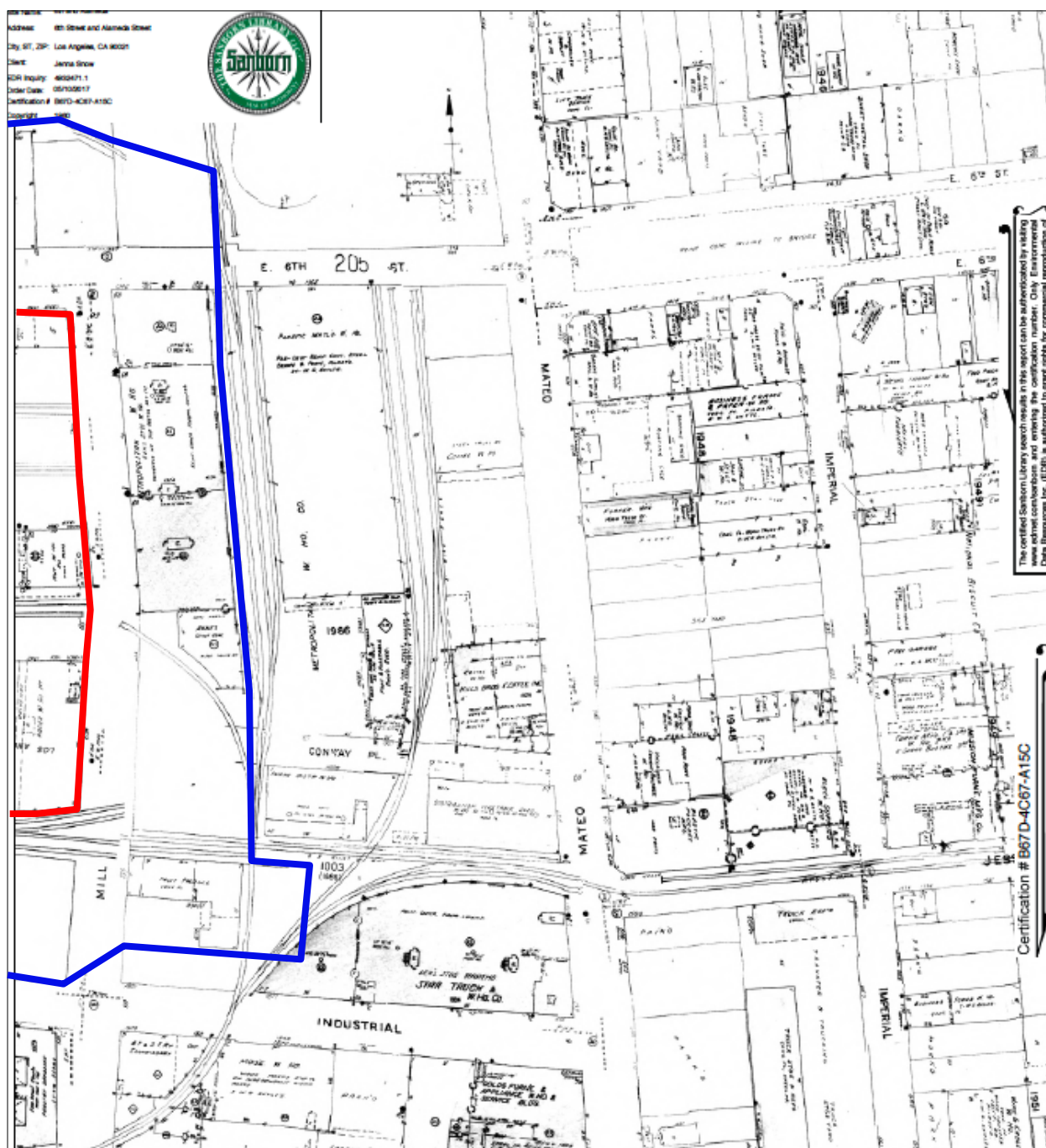
Attachment B: Historic Maps



Map 21: Sanborn Map showing center portion of study area (outlined in blue) and subject properties (outlined in red), 1960 (Environmental Data Resources, Inc.)

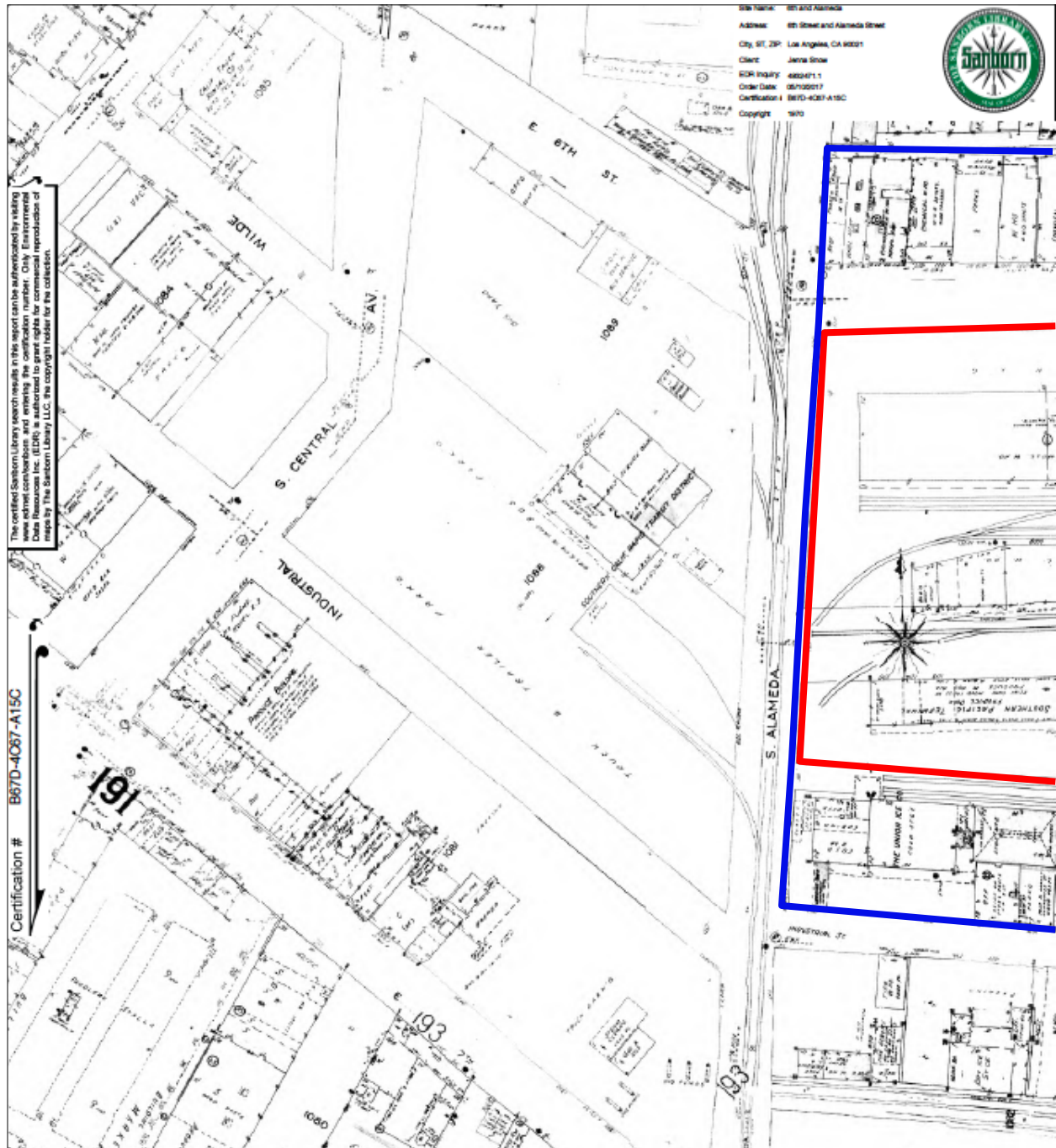
1206 – 1338 East 6th Street & 1205 – 1321 Wholesale Street

Attachment B: Historic Maps



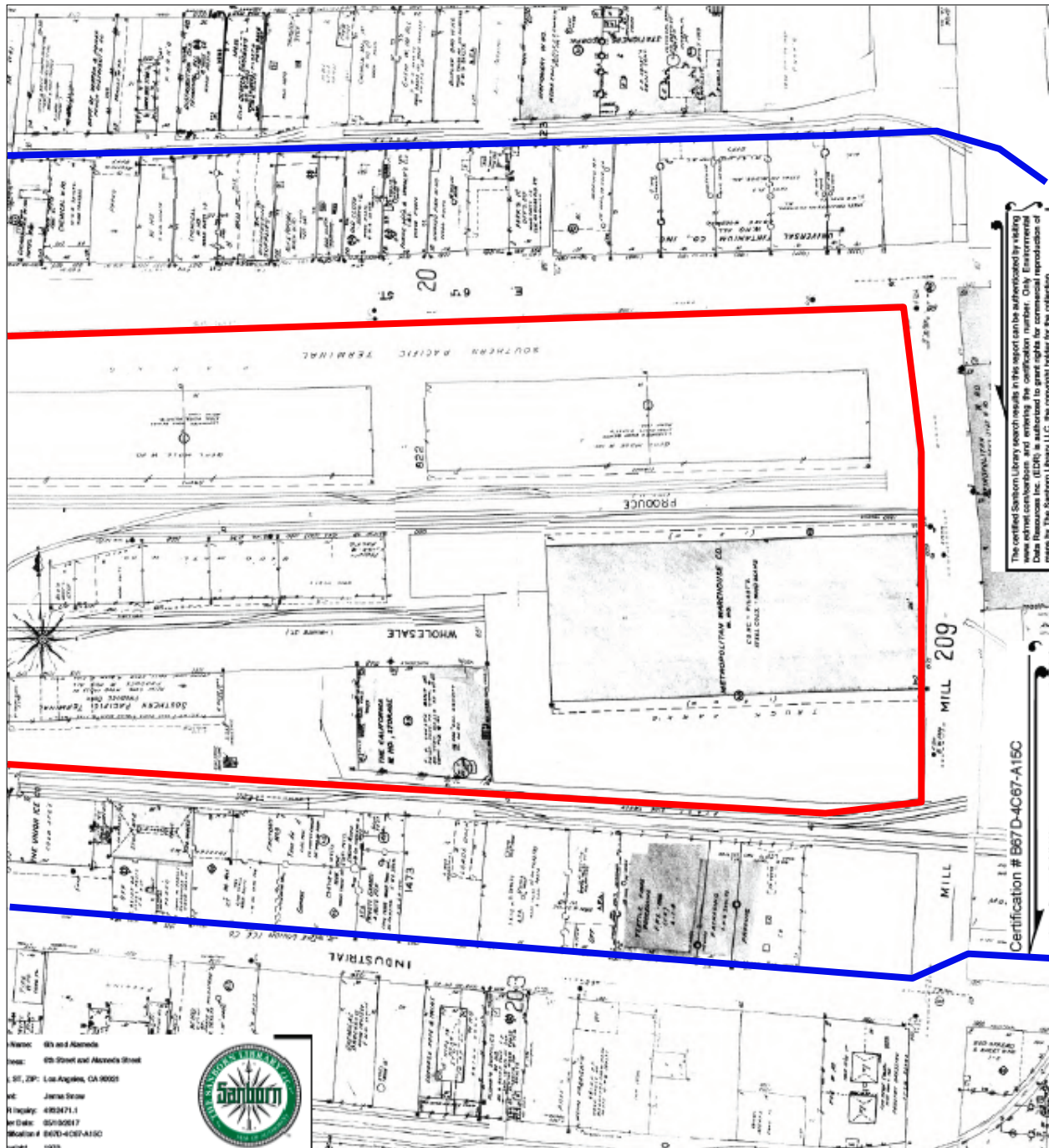
Map 22: Sanborn Map showing east portion of study area (outlined in blue) and subject properties (outlined in red), 1960 (Environmental Data Resources, Inc.)

Attachment B: Historic Maps



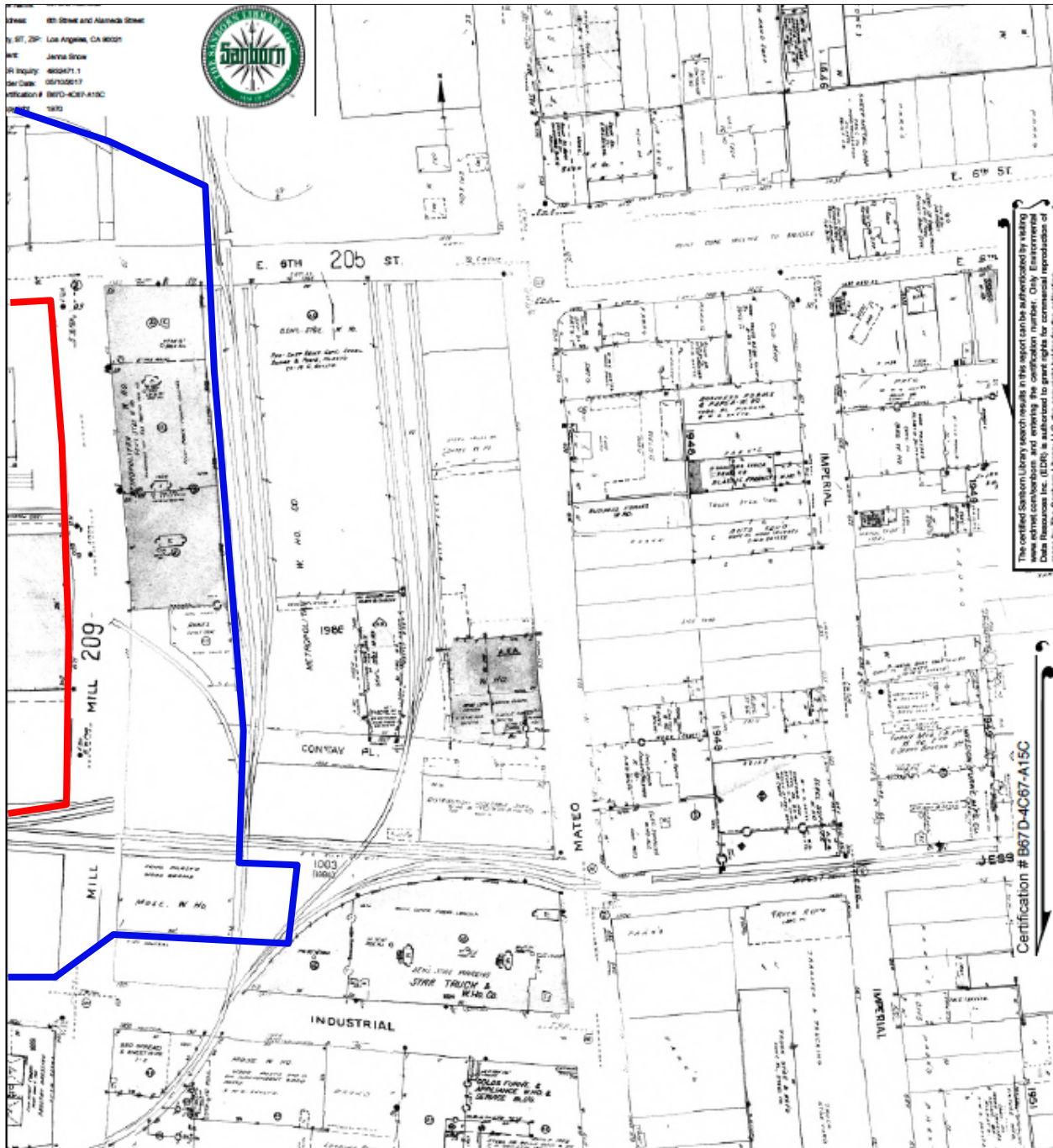
Map 23: Sanborn Map showing west portion of study area (outlined in blue) and subject properties (outlined in red), 1970 (Environmental Data Resources, Inc.)

Attachment B: Historic Maps



Map 24: Sanborn Map showing center portion of study area (outlined in blue) and subject properties (outlined in red), 1970 (Environmental Data Resources, Inc.)

Attachment B: Historic Maps



Map 25: Sanborn Map showing east portion of study area (outlined in blue) and subject properties (outlined in red), 1970 (Environmental Data Resources, Inc.)

1206 – 1338 East 6th Street & 1205 – 1321 Wholesale Street

Attachment C: Contemporary Photographs of Subject Property



Figure 1: Subject property, view southeast from the northwest corner of East 6th and Alameda streets (Snow, 2022)



Figure 2: North buildings, north elevation, view southeast (Snow, 2015)

Attachment C: Contemporary Photographs of Subject Property



Figure 3: North building, north elevation, detail of individual warehouse entrance, view southwest (Snow, 2015)



Figure 4: North building, east (left) and north (right) elevations, view southwest (Snow, 2022)

Attachment C: Contemporary Photographs of Subject Property



Figure 5: North building, east elevation, detail loading dock, view west (Snow, 2015)



Figure 6: North building, south (left) and east (right) elevations, view northwest (Snow, 2022)

Attachment C: Contemporary Photographs of Subject Property



Figure 7: North building, west (left) and south (right) elevations, view northeast (Snow, 2022)



Figure 8: North building, west elevation, view southeast (Snow, 2022)

Attachment C: Contemporary Photographs of Subject Property



Figure 9: North building, typical warehouse interior, view northeast (Snow, 2015)



Figure 10: North building, typical warehouse interior, view northwest (Snow, 2015)

Attachment C: Contemporary Photographs of Subject Property



Figure 11: North building, typical warehouse interior, view northwest (Snow, 2015)



Figure 12: North building, typical warehouse interior, view northwest (Snow, 2015)

Attachment C: Contemporary Photographs of Subject Property



Figure 13: North building, typical warehouse interior, view southeast (Snow, 2015)



Figure 14: North building, steel sash windows at west elevation, view west (Snow, 2015)

Attachment C: Contemporary Photographs of Subject Property



Figure 15: South building, north elevation, view southeast (Snow, 2015)



Figure 16: South building (left), north building (right), view southwest (Snow, 2022)

Attachment C: Contemporary Photographs of Subject Property



Figure 17: South building, east elevation (right) and south elevation (left), view northwest (Snow, 2022)



Figure 18: South building, east elevation, view northwest (Snow, 2015)

Attachment C: Contemporary Photographs of Subject Property



Figure 19: South building, south elevation, view northeast (Snow, 2015)

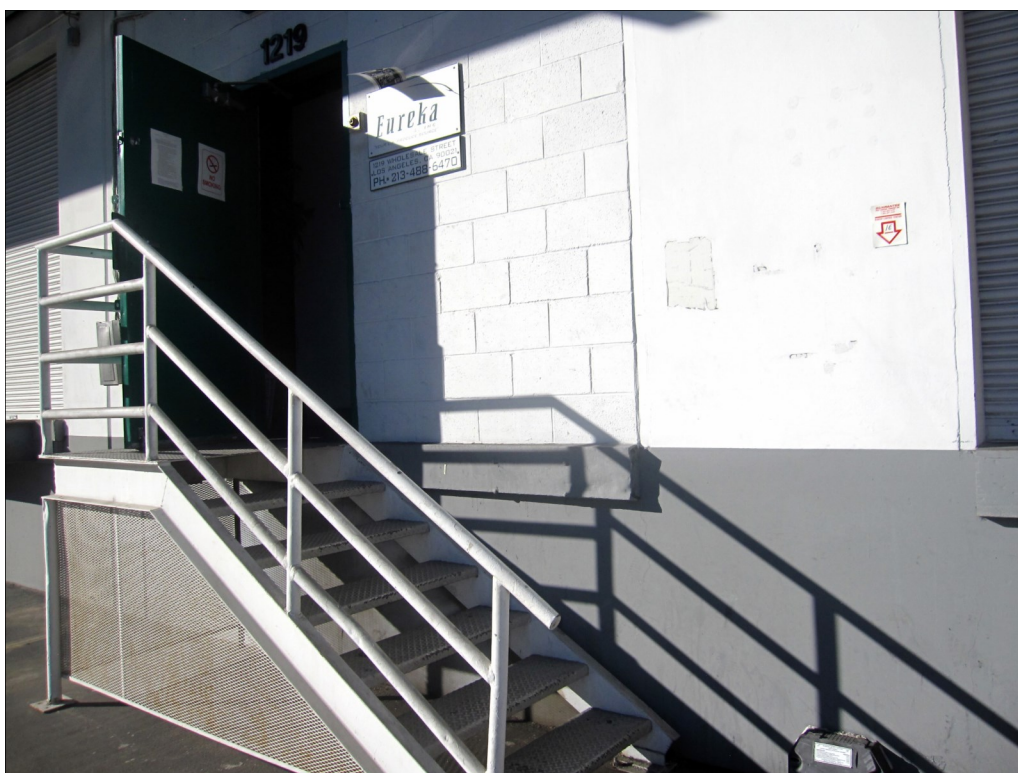


Figure 20: South building, south elevation, detail of individual warehouse entrance, view northwest (Snow, 2015)

1206 – 1338 East 6th Street & 1205 – 1321 Wholesale Street

Attachment C: Contemporary Photographs of Subject Property



Figure 21: South building, south elevation (right) and west elevation (left), view northeast (Snow, 2022)



Figure 22: South building, typical warehouse interior, view north (Snow, 2015)

Attachment C: Contemporary Photographs of Subject Property



Figure 23: South building, typical warehouse interior, view southeast (Snow, 2015)



Figure 24: South building, typical warehouse interior, view northwest (Snow, 2015)

Attachment D: Contemporary Photographs of Surrounding Properties



Figure 25: Property C (left), district contributor, view northeast (Snow, 2022)



Figure 26: Property C, district contributor, south façade, view north (Snow, 2022)

Attachment D: Contemporary Photographs of Surrounding Properties



Figure 27: Property D, district non-contributor, south façade, view north (Snow, 2022)



Figure 28: Property E, district non-contributor, south façade, view north (Snow, 2022)

Attachment D: Contemporary Photographs of Surrounding Properties



Figure 29: Property F, district contributor, south façade, view north (Snow, 2022)



Figure 30: Property G, district non-contributor, south façade, view northeast (Snow, 2022)

Attachment D: Contemporary Photographs of Surrounding Properties



Figure 31: Property H, district non-contributor, south façade, view north (Snow, 2022)



Figure 32: Property I, district contributor, south façade, view north (Snow, 2022)

Attachment D: Contemporary Photographs of Surrounding Properties



Figure 33: Property J, district non-contributor, view north (Snow, 2022)



Figure 34: Property K, district contributor, south façade, view north (Snow, 2022)

Attachment D: Contemporary Photographs of Surrounding Properties



Figure 35: Property L, district contributor, south façade, view north (Snow, 2022)



Figure 36: Property M, district contributor, south façade, view north (Snow, 2022)

Attachment D: Contemporary Photographs of Surrounding Properties



Figure 37: Property N, district non-contributor, south façade, view north (Snow, 2022)



Figure 38: Property O, district contributor, south façade, view northeast (Snow, 2022)

Attachment D: Contemporary Photographs of Surrounding Properties



Figure 39: Property O, district contributor, south façade (left) and east elevation (right), view northwest (Snow, 2022)



Figure 40: Properties P and Q, district non-contributor, surface parking lots, view northwest (Snow, 2022)

Attachment D: Contemporary Photographs of Surrounding Properties



Figure 41: Property R, district contributor, north façade (right) and east elevation (left), view southwest (Snow, 2022)



Figure 42: Property R (left) and Property S (right), district contributors, from Mill Street, view northeast (Snow, 2022)

Attachment D: Contemporary Photographs of Surrounding Properties



Figure 43: Property T, district non-contributor, straddling Conway Place, view northeast from Mill Street (Snow, 2022)



Figure 44: Property U, district non-contributor, north elevation (center) and west elevation (right), view southeast (Snow, 2022)

Attachment D: Contemporary Photographs of Surrounding Properties



Figure 45: Property V, district contributor, rear (north) elevations, from subject property, view southwest (Snow, 2022)



Figure 46: Property V, district contributor, primary (south) facades, from Industrial Street, view northwest (Snow, 2022)

Attachment D: Contemporary Photographs of Surrounding Properties



Figure 47: Property V, district contributor, south façade, view northwest (Snow, 2022)



Figure 48: Property V, district contributor, south façade, view north (Snow, 2022)

Attachment D: Contemporary Photographs of Surrounding Properties



Figure 49: Property V, district contributor, south façade, view northeast (Snow, 2022)



Figure 50: Property V, district non-contributor, south façade, view northeast (Snow, 2022)

Attachment D: Contemporary Photographs of Surrounding Properties



Figure 51: Property V (right), driveway (center), Property W (left), view north (Snow, 2022)



Figure 52: Property W, district non-contributor, view northeast (Snow, 2022)

Attachment E: Proposed Plans

EAST END STUDIOS

Arts District Los Angeles

LOS ANGELES, CA 90021

PROJECT INFORMATION

ADDRESS: 1206 E 6TH ST. LOS ANGELES, CA 90021

PROJECT SCOPE:
NEW CONSTRUCTION SOUNDSTAGE CAMPUS CONSTRUCTION CONSISTING OF:
2 X [5] STORIES OFFICE STRUCTURES, TYPE II-B ON TYPE I-A PODIUM
16 X [1] STORY SOUND STAGE STUDIO STRUCTURES, TYPE II-B
3 X [1] STORY COVERED OUTDOOR MILLS, TYPE II-B
1 X [6] STORIES PARKING STRUCTURE, TYPE I-A

PROJECT USE:
SOUNDSTAGES WITH ANCILLARY USES (GREEN ROOM, CONFERENCE ROOMS, ETC.) AND INCIDENTAL OFFICES. PROPOSED SOUNDSTAGES ARE FOR THE PURPOSE OF MOTION PICTURE, TELEVISION, AND COMMERCIAL PRODUCTION. ASSEMBLY OF SETS AND FILMING ENVIRONMENTS IN ADJACENT "MILL" WORKSHOPS; CREATIVE WORKPLACE

PROJECT NAME:
EAST END STUDIOS ARTS DISTRICT LOS ANGELES

LEGAL DESCRIPTION:
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:
LOT "A" OF TRACT NO. 1182, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 17, PAGE 124 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:
LOT 1" OF THE INDUSTRIAL TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 5, PAGE 56 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 3:
THAT PORTION OF CITY OF LANDS OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 2, PAGES 504 AND 505 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY, BOUNDED AND DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT IN THE EAST LINE OF ALAMEDA STREET WHERE THE SAME IS INTERSECTED BY THE SOUTH LINE OF 60 FOOT STRIP OF LAND CONVEYED BY CAROLINE SHAFER, TO THE CITY OF LOS ANGELES FOR SIXTH STREET,

BY DEED RECORDED IN BOOK 2110, PAGE 131 OF DEEDS; THENCE ALONG THE SOUTH LINE OF SIXTH STREET, NORTH 88°35'30" EAST TO THE WEST LINE OF MILL STREET, AS SHOWN ON MAP OF THE INDUSTRIAL TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, RECORDED IN BOOK 5, PAGE 56 OF MAPS; THENCE ALONG THE WEST LINE OF MILL STREET, SOUTH 04°52' EAST 336 FEET, MORE OR LESS, TO THE NORTHEAST CORNER OF LOT 1' OF SAID INDUSTRIAL TRACT; THENCE WESTERLY ALONG THE NORTHERLY LINE OF SAID LOT 1" AND ALONG THE DIVIDING LINE BETWEEN THE LANDS OF ALICE SHAFER AND CAROLINE SHAFER, AS PARTITIONED BETWEEN THEM, BY DEED RECORDED IN BOOK 755, PAGE 57 OF DEEDS, 1177 FEET, MORE OR LESS, TO A POINT IN THE EASTERLY LINE OF ALAMEDA STREET; THENCE NORTHERLY ALONG SAID STREET LINE TO THE POINT OF BEGINNING, EXCEPTING FROM PARCELS 1, 2 AND 3 ABOVE, ALL OIL, MINERAL, GAS AND OTHER HYDROCARBON SUBSTANCES BELOW A DEPTH OF 500 FEET UNDER THE SURFACE OF THE LAND, BUT WITHOUT THE RIGHT OF SURFACE ENTRY OR ANY OTHER USE OF THE LAND ABOVE SUCH 500 FOOT DEPTH, AS RESERVED BY SOUTHERN PACIFIC TRANSPORTATION COMPANY, IN DEED RECORDED OCTOBER 12, 1988 AS INSTRUMENT NO. 88-1634144 OF OFFICIAL RECORDS,

APN: 5164-010-003 (PORTION OF PARCEL 3); 5164-D10-004 (PORTION OF PARCELS 1 AND 3); 5164-010-005 (PARCEL 2 AND PORTION OF PARCELS 1 AND 3)

ZONE DISTRICT:
M3-1-RIO: HEAVY INDUSTRIAL ZONE, WITHIN A HEIGHT 1 DISTRICT AND WITHIN THE RIVER IMPROVEMENT OVERLAY DISTRICT
East Los Angeles Enterprise Zone (State)
Transit Oriented Communities (TOC) Tier 3
Designated "Opportunity Zone"

LOT ACREAGE
635,551 SF (14.59 ACRES) PER LOS ANGELES COUNTY ASSESSOR

PROPOSED TOTAL BUILDING FLOOR AREA
675,611 SF

ALLOWABLE FAR: 1.5

ALLOWABLE HEIGHT PER LOS ANGELES ZONING CODE:
HEIGHT DISTRICT 1, UNLIMITED

REQUIRED SETBACKS:
- FRONT YARD = 0' (10' AT CORNER OF INTERSECTION)
- REAR YARD = 0'
- SIDE YARDS = 0'

TYPE OF CONSTRUCTION:
TYPE I-A: PODIUM, PARKING STRUCTURE, COVERED OUTDOOR MILL
TYPE II-B: STAGES, COVERED OUTDOOR MILL
TYPE III-B: OFFICES

OCCUPANCY:
F-1: MOTION PICTURE AND TELEVISION PRODUCTION STUDIO SOUNDSTAGES
B - SMALL ASSEMBLY SPACES & OFFICES
S-2: PARKING
A-3: FOOD AND DRINK CONSUMPTION ASSEMBLY

LIFE SAFETY:
FULLY SPRINKLERED - FIRE SPRINKLER SYSTEM NFPA 13 PER CBC 903.3.1.1, 410.6, AND 410.7.

APPLICABLE CODES
2022 CALIFORNIA BUILDING CODE (CBC)
2022 CBC ACCESSIBILITY CODE (CBC-11B)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA ENERGY CODE (CEnc)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA GREEN BUILDING CODE (CAL GREEN)
2022 CALIFORNIA FIRE CODE (CFC)
ALL CURRENT LOS ANGELES MUNICIPAL CODES AND LOCAL ORDINANCES (L.A.M.C.)

DEFERRED PERMITS:
DESIGN/BUILD ENGINEERING SYSTEMS WILL BE DEFERRED PERMIT SUBMITTALS AND SHALL BE SUBMITTED BY THE SUBCONTRACTOR TO THE AUTHORITY HAVING JURISDICTION. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

- FIRE SPRINKLER SYSTEM
- FIRE ALARM SYSTEM
- ELEVATOR SYSTEM
- SOLAR PHOTOVOLTAIC SYSTEM
- STEEL STAIRS
- HANDRAILS & GUARDRAILS ANCHORS
- STOREFRONT SYSTEM

BUILDING AREA & PROGRAM

Building	Area in SF	Type	Use	Height	Stories
BUILDING #1					
COVERED DROP-OFF A	5,869 SF	I-A	INDUSTRIAL		
COVERED OUTDOOR MILL	8,045 SF	I-A	INDUSTRIAL		
MILL A	10,446 SF	I-A	INDUSTRIAL		
OFFICE A	153,561 SF	III-B	BUSINESS		
Building Total	177,921 SF			74'	5 Stories w/ I-A Podium
BUILDING #2					
STUDIO 1	18,018 SF	II-B	INDUSTRIAL		
STUDIO 2	18,109 SF	II-B	INDUSTRIAL		
STUDIO 3	18,018 SF	II-B	INDUSTRIAL		
Building Total	54,145 SF			53'	1 Story
BUILDING #3					
BOH	5,027 SF	II-B	INDUSTRIAL		
COVERED OUTDOOR MILL	2,950 SF	II-B	INDUSTRIAL		
Building Total	7,977 SF			20'	1 Story
BUILDING #4					
STUDIO 4	18,018 SF	II-B	INDUSTRIAL		
STUDIO 5	18,109 SF	II-B	INDUSTRIAL		
STUDIO 6	18,018 SF	II-B	INDUSTRIAL		
Building Total	54,145 SF			53'	1 Story
BUILDING #5					
COVERED DROP-OFF B	3,878 SF	I-A	INDUSTRIAL		
COVERED OUTDOOR MILL	8,075 SF	I-A	INDUSTRIAL		
MILL B	8,795 SF	I-A	INDUSTRIAL		
OFFICE B	144,099 SF	III-B	BUSINESS		
Building Total	164,847 SF			74'	5 Stories w/ I-A Podium
BUILDING #6					
PARKING STRUCTURE					
Building Total	415 STALLS			53'	5 Stories
BUILDING #7					
COVERED OUTDOOR MILL	7,973 SF	I-A	INDUSTRIAL		
STUDIO 7	16,038 SF	II-B	INDUSTRIAL		
STUDIO 8	16,038 SF	II-B	INDUSTRIAL		
Building Total	40,049 SF			53'	1 Story
BUILDING #8					
STUDIO 9	17,127 SF	II-B	INDUSTRIAL		
STUDIO 10	17,127 SF	II-B	INDUSTRIAL		
Building Total	34,254 SF			53'	1 Story
BUILDING #9					
BOH	3,361 SF	II-B	INDUSTRIAL		
COVERED OUTDOOR MILL	4,360 SF	II-B	INDUSTRIAL		
Building Total	7,721 SF			20'	1 Story
BUILDING #10					
STUDIO 11	27,942 SF	II-B	INDUSTRIAL		
STUDIO 12	27,942 SF	II-B	INDUSTRIAL		
Building Total	55,884 SF			57'	1 Story
BUILDING #11					
BOH	4,733 SF	II-B	INDUSTRIAL		
COVERED OUTDOOR MILL	5,427 SF	II-B	INDUSTRIAL		
Building Total	10,160 SF			20'	1 Story
BUILDING #12					
STUDIO 13	17,127 SF	II-B	INDUSTRIAL		
STUDIO 14	17,127 SF	II-B	INDUSTRIAL		
Building Total	34,254 SF			53'	1 Story
BUILDING #13					
STUDIO 15	17,127 SF	II-B	INDUSTRIAL		
STUDIO 16	17,127 SF	II-B	INDUSTRIAL		
Building Total	34,254 SF			53'	1 Story
Grand total	675,611 SF				

Area by Building Type	
Name	Area
OFFICE	
COVERED DROP-OFF A	5,869 SF
COVERED DROP-OFF B	3,878 SF
OFFICE A	153,561 SF
OFFICE B	144,099 SF
	307,407 SF
STUDIO	
STUDIO 1	18,018 SF
STUDIO 2	18,109 SF
STUDIO 3	18,018 SF
STUDIO 4	18,018 SF
STUDIO 5	18,109 SF
STUDIO 6	18,018 SF
STUDIO 7	16,038 SF
STUDIO 8	16,038 SF
STUDIO 9	17,127 SF
STUDIO 10	17,127 SF
STUDIO 11	27,942 SF
STUDIO 12	27,942 SF
STUDIO 13	17,127 SF
STUDIO 14	17,127 SF
STUDIO 15	17,127 SF
STUDIO 16	17,127 SF
	299,012 SF
SUPPORT	
BOH	13,121 SF
COVERED OUTDOOR MILL	36,830 SF
MILL A	10,446 SF
MILL B	8,795 SF
	69,192 SF
Grand total	675,611 SF

SHEET LIST

A00 - General Notes	
A00-1001	COVER SHEET - ENTITLEMENT
A00-1010	PLOT PLAN

A01 - Existing Conditions / Demolitions	
A01-1001	ZONING INFORMATION AND SITE SURVEY
A01-1002	RENDERINGS 1 OF 3
A01-1003	RENDERINGS 2 OF 3
A01-1004	RENDERINGS 3 OF 3
A01-1007	SITE PHOTOS

A02 - General Site Plans	
A02-1001	GROUND LEVEL
A02-1002	OFFICE LEVEL 2 / AMENITY LEVEL
A02-1003	OFFICE LEVEL 3 / SUPPORT LEVEL
A02-1016	ROOFTOP LEVEL

A03 - GA Floor Plans	
A03-1001	STUDIOS 1-3
A03-1002	STUDIOS 4-6
A03-1003	STUDIOS 7-10
A03-1004	STUDIOS 11-14
A03-1005	STUDIOS 15 & 16
A03-1020	OFFICE BUILDING - ALAMEDA
A03-1021	OFFICE BUILDING - ALAMEDA
A03-1022	OFFICE BUILDING - MILL
A03-1023	OFFICE BUILDING - MILL
A03-1030	PARKING STRUCTURE
A03-1031	PARKING STRUCTURE
A03-1032	PARKING STRUCTURE

A06 - GA Elevations	
A06-1001	SOUTH ELEVATIONS
A06-1002	6TH STREET ELEVATIONS
A06-1003	MILL AND ALAMEDA STREET ELEVATIONS

A07 - GA Sections	
A07-1001	SITE SECTIONS
A07-1002	TYPICAL STUDIO BUILDING SECTIONS
A07-1003	TYPICAL OFFICE BUILDING SECTIONS

Civil Sheets	
CG-101	CONCEPTUAL GRADING PLAN
CS-101	CONCEPTUAL LID PLAN

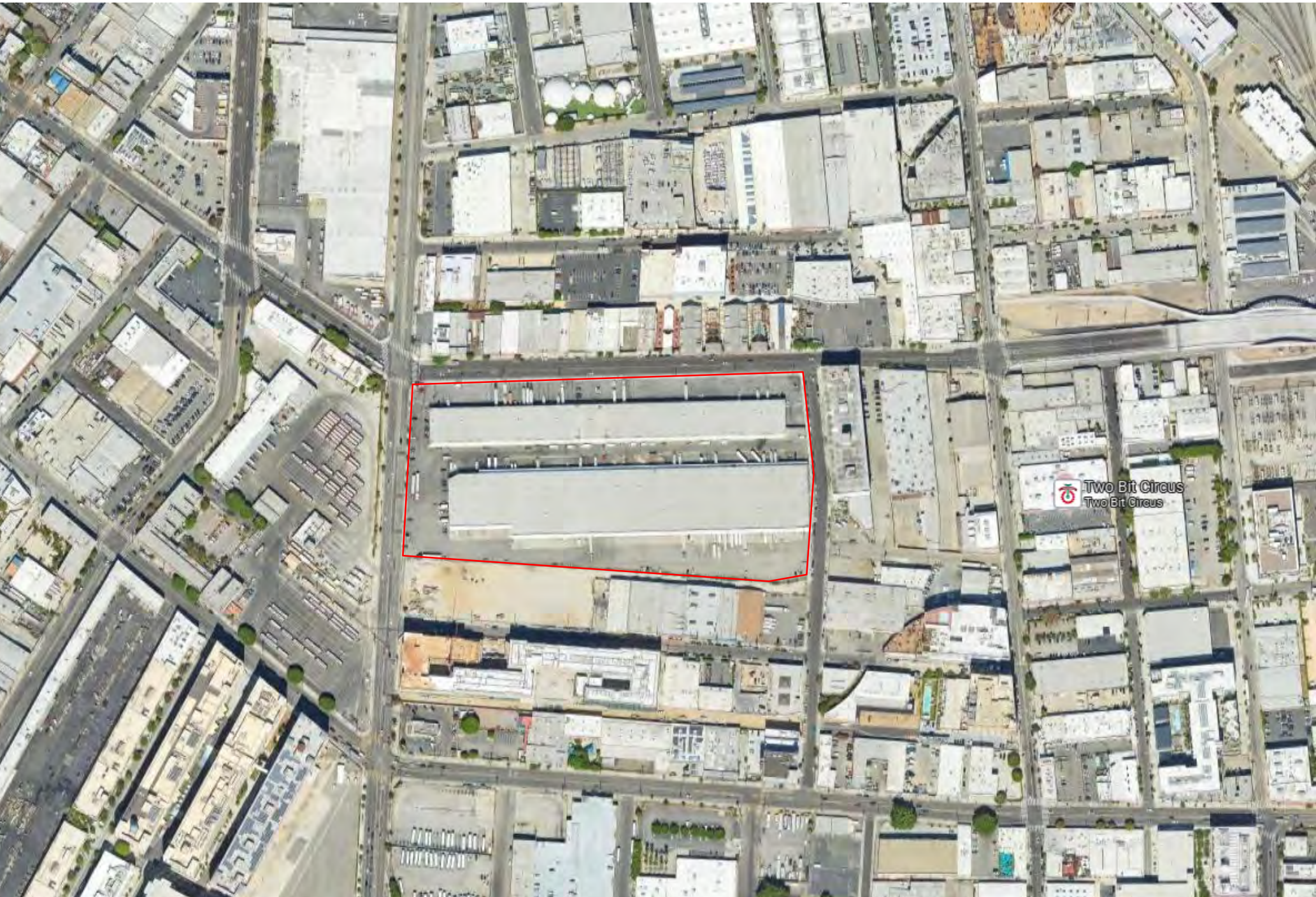
Landscape Sheets	
L-001	OPEN SPACE CALCULATIONS
L-002	TREE DISPOSITION PLAN
L-101	CONCEPTUAL LANDSCAPE PLAN - L1 GROUND FLOOR
L-102	CONCEPTUAL LANDSCAPE PLAN - L2 AMENITY DECK
L-103	CONCEPTUAL LANDSCAPE PLAN - ROOF LEVEL
L-104	PLANT PALETTE
L-105	SITE ELEVATIONS
L-106	SITE ELEVATIONS

PROJECT CONTACTS

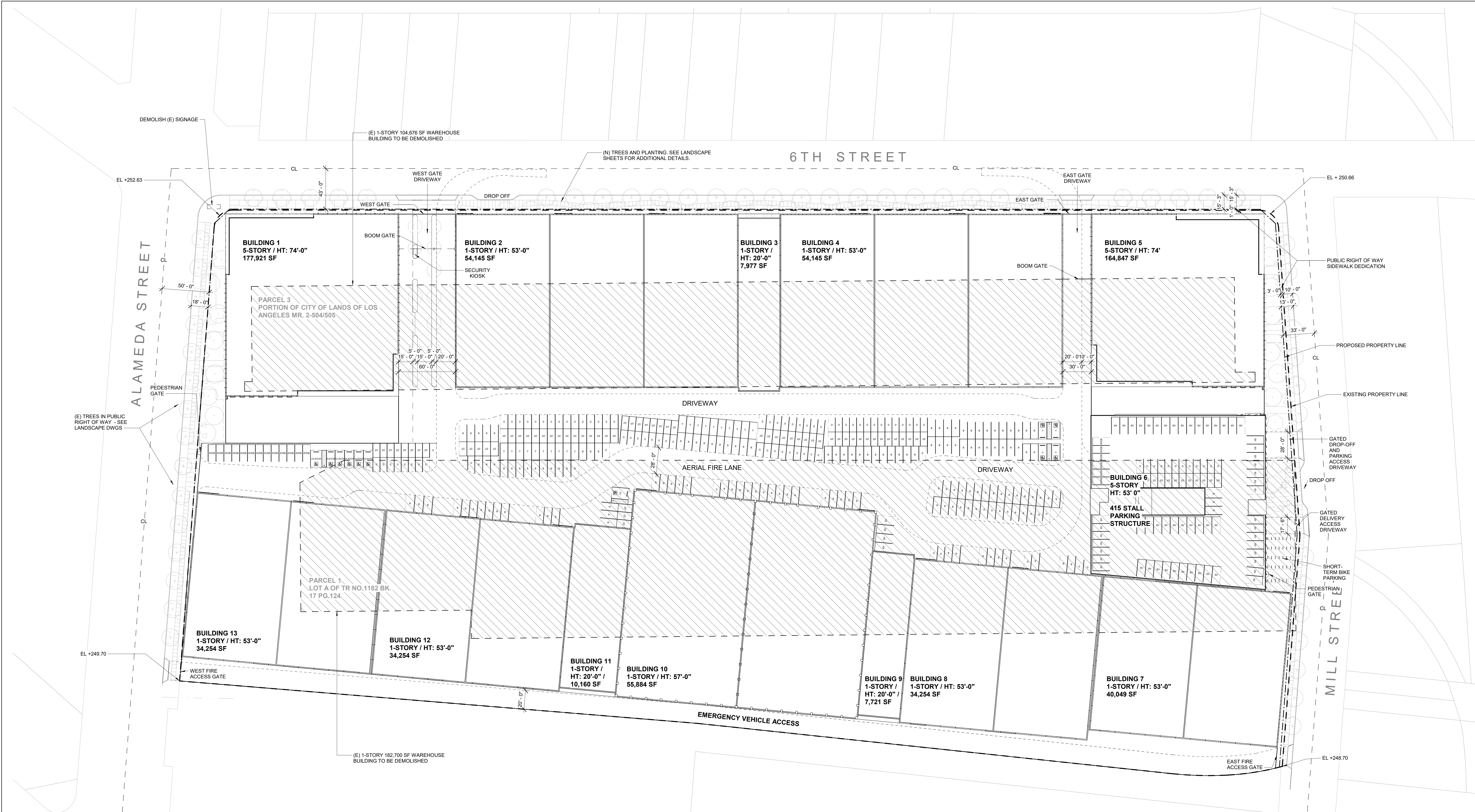
OWNER:
ALAMEDA STUDIOS OWNER, LLC
SHEP WAINWRIGHT
1239 S. GLENDALE AVE
GLENDALE, CA 91205
SWAINWRIGHT@EASTENDCAP.COM

ARCHITECT:
GRIMSHAW, INC
ANDREW BYRNE
432 COLYTON STREET
LOS ANGELES, CA 90013
ANDREW.BYRNE@GRIMSHAW.GLOBAL

CIVIL: LANGAN
STRUCTURAL: HOLMES
FIRE, LIFE & SAFETY: HOLMES
MECHANICAL, ELECTRICAL & PLUMBING: MEYERS+ ENGINEERS
LANDSCAPE ARCHITECT: STUDIO MLA
SOIL ENGINEER: LANGAN



VICINITY PLAN



PROJECT SUMMARY	
SITE ADDRESS:	1206 E 6TH ST, LOS ANGELES, CA 90021
LEGAL DESCRIPTION:	LOT - 5164 BLOCK - 010 TRACT - 003
LOT AREA:	635,551 SF (14.59 ACRES)
TOTAL NUMBER OF BUILDINGS	13
HEIGHTS OF BUILDINGS	20'-0" TO 74'-0"
TOTAL BUILDING AREA IN SF	675,611
LOT AREA in SF	635,551
FLOOR AREA RATIO PROPOSED	1.06
FLOOR AREA RATIO ALLOWED	1.50

PROGRAM TOTALS	Area in SF
STUDIO	299,012 SF
OFFICE	307,407 SF
SUPPORT	69,192 SF
Grand total	675,611 SF

PARKING SUMMARY	
BASECAMP	
STANDARD	177
COMPACT	138
ACCESSIBLE	12
EV	4
EVCS	13
	344

STRUCTURE	
STANDARD	58
COMPACT	139
ACCESSIBLE	5
EV	58
EVCS	155
	415
Grand total	759

BIKE PARKING CALCULATION	
BICYCLE PARKING REQUIRED:	173
LONG-TERM BICYCLE PARKING	105
SHORT-TERM BICYCLE PARKING	68
BICYCLE PARKING STALLS PROVIDED:	173
LONG-TERM BICYCLE PARKING	105
SHORT-TERM BICYCLE PARKING	68

PROJECT SITE IS WITHIN AB 2097: REDUCED PARKING AREAS, EV AND ACCESSIBLE PARKING STANDARDS REQUIRED BY THE LAMC WILL BE APPLIED TO VOLUNTARILY PROVIDED PARKING SPACES.

ARCHITECT
GRIMSHAW

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CLIENT
ALAMEDA STUDIOS OWNER, LLC

CONSULTANTS

PROJECT NAME
East End Studios

Arts District Los Angeles

PROJECT NO.
22043

ADDRESS
**1206 East 6th Street
Los Angeles, CA 90021**

REV BY DATE DESCRIPTION

KEY PLAN

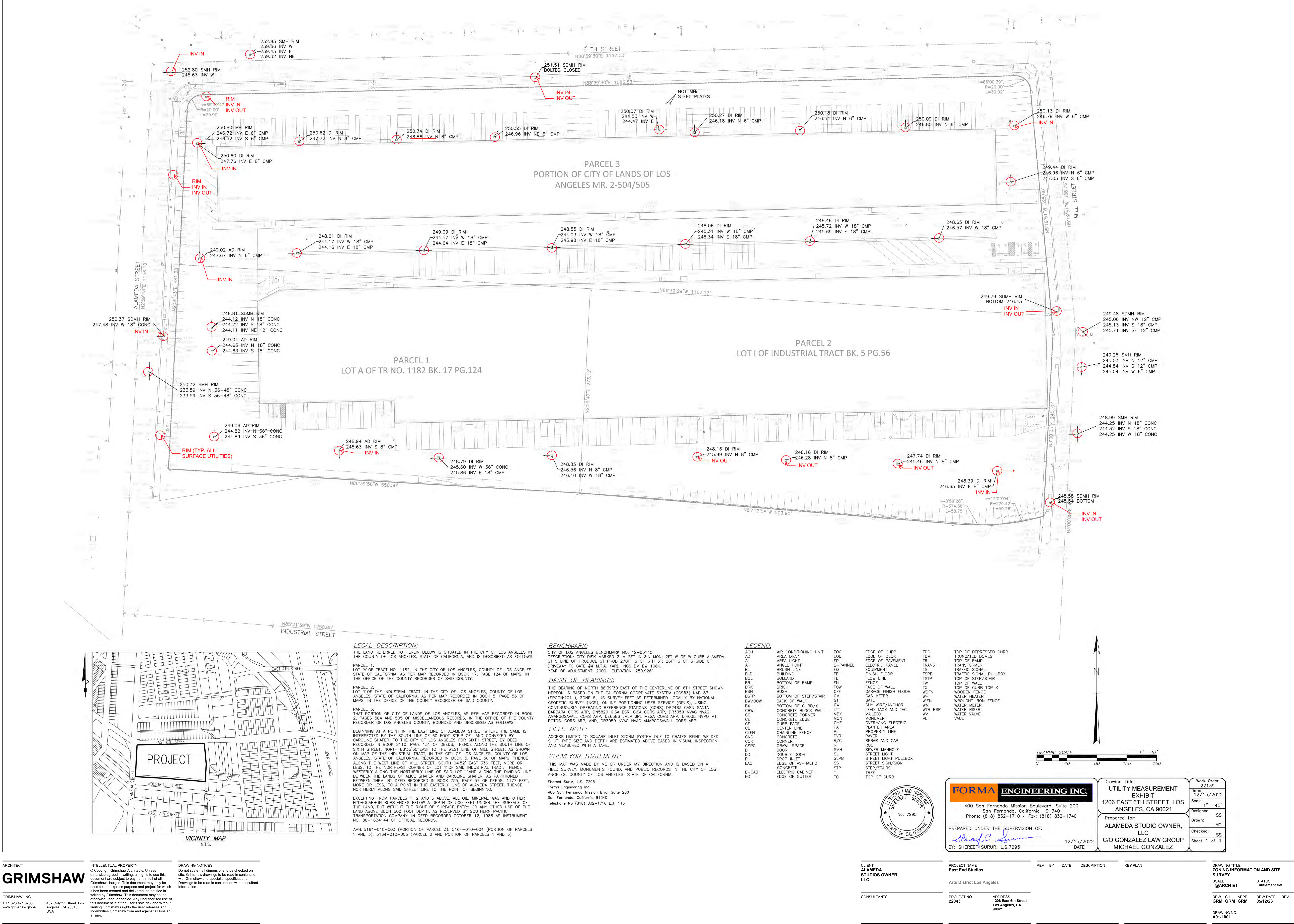
DRAWING TITLE
PLOT PLAN

SCALE
1" = 40'-0"
@ARCH E1

STATUS
Entitlement Set

DRW CH APPR DRW DATE REV
GRM GRM GRM 05/12/23

DRAWING NO.
A00-101B



LEGAL DESCRIPTION:
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:
LOT "A" OF TRACT NO. 1182, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 17, PAGE 124 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:
LOT "T" OF THE INDUSTRIAL TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 5, PAGE 56 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 3:
THAT PORTION OF CITY OF LANDS OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 2, PAGES 504 AND 505 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE EAST LINE OF ALAMEDA STREET WHERE THE SAME IS INTERSECTED BY THE SOUTH LINE OF 60 FOOT STRIP OF LAND CONVEYED BY CAROLINE SHAWER, TO THE CITY OF LOS ANGELES, STATE OF CALIFORNIA, BY DEED RECORDED IN BOOK 2110, PAGE 131 OF DEEDS; THENCE ALONG THE SOUTH LINE OF SIXTH STREET, NORTH 88°39'30" EAST TO THE WEST LINE OF MILL STREET, AS SHOWN ON MAP OF THE INDUSTRIAL TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, RECORDED IN BOOK 5, PAGE 56 OF MAPS; THENCE ALONG THE WEST LINE OF MILL STREET, SOUTH 04°52' EAST 236 FEET, MORE OR LESS, TO THE NORTHEAST CORNER OF LOT "T" OF SAID INDUSTRIAL TRACT; THENCE WESTERLY ALONG THE NORTHERLY LINE OF SAID LOT "T" AND ALONG THE DIVIDING LINE BETWEEN THE LANDS OF ALICE SHAWER AND CAROLINE SHAWER, AS PARTITIONED BETWEEN THEM, BY DEED RECORDED IN BOOK 755, PAGE 57 OF DEEDS, 1177 FEET, MORE OR LESS, TO A POINT IN THE EASTERLY LINE OF ALAMEDA STREET; THENCE NORTHERLY ALONG SAID STREET LINE TO THE POINT OF BEGINNING.

EXCEPTING FROM PARCELS 1, 2 AND 3 ABOVE, ALL OIL, MINERAL, GAS AND OTHER HYDROCARBON SUBSTANCES BELOW A DEPTH OF 500 FEET UNDER THE SURFACE OF THE LAND, BUT WITHOUT THE RIGHT OF SURFACE ENTRY OR ANY OTHER USE OF THE LAND ABOVE SUCH 500 FOOT DEPTH, AS RESERVED BY SOUTHERN PACIFIC TRANSPORTATION COMPANY, IN DEED RECORDED OCTOBER 12, 1988 AS INSTRUMENT NO. 88-1634144 OF OFFICIAL RECORDS.

APN: 5164-010-003 (PORTION OF PARCEL 3); 5164-010-004 (PORTION OF PARCELS 1 AND 3); 5164-010-005 (PARCEL 2 AND PORTION OF PARCELS 1 AND 3)

BENCHMARK:
CITY OF LOS ANGELES BENCHMARK NO: 12-03110
DESCRIPTION: CITY DISK MARKED 2-M SET IN 8IN MON; 2FT W OF W CURB ALAMEDA ST S LINE OF PRODUCE ST PROD 270.7' S OF 6TH ST; 26FT S OF S SIDE OF DRIVEWAY TO GATE #4 M.T.A. YARD, NOS BM EW 1066.
YEAR OF ADJUSTMENT: 2000 ELEVATION: 250.926'

BASIS OF BEARINGS:
THE BEARING OF NORTH 88°39'30" EAST OF THE CENTERLINE OF 6TH STREET SHOWN HEREON IS BASED ON THE CALIFORNIA COORDINATE SYSTEM (CCS83) NAD 83 (EPOCH:2011), ZONE 5, US SURVEY FEET AS DETERMINED LOCALLY BY NATIONAL GEODETIC SURVEY (NGS), ONLINE POSITIONING USER SERVICE (OPUS), USING CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) DP2483 CASN SANTA BARBARA CORS ARP, DNS820 GISA ESRI GISA CORS ARP, DR3059 NVAG NVAG AMARGOSAVALL CORS ARP, DE6560 JPLM JPL MESA CORS ARP, B4036 WYFO MT. POTOSI CORS ARP, AND, DR3059 NVAG NVAG AMARGOSAVALL CORS ARP

FIELD NOTE:
ACCESS LIMITED TO SQUARE INLET STORM SYSTEM DUE TO GRATES BEING WELDED SHUT. PIPE SIZE AND DEPTH ARE ESTIMATED ABOVE BASED IN VISUAL INSPECTION AND MEASURED WITH A TAPE.

SURVEYOR STATEMENT:
THIS MAP WAS MADE BY ME OR UNDER MY DIRECTION AND IS BASED ON A FIELD SURVEY, MONUMENTS FOUND, AND PUBLIC RECORDS IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA.

Shereef Surur, L.S. 7295
Forma Engineering Inc.
400 San Fernando Mission Blvd, Suite 200
San Fernando, California 91340
Telephone No (818) 832-1710 Ext. 115

LEGEND:	
ACU	AIR CONDITIONING UNIT
AD	AREA DRAIN
AL	AREA LIGHT
AP	ANGLE POINT
BL	BRUSH LINE
BLD	BUILDING
BOL	BOLLARD
BRK	BOTTOM OF RAMP
BSP	BROCK
BSH	BUSH
CSW	BACK OF STEP/STAIR
BW/BOW	BOTTOM OF CURB/X
BK	CONCRETE BLOCK WALL
CC	CONCRETE CORNER
CE	CONCRETE EDGE
CF	CURB FACE
CL	CENTER LINE
CLFN	CHANLINK FENCE
CNC	CORNER
COR	CORNER
CSPC	CRACK SPACE
D	DOOR
DO	DOUBLE DOOR
DI	DROP INLET
EAC	EDGE OF ASPHALTIC
E-CAB	ELECTRIC CABINET
EG	EDGE OF GUTTER
EOC	EDGE OF DECK
EOP	EDGE OF PAVEMENT
E-PANELL	ELECTRIC PANEL
EQ	EQUIPMENT
FF	FINISH FLOOR
FL	FLOW LINE
FN	FENCE
FOW	FACE OF WALL
G	GATE
GW	GUY WIRE/ANCHOR
LTT	LEAD TACK AND TAG
MBX	MAILBOX
MON	MONUMENT
OHE	OVERHANG ELECTRIC
PA	PLANTER AREA
PL	PROPERTY LINE
PVR	PAVER
R/C	REBAR AND CAP
RF	ROOF
SMH	SEWER MANHOLE
SL	STREET LIGHT
SLPB	STREET LIGHT PULLBOX
SS	STREET SIGN/SIGN
STP	STEP/STAIRS
T	TREE
TC	TOP OF CURB
TDC	TOP OF DEPRESSION
TR	TRANSFORMER
TS	TRAFFIC SIGNAL
TSPB	TRAFFIC SIGNAL PULLBOX
TSTP	TOP OF STEP/STAIR
TX	TOP OF CURB TOP X
WDFN	WOODEN FENCE
WH	WATER HEATER
WM	WATER METER
WTR RSR	WATER RISER
WV	WATER VALVE
VLT	VAULT

FORMA ENGINEERING INC.

400 San Fernando Mission Boulevard, Suite 200
San Fernando, California 91340
Phone: (818) 832-1710 • Fax: (818) 832-1740

PREPARED UNDER THE SUPERVISION OF:
Shereef Surur
BY: SHEREEF SURUR, L.S. 7295

12/15/2022
DATE

Drawing Title:
UTILITY MEASUREMENT EXHIBIT
1206 EAST 6TH STREET, LOS ANGELES, CA 90021

Prepared for:
ALAMEDA STUDIO OWNER, LLC
C/O GONZALEZ LAW GROUP
MICHAEL GONZALEZ

Work Order
22139

Date:
12/15/2022

Scale:
1"= 40'

Designed:
SS

Drawn:
MY

Checked:
SS

Sheet 1 of 1





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CLIENT
ALAMEDA STUDIOS OWNER, LLC

CONSULTANTS

PROJECT NAME
East End Studios

Arts District Los Angeles

PROJECT NO.
22043

ADDRESS
**1206 East 6th Street
Los Angeles, CA
90021**

REV BY DATE DESCRIPTION

KEY PLAN

DRAWING TITLE
RENDERINGS 1 OF 3

SCALE
@ARCH E1

STATUS
Entitlement Set

DRW CH APPR DRW DATE REV
GRM GRM GRM 05/12/23

DRAWING NO.
A01-1002



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ADDRESS
**1206 East 6th Street
Los Angeles, CA
90021**

REV BY DATE DESCRIPTION

KEY PLAN

DRAWING TITLE
RENDERINGS 2 OF 3

SCALE
@ARCH E1

STATUS
Entitlement Set

DRW CH APPR DRW DATE REV
GRM GRM GRM 05/12/23

DRAWING NO.
A01-1003



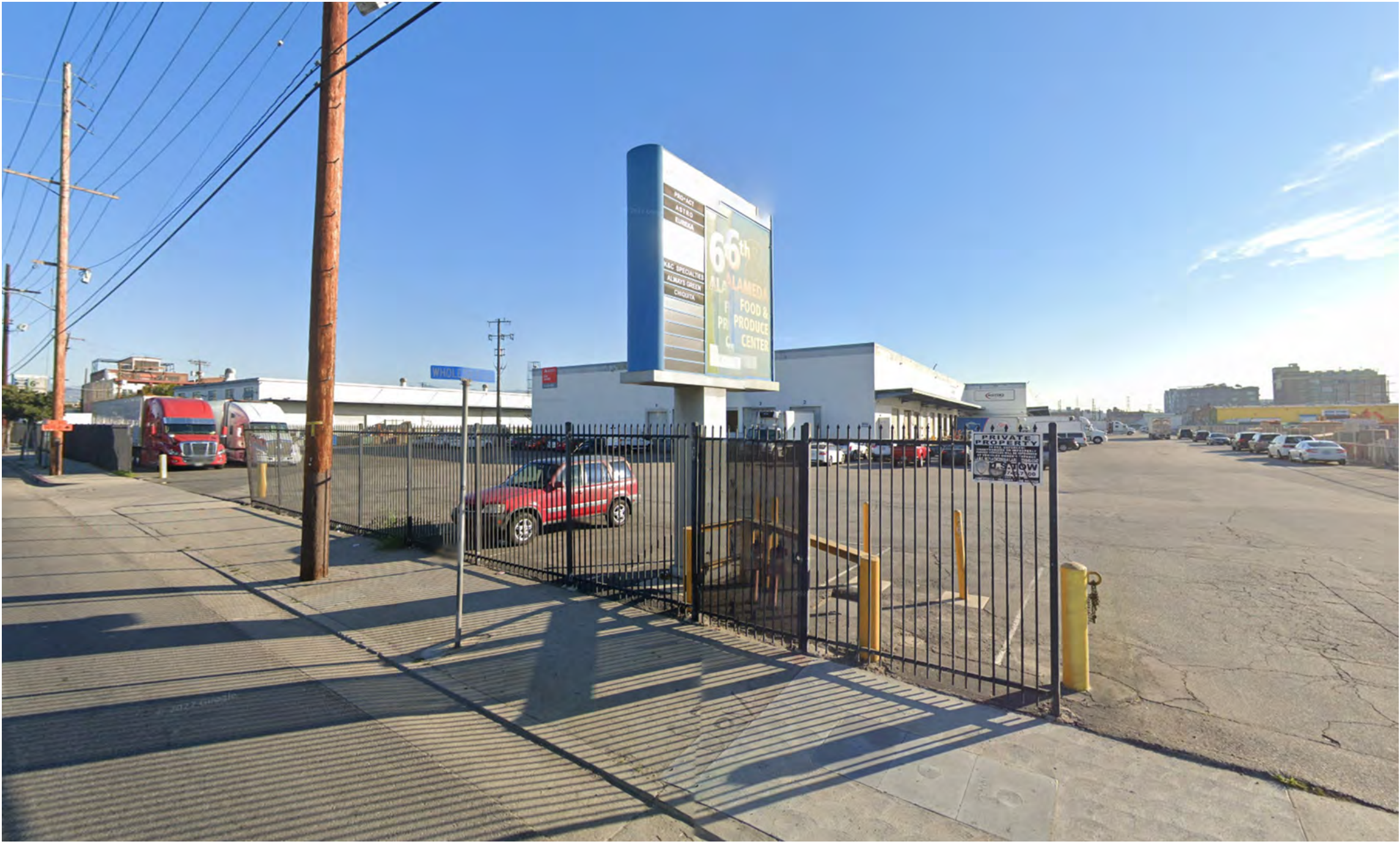
ELEVATIONAL VIEW FROM MILL STREET



AERIAL VIEW LOOKING SOUTHEAST



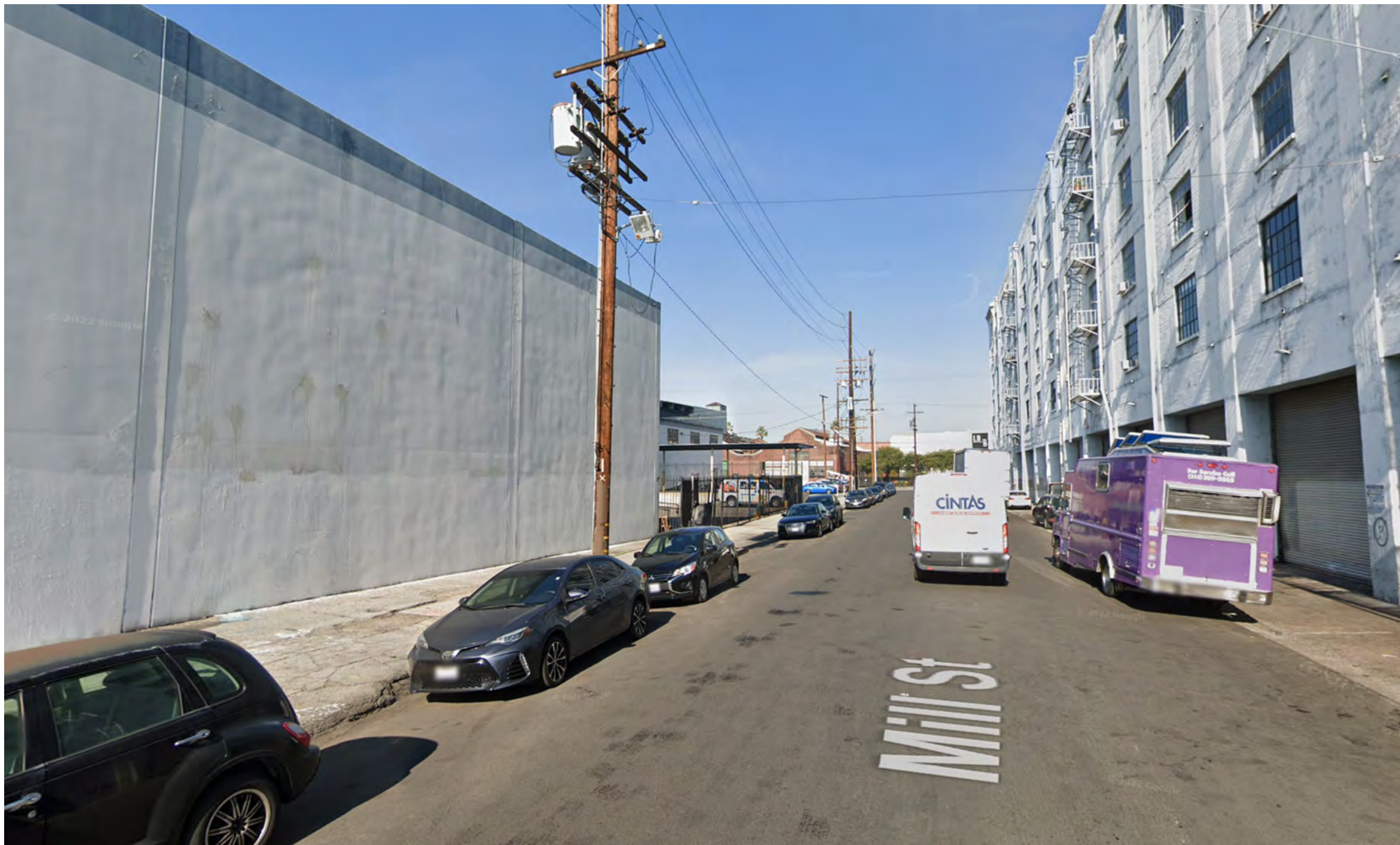
STREET VIEW OF 6TH AND ALAMEDA



STREET VIEW ALONG ALAMEDA



AERIAL VIEW LOOKING NORTHWEST



STREET VIEW ALONG MILL



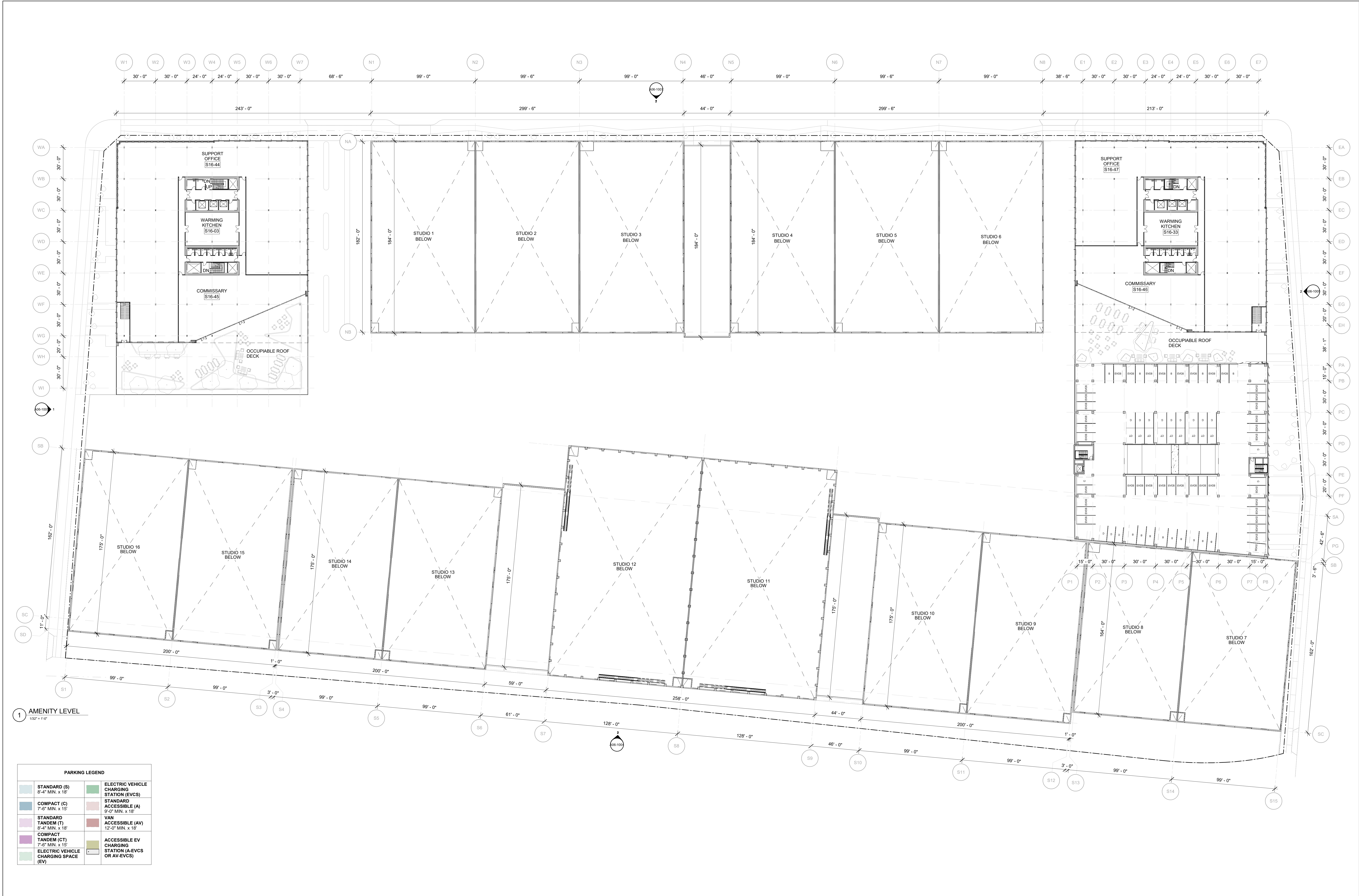
AERIAL VIEW LOOKING NORTHWEST



1 GROUND LEVEL
1/32" = 1'-0"

PARKING LEGEND			
	STANDARD (S)		ELECTRIC VEHICLE CHARGING STATION (EVCS)
	COMPACT (C)		STANDARD ACCESSIBLE (A)
	STANDARD TANDEM (T)		VAN ACCESSIBLE (AV)
	COMPACT TANDEM (CT)		ACCESSIBLE EV CHARGING STATION (A-EVCS)
	ELECTRIC VEHICLE CHARGING SPACE (EV)		ACCESSIBLE EV CHARGING STATION (AV-EVCS)

PARKING SUMMARY		PARKING SUMMARY	
TYPE	STALLS	TYPE	STALLS
BASECAMP	4	AMBULATORY EV CHARGING STATION (AA-EVCS)	1
AMBULATORY EV CHARGING STATION (AA-EVCS)	76	COMPACT (C)	85
COMPACT (C)	62	COMPACT TANDEM (CT)	54
COMPACT TANDEM (CT)	4	ELECTRIC VEHICLE CHARGING SPACE (EV)	58
ELECTRIC VEHICLE CHARGING SPACE (EV)	13	ELECTRIC VEHICLE CHARGING STATION (EVCS)	155
ELECTRIC VEHICLE CHARGING STATION (EVCS)	157	STANDARD (S)	58
STANDARD (S)	5	STANDARD ACCESSIBLE EV CHARGING STATION (A-EVCS)	3
STANDARD ACCESSIBLE EV CHARGING STATION (A-EVCS)	1	VAN ACCESSIBLE EV CHARGING STATION (AV-EVCS)	1
VAN ACCESSIBLE EV CHARGING STATION (AV-EVCS)	20		
	1		
	1		
	Grand total		759
	344		

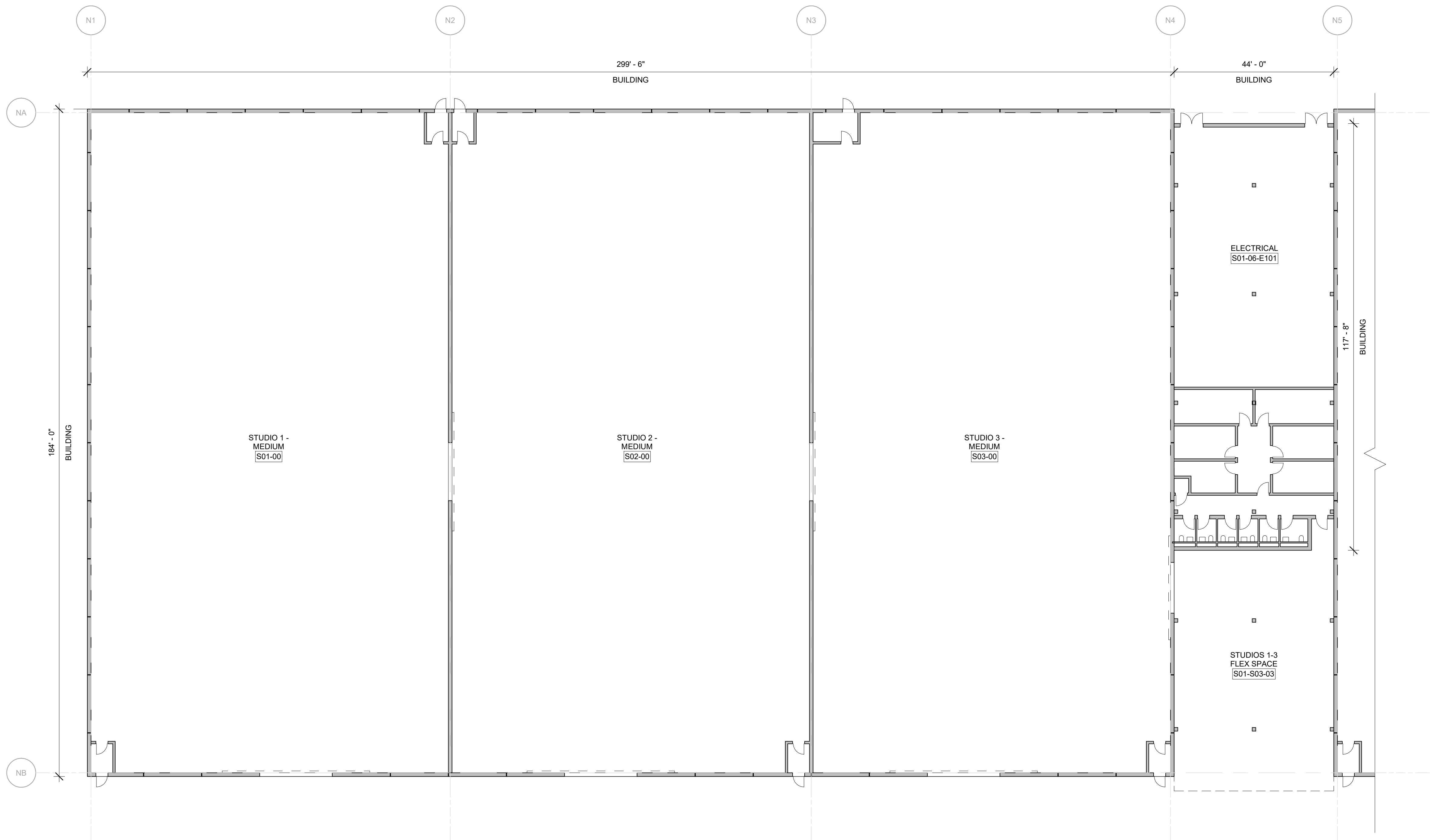






1 ROOFTOP LEVEL
1/32" = 1'-0"

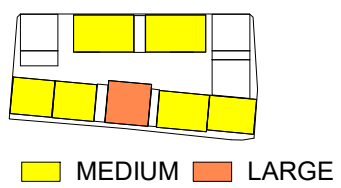
PARKING LEGEND			
	STANDARD (S)		ELECTRIC VEHICLE CHARGING STATION (EVCS)
	COMPACT (C)		STANDARD ACCESSIBLE (A)
	STANDARD TANDEM (T)		VAN ACCESSIBLE (AV)
	COMPACT TANDEM (CT)		ACCESSIBLE EV CHARGING STATION (A-EVCS OR AV-EVCS)
	ELECTRIC VEHICLE CHARGING SPACE (EV)		



1 STUDIOS 1-3 GROUND LEVEL
1/16" = 1'-0"

STUDIO SIZES	
MEDIUM	LARGE
STUDIOS 1-10 & 13-16	STUDIOS 11-12

STUDIO SIZES ARE DEPENDENT ON
HEIGHT AND TRUSS SPAN LENGTH.



KEYNOTE LEGEND

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CONSULTANTS

PROJECT NAME
East End Studios

Arts District Los Angeles

PROJECT NO.
22043

ADDRESS
**1206 East 6th Street
Los Angeles, CA 90021**

REV BY DATE DESCRIPTION

KEY PLAN

NORTH

DRAWING TITLE
STUDIOS 1-3

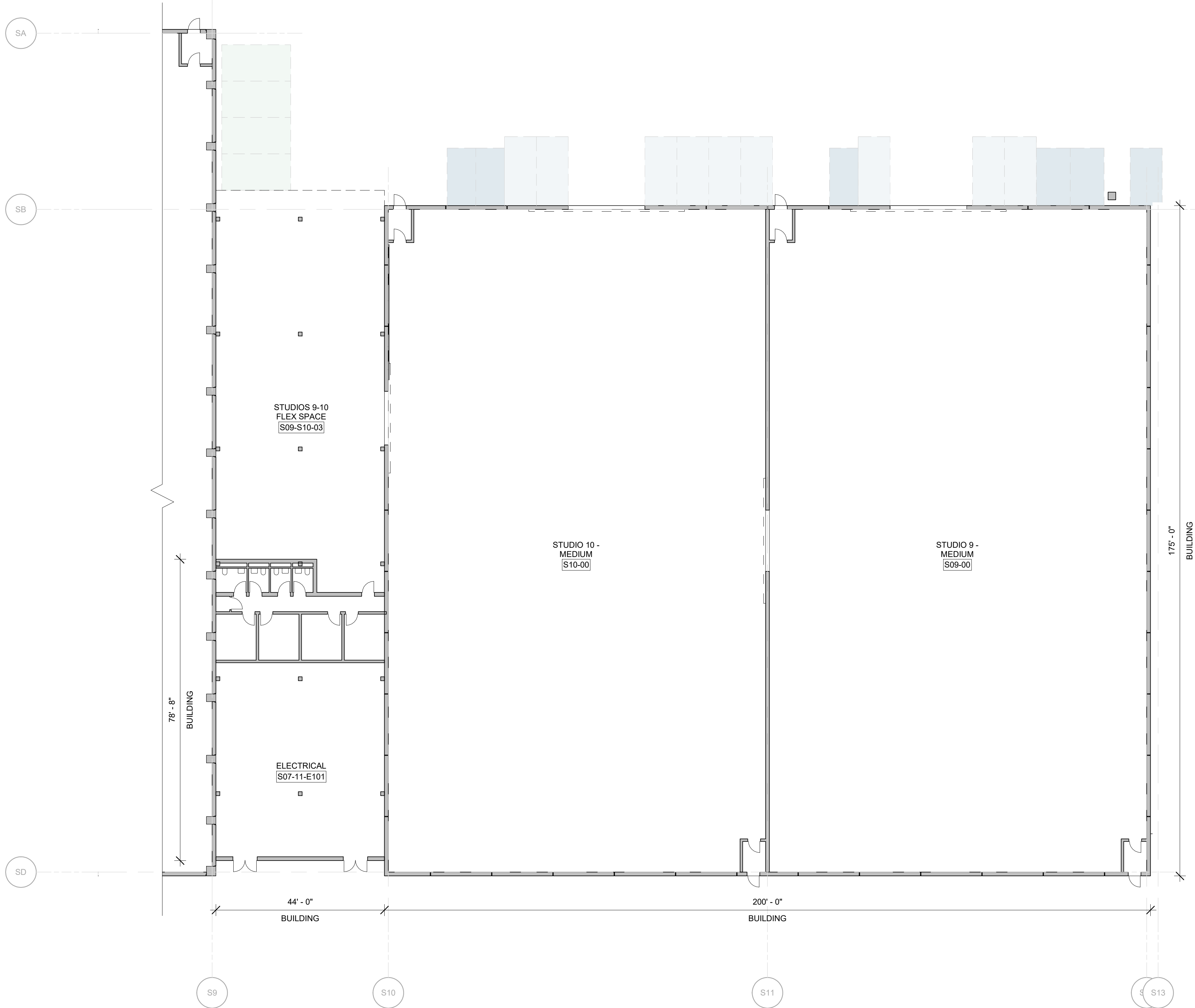
SCALE
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STATUS
Entitlement Set

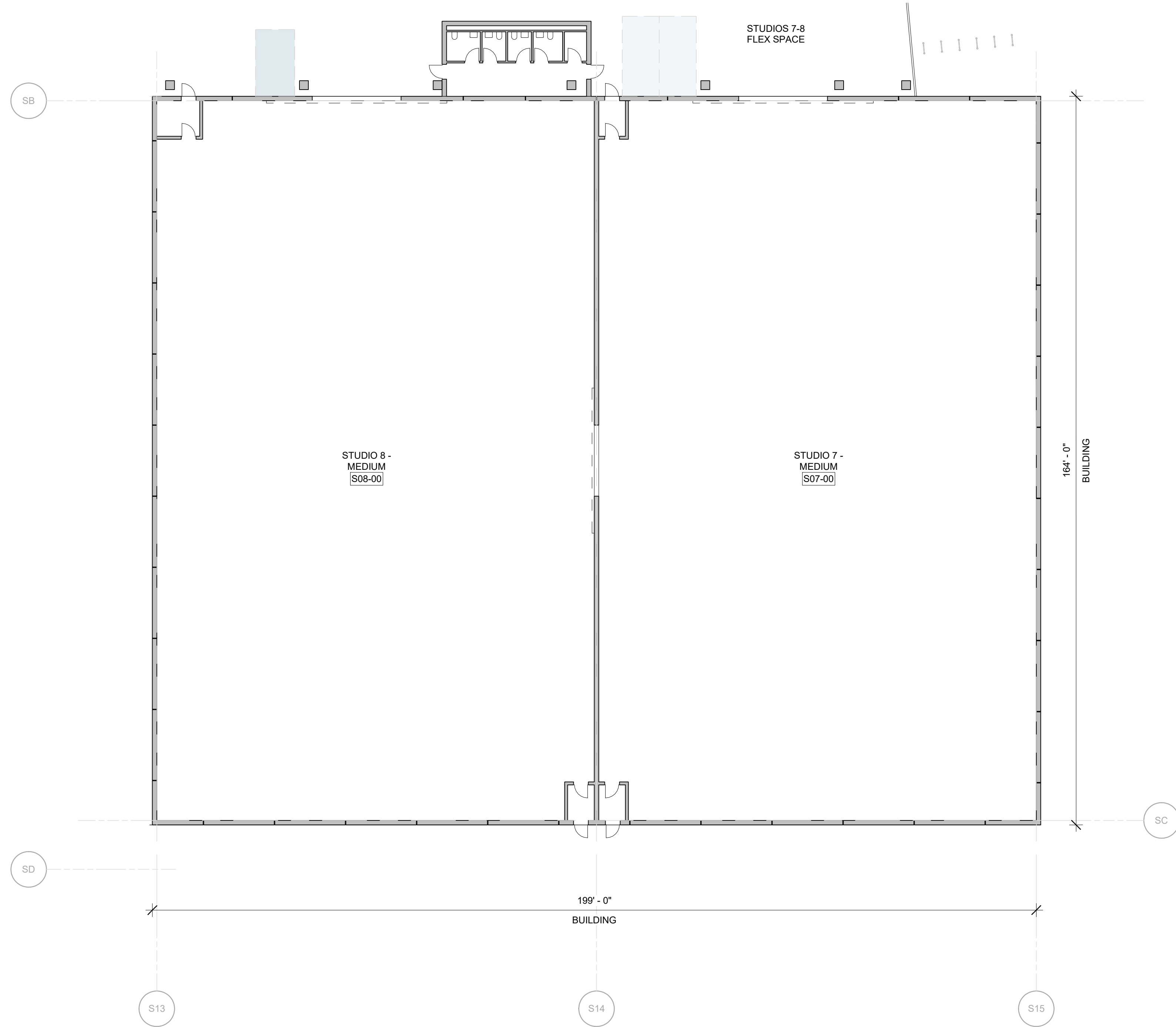
DRW CH APPR DRW DATE REV

GRM GRM GRM 05/12/23

DRAWING NO.
A03-1001



2 STUDIOS 9 & 10 GROUND LEVEL
1/16" = 1'-0"

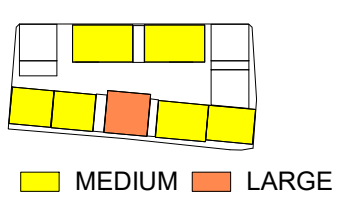


1 STUDIOS 7 & 8 GROUND LEVEL
1/16" = 1'-0"

PARKING LEGEND			
	STANDARD (S)		ELECTRIC VEHICLE CHARGING STATION (EVCS)
	COMPACT (C)		STANDARD ACCESSIBLE (A)
	STANDARD TANDEM (T)		VAN ACCESSIBLE (AV)
	COMPACT TANDEM (CT)		ACCESSIBLE EV CHARGING STATION (A-EVCS)
	ELECTRIC VEHICLE CHARGING SPACE (EV)		ACCESSIBLE EV CHARGING STATION (A-EVCS)

STUDIO SIZES	
MEDIUM	LARGE
STUDIOS 1-10 & 13-16	STUDIOS 11-12

STUDIO SIZES ARE DEPENDENT ON HEIGHT AND TRUSS SPAN LENGTH.



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KEY PLAN

NORTH

DRAWING TITLE
STUDIOS 7-10

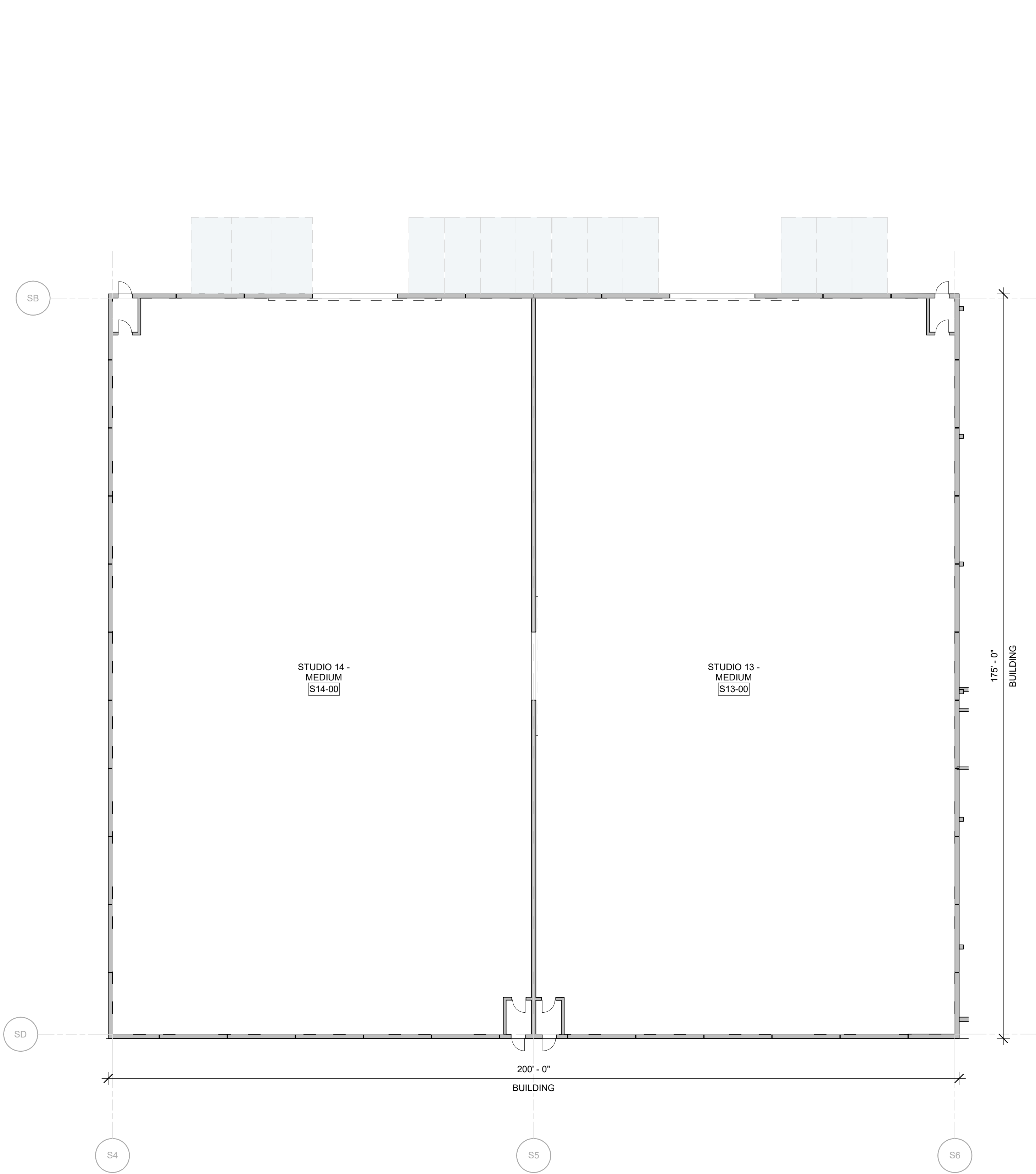
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STATUS
Entitlement Set

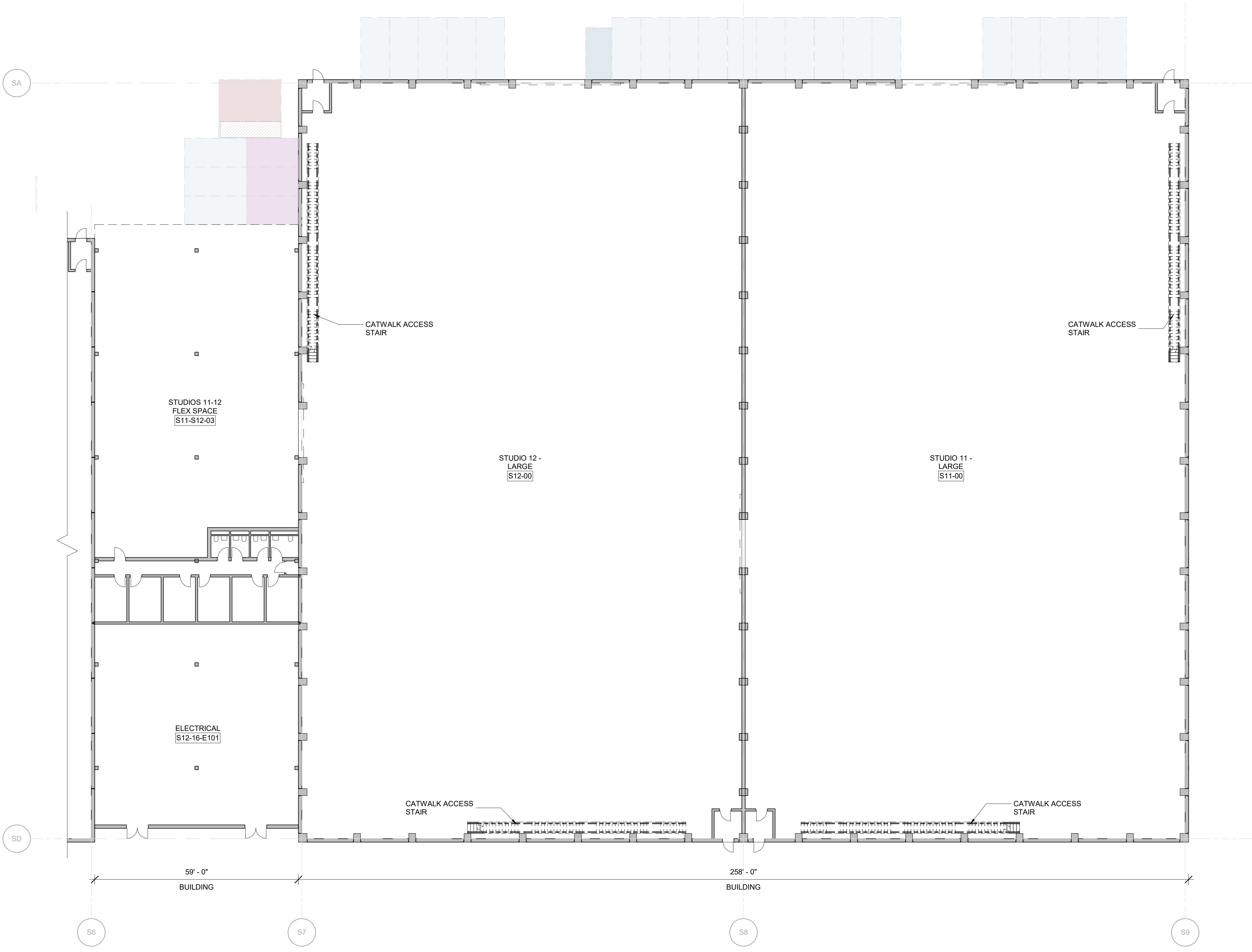
DRW CH APPR DRW/DATE REV

GRM GRM GRM 05/12/23

DRAWING NO.
A03-1003



1 STUDIOS 13 & 14 GROUND LEVEL
1/16" = 1'-0"

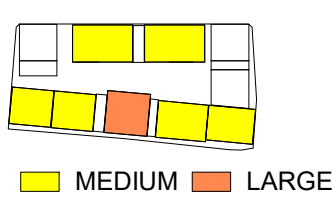


2 STUDIOS 11 & 12 GROUND LEVEL
1/16" = 1'-0"

PARKING LEGEND			
	STANDARD (S) 9'-4" MIN. x 18'		ELECTRIC VEHICLE CHARGING STATION (EVCS)
	COMPACT (C) 7'-6" MIN. x 15'		STANDARD ACCESSIBLE (A) 9'-0" MIN. x 18'
	STANDARD TANDEM (T) 8'-4" MIN. x 18'		VAN ACCESSIBLE (AV) 12'-0" MIN. x 18'
	COMPACT TANDEM (CT) 7'-6" MIN. x 15'		ACCESSIBLE EV CHARGING STATION (A-EVCS)
	ELECTRIC VEHICLE CHARGING SPACE (EV)		EVCS OR AV-EVCS

STUDIO SIZES	
MEDIUM	LARGE
STUDIOS 1-10 & 13-16	STUDIOS 11-12

STUDIO SIZES ARE DEPENDENT ON HEIGHT AND TRUSS SPAN LENGTH.



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1206 East 6th Street Los Angeles, CA 90021

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KEY PLAN

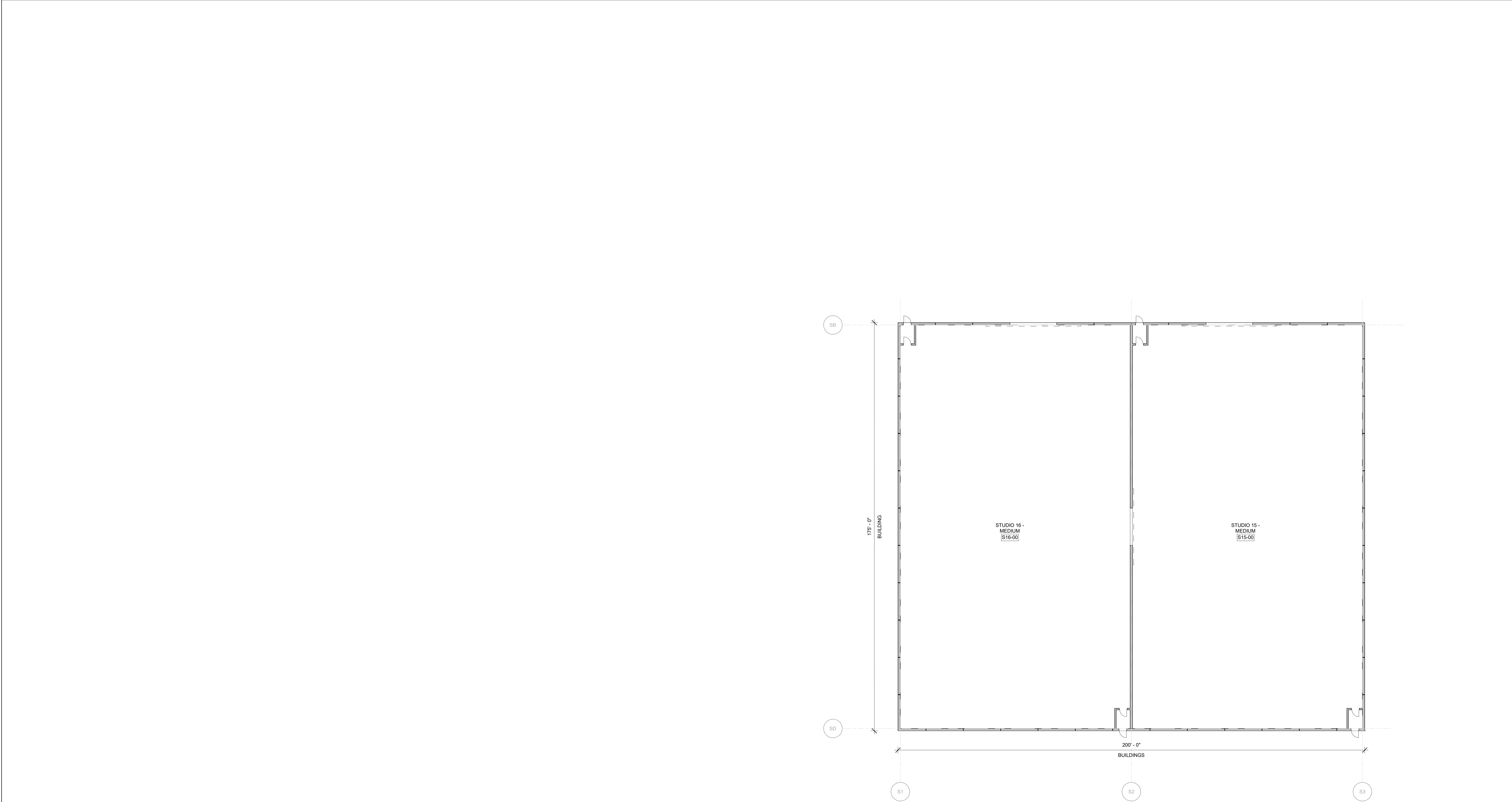
NORTH

DRAWING TITLE
STUDIOS 11-14

SCALE
As Indicated @ARCH E1

DRW	CH	APPR	DRW/DATE	REV
GRM	GRM	GRM	05/12/23	

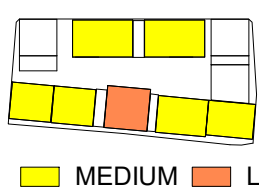
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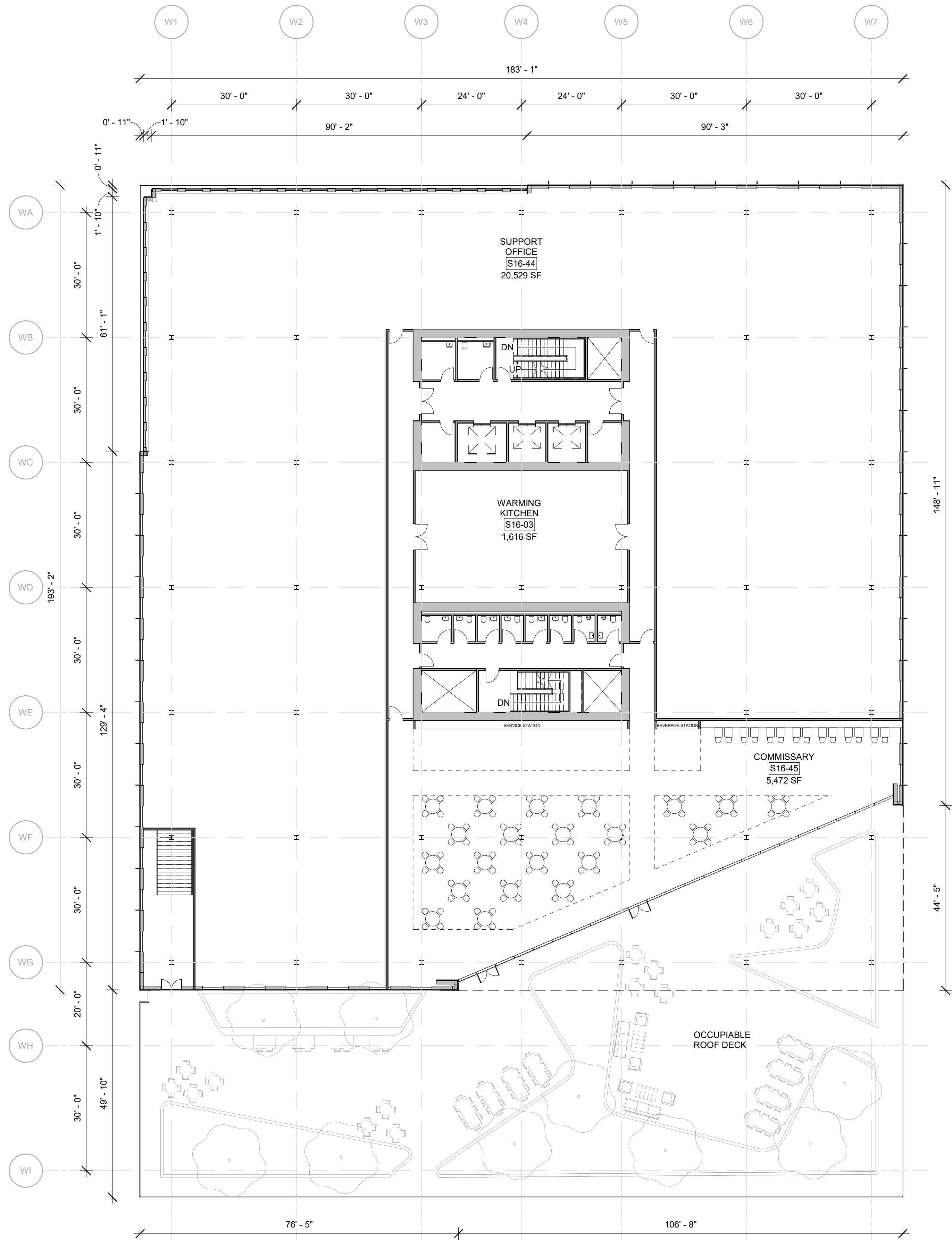
1 STUDIOS 15 & 16 GROUND LEVEL
1/16" = 1'-0"

STUDIO SIZES	
MEDIUM	LARGE
STUDIOS 1-10 & 13-16	STUDIOS 11-12

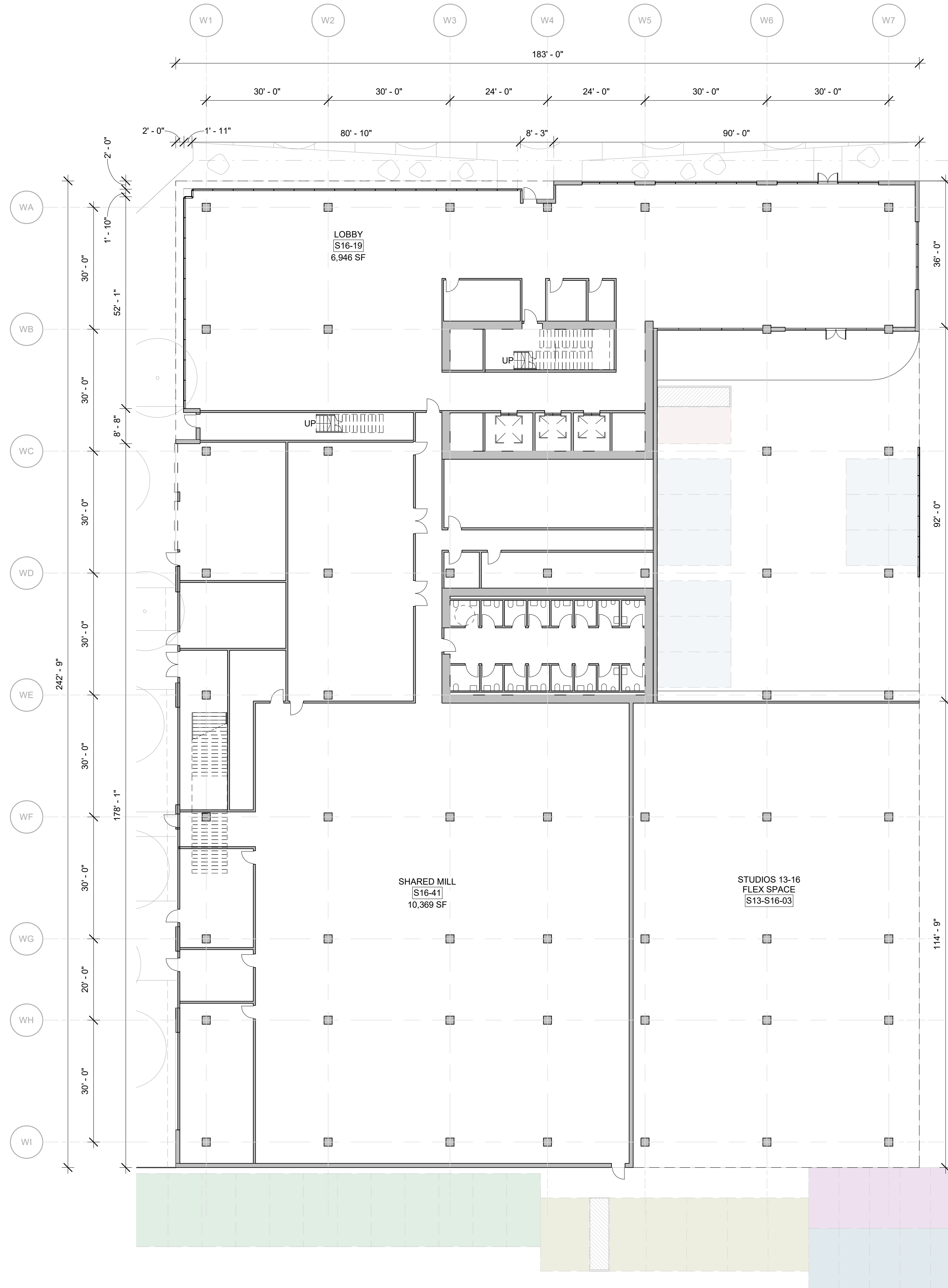
STUDIO SIZES ARE DEPENDENT ON HEIGHT AND TRUSS SPAN LENGTH.



KEYNOTE LEGEND



2 OFFICE BUILDING - ALAMEDA AMENITY LEVEL
1/16" = 1'-0"



1 OFFICE BUILDING - ALAMEDA GROUND LEVEL
1/16" = 1'-0"

PARKING LEGEND			
	STANDARD (S)		ELECTRIC VEHICLE CHARGING STATION (EVCS)
	COMPACT (C)		STANDARD ACCESSIBLE (A)
	STANDARD TANDEM (T)		VAN ACCESSIBLE (AV)
	COMPACT TANDEM (CT)		ACCESSIBLE EV CHARGING STATION (A-EVCS)
	ELECTRIC VEHICLE CHARGING SPACE (EV)		

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PROJECT NO.
22043

ADDRESS
**1206 East 6th Street
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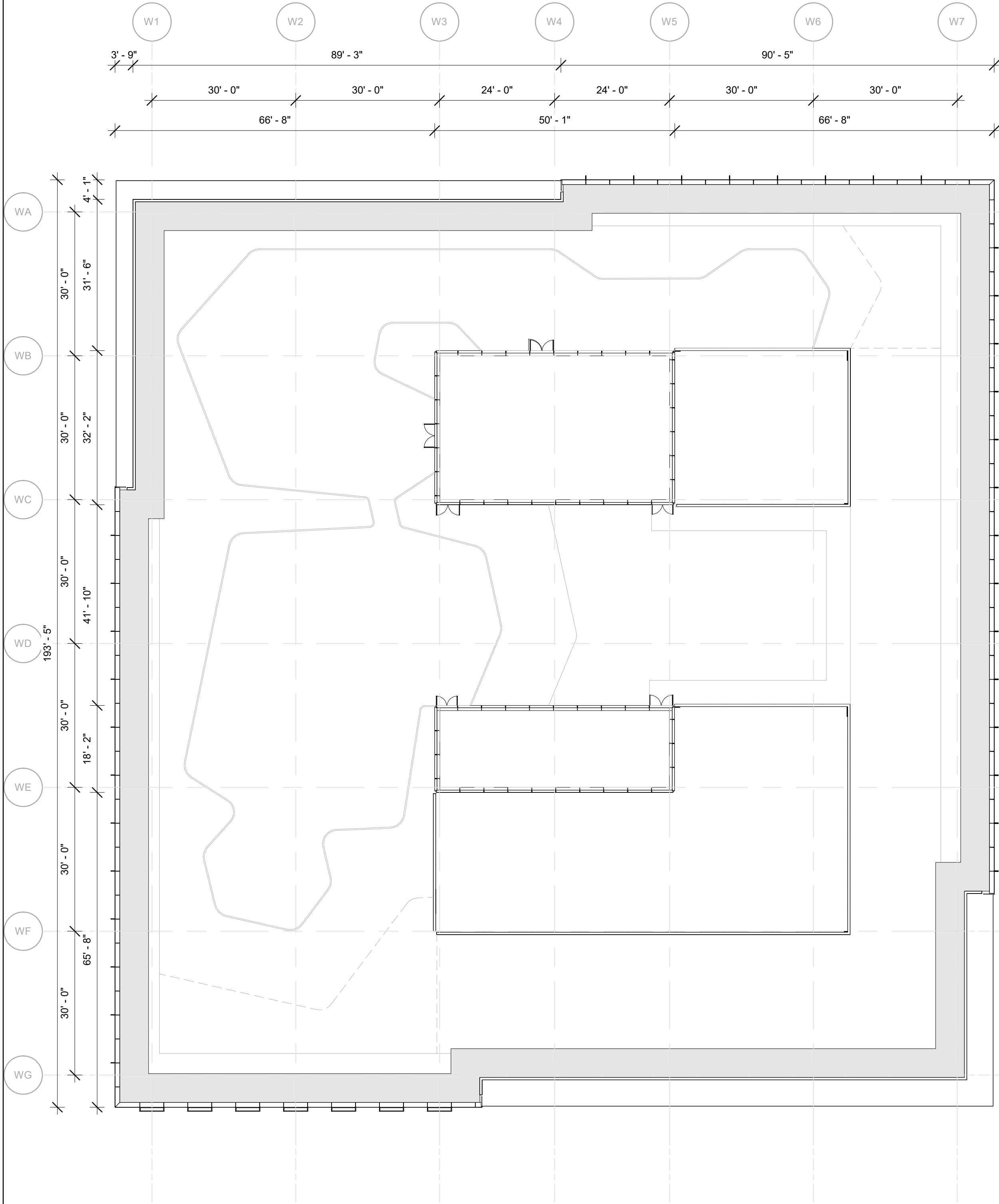
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DRAWING TITLE
OFFICE BUILDING - ALAMEDA

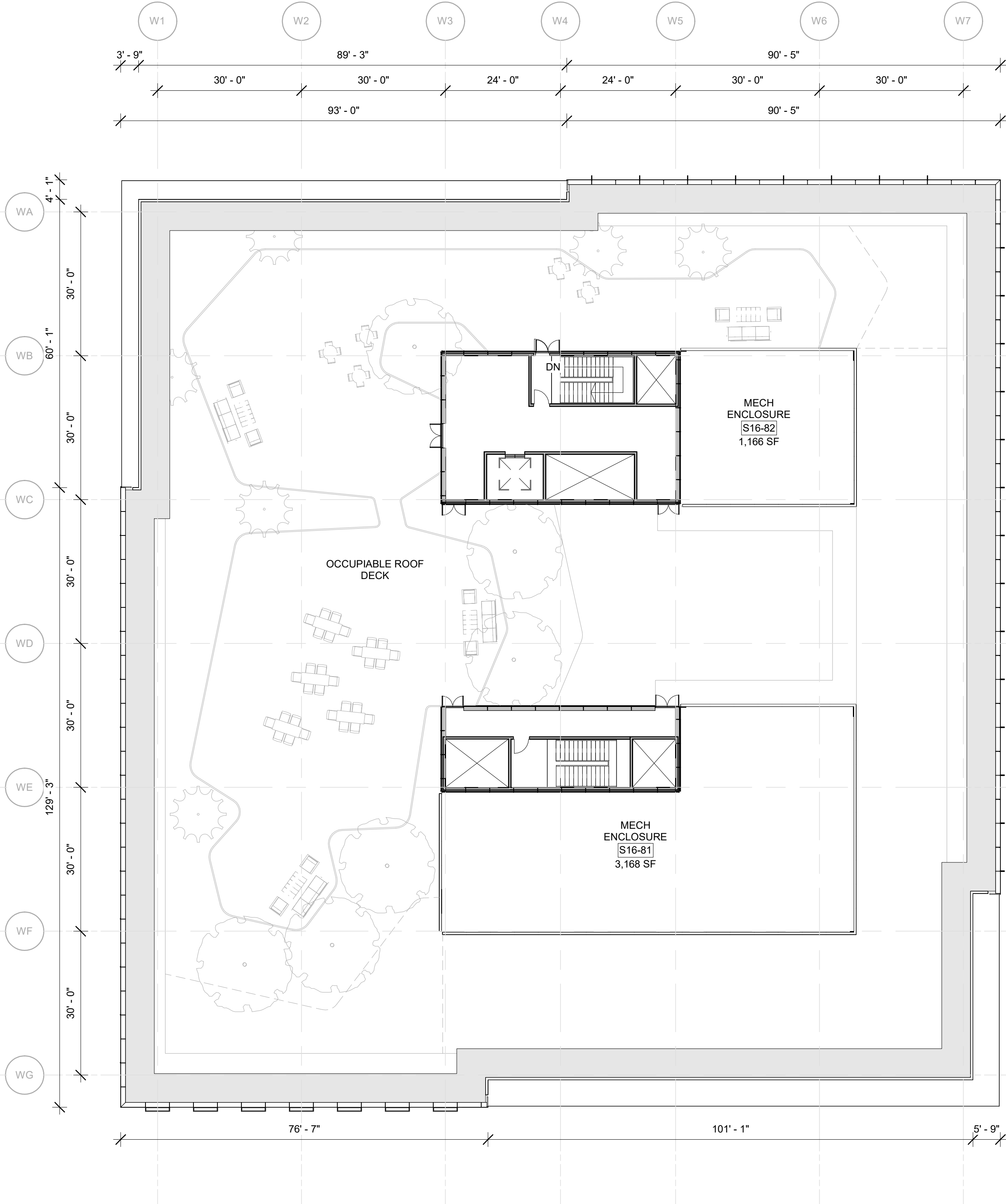
STATUS
Entitlement Set

SCALE
1/16" = 1'-0"
@ARCH E1
DRW CH APPR DRW/DATE REV
GRM GRM GRM 05/12/23

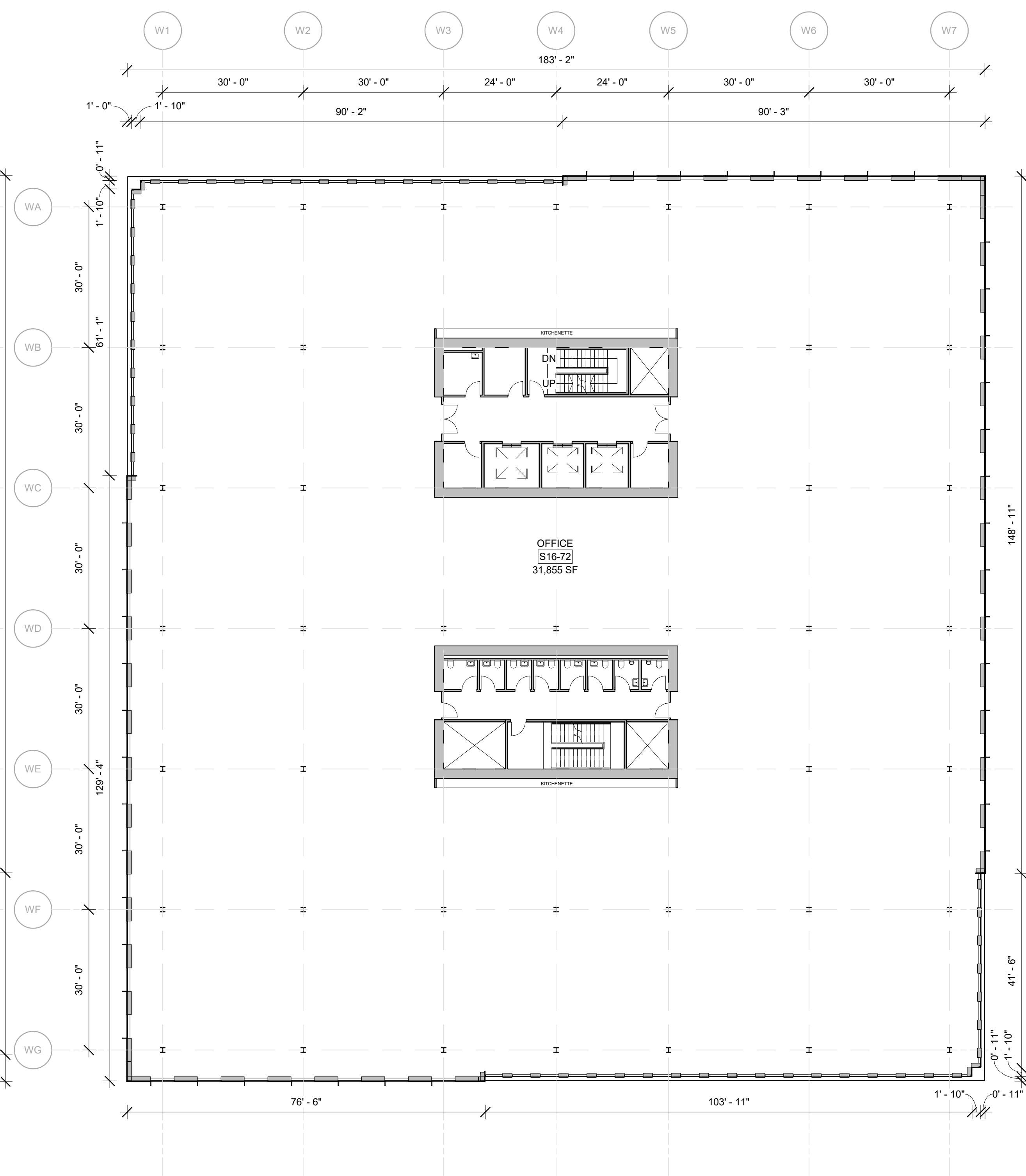
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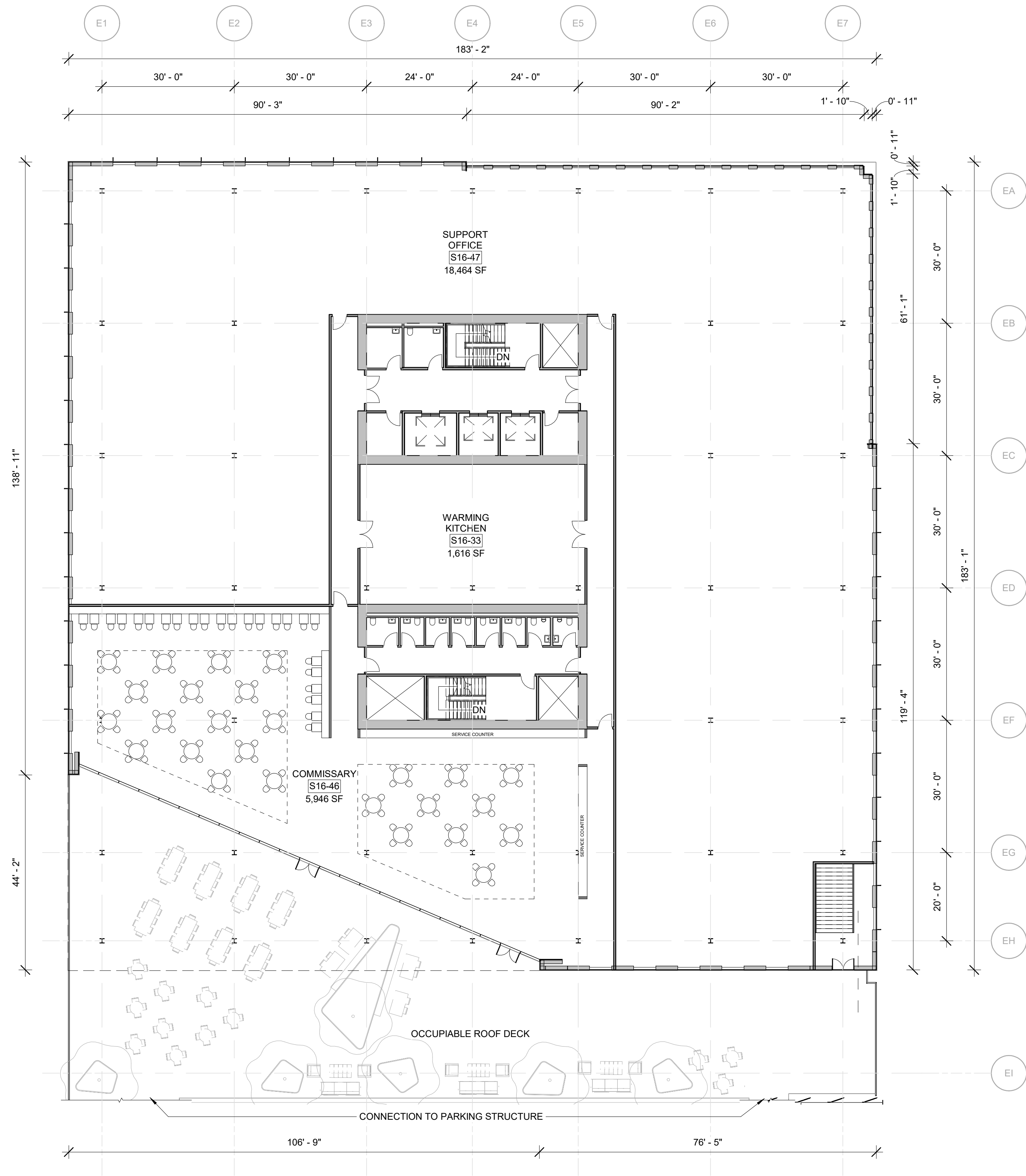
3 OFFICE BUILDING - ALAMEDA - TOP OF PENTHOUSE
1/16" = 1'-0"



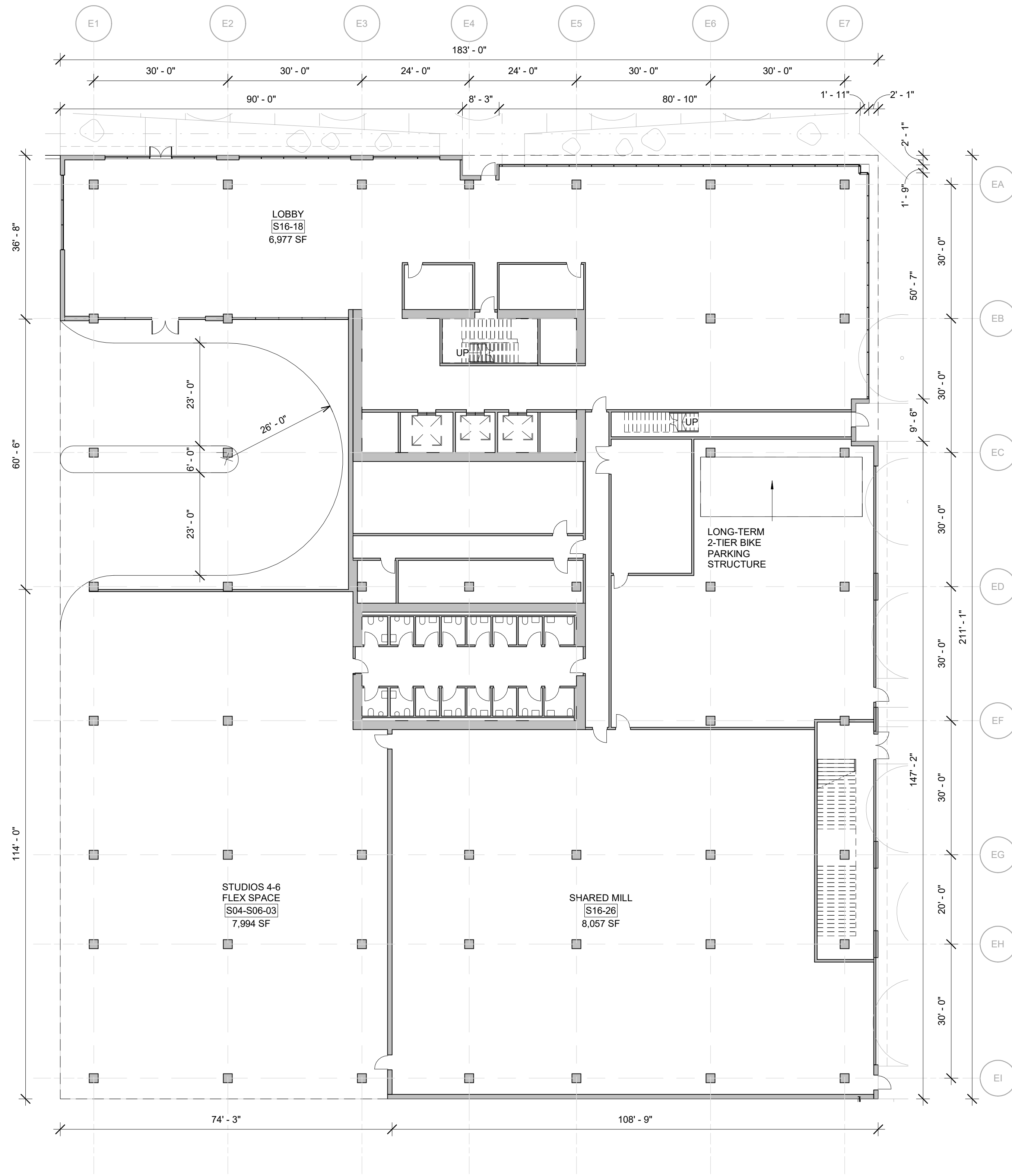
2 OFFICE BUILDING - ALAMEDA - ROOFTOP LEVEL
1/16" = 1'-0"



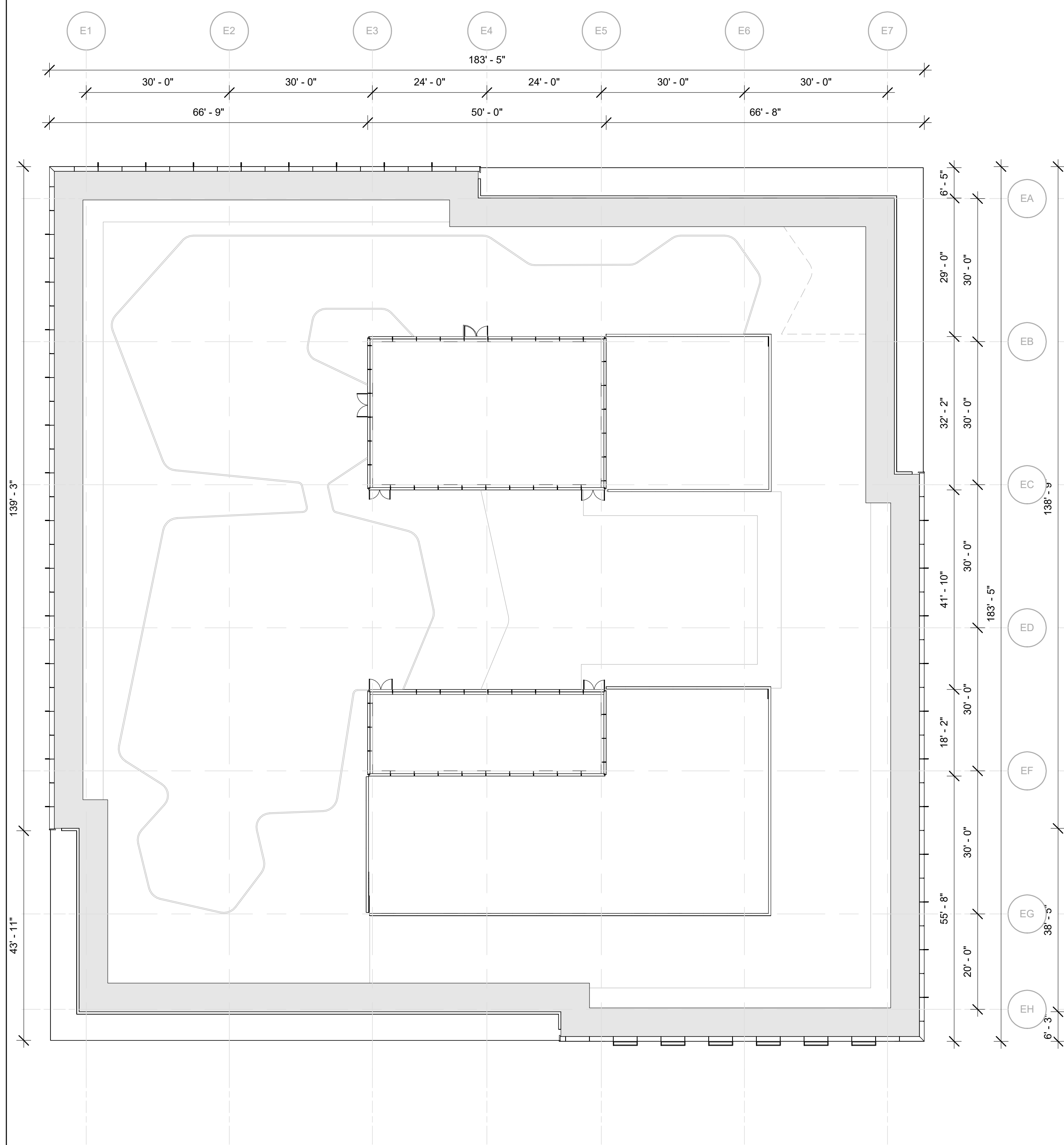
1 OFFICE BUILDING - ALAMEDA - LEVEL 3 - 5 (TYP)
1/16" = 1'-0"



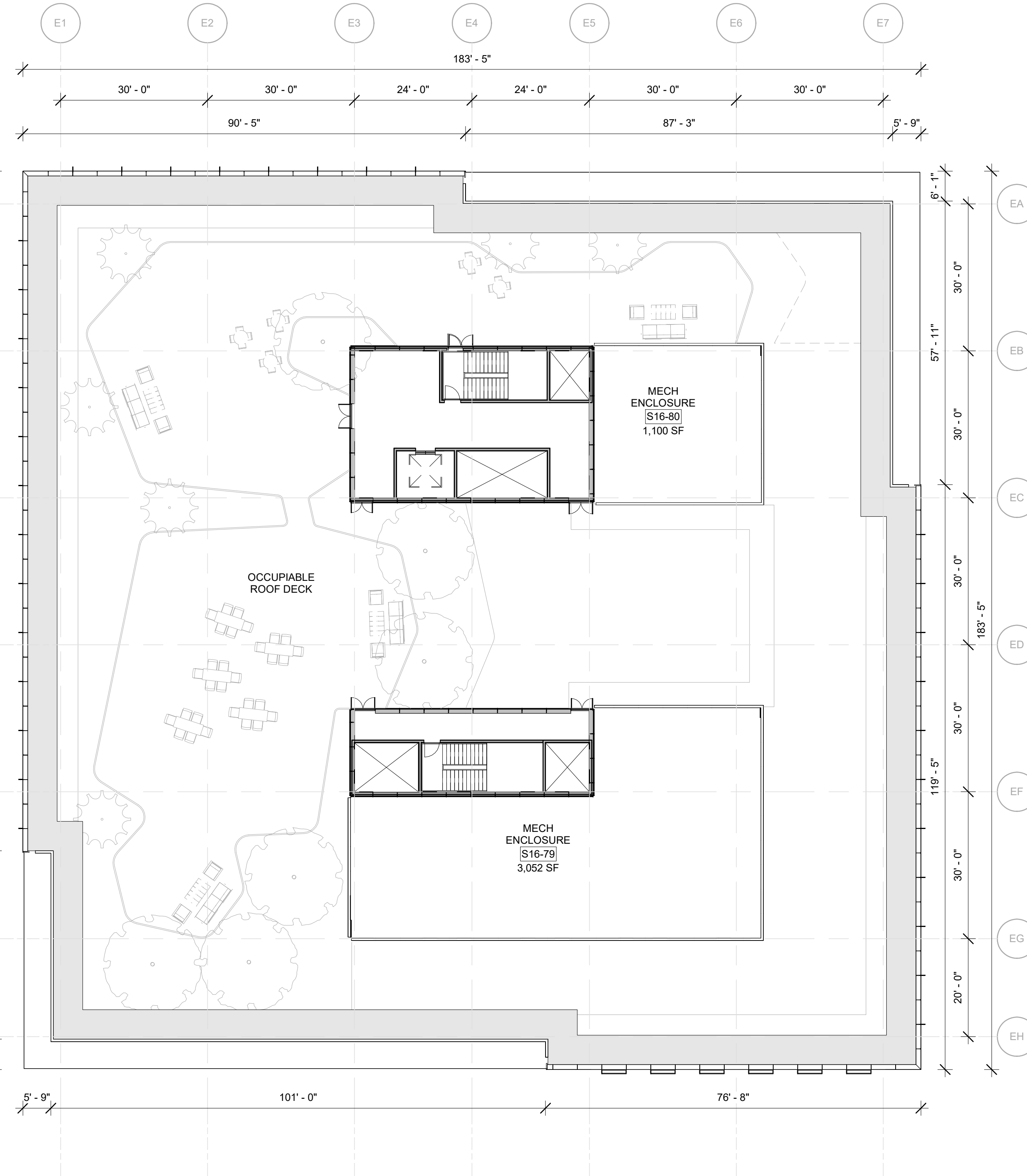
2 OFFICE BUILDING - MILL AMENITY LEVEL
1/16" = 1'-0"



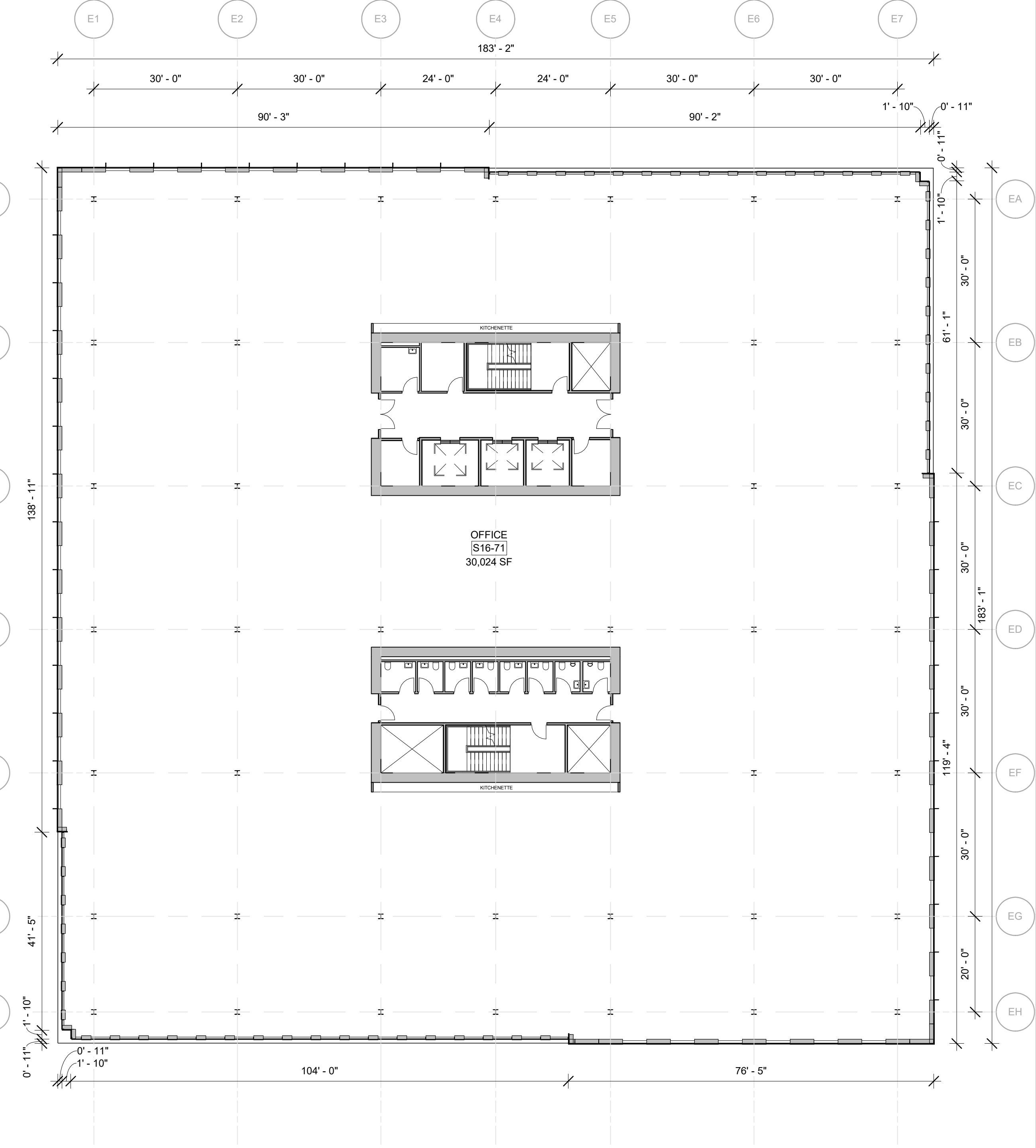
1 OFFICE BUILDING - MILL GROUND LEVEL
1/16" = 1'-0"



3 OFFICE BUILDING - MILL - TOP OF PENTHOUSE
1/16" = 1'-0"













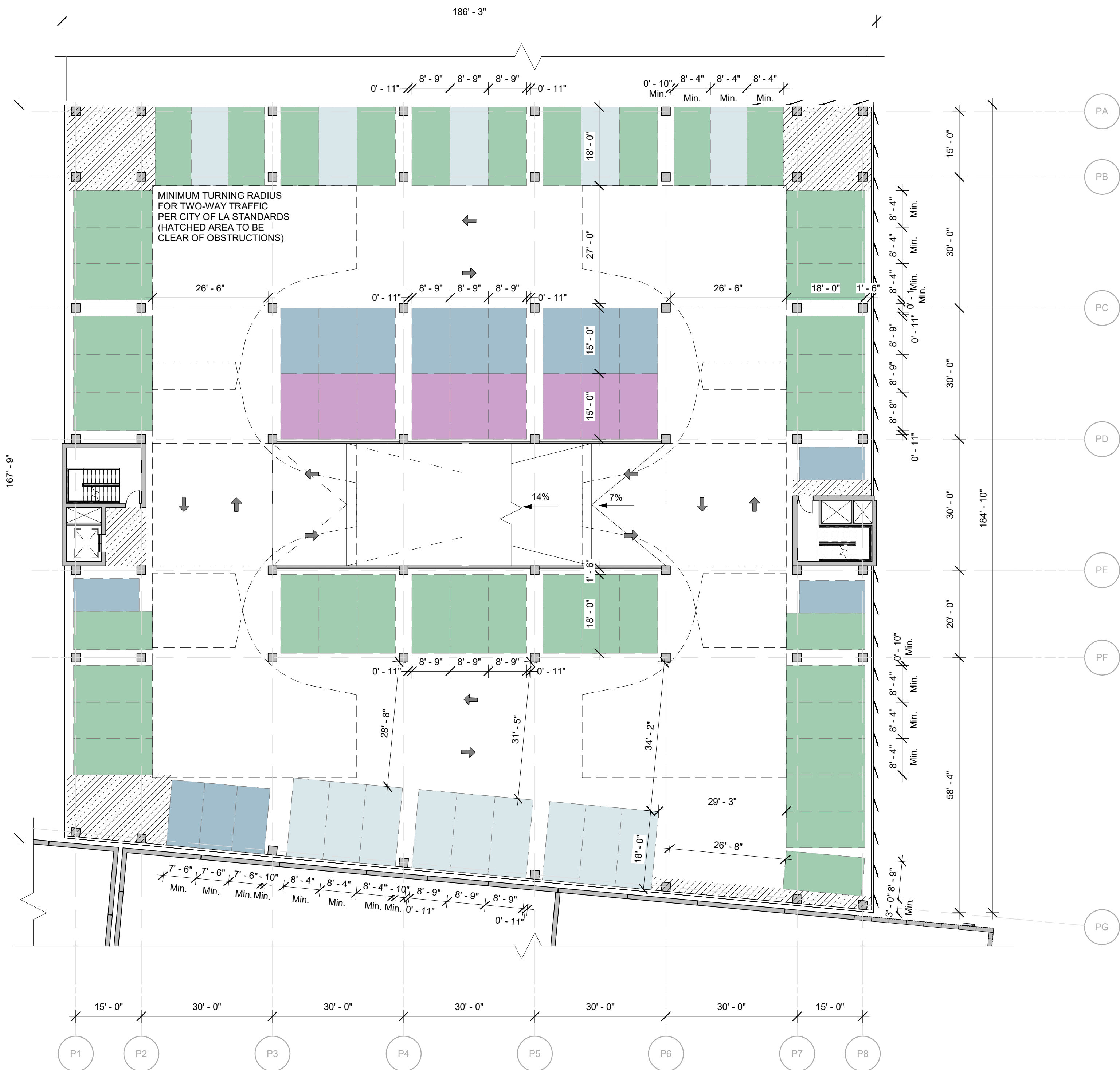
2 OFFICE BUILDING - MILL - ROOFTOP LEVEL
1/16" = 1'-0"



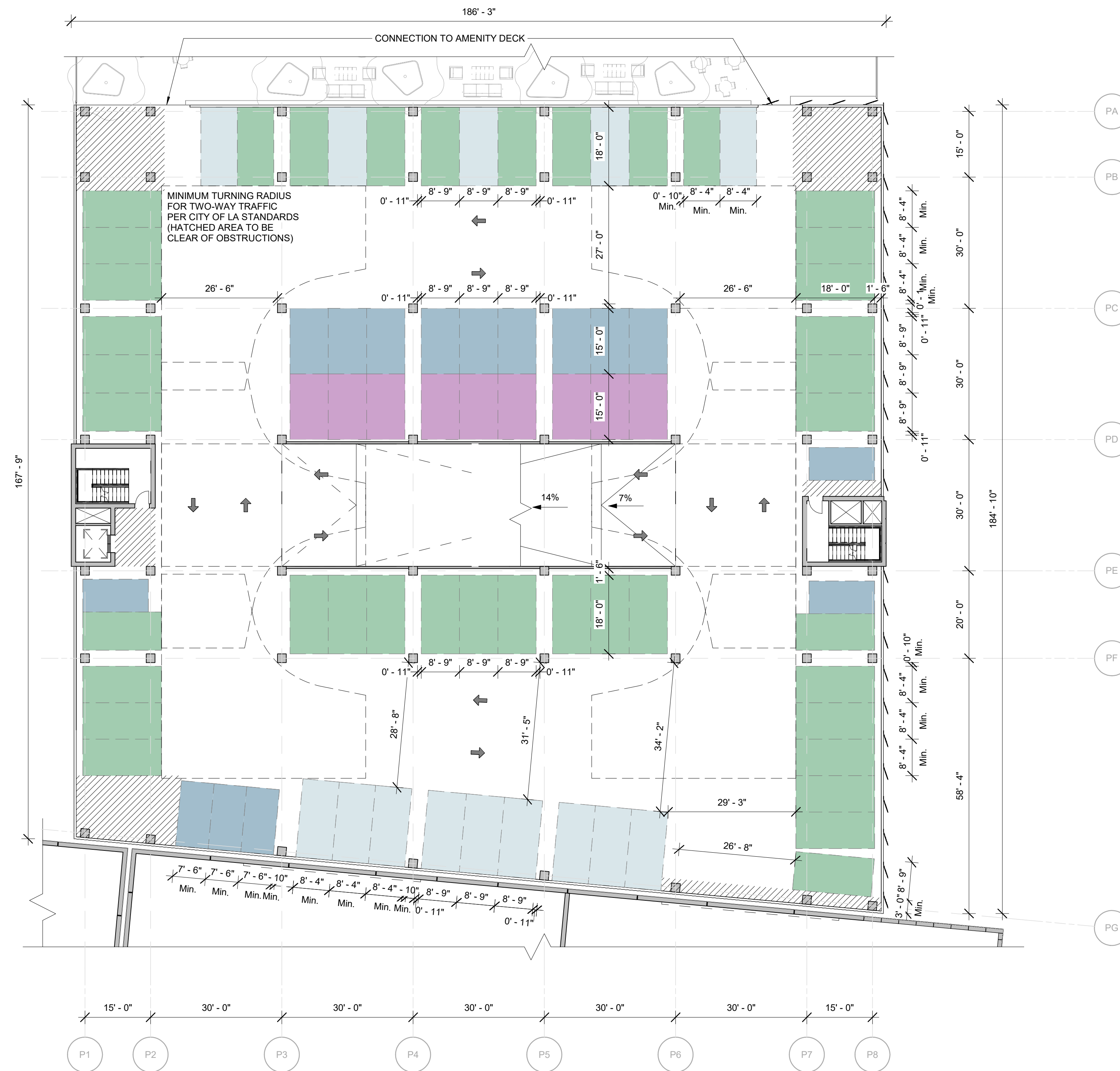
1 OFFICE BUILDING - MILL - LEVEL 3 - 5 (TYP)
1/16" = 1'-0"



PARKING LEGEND			
	STANDARD (S) 8'-4" MIN. x 18'		ELECTRIC VEHICLE CHARGING STATION (EVCS)
	COMPACT (C) 7'-6" MIN. x 15'		STANDARD ACCESSIBLE (A) 9'-0" MIN. x 18'
	MINIMUM TANDEM (T) 8'-4" MIN. x 18'		VAN ACCESSIBLE (AV) 12'-0" MIN. x 18'
	COMPACT TANDEM (CT) 7'-6" MIN. x 15'		ACCESSIBLE EV CHARGING STATION (A-EVCS OR AV-EVCS)
	ELECTRIC VEHICLE CHARGING SPACE (EV)		



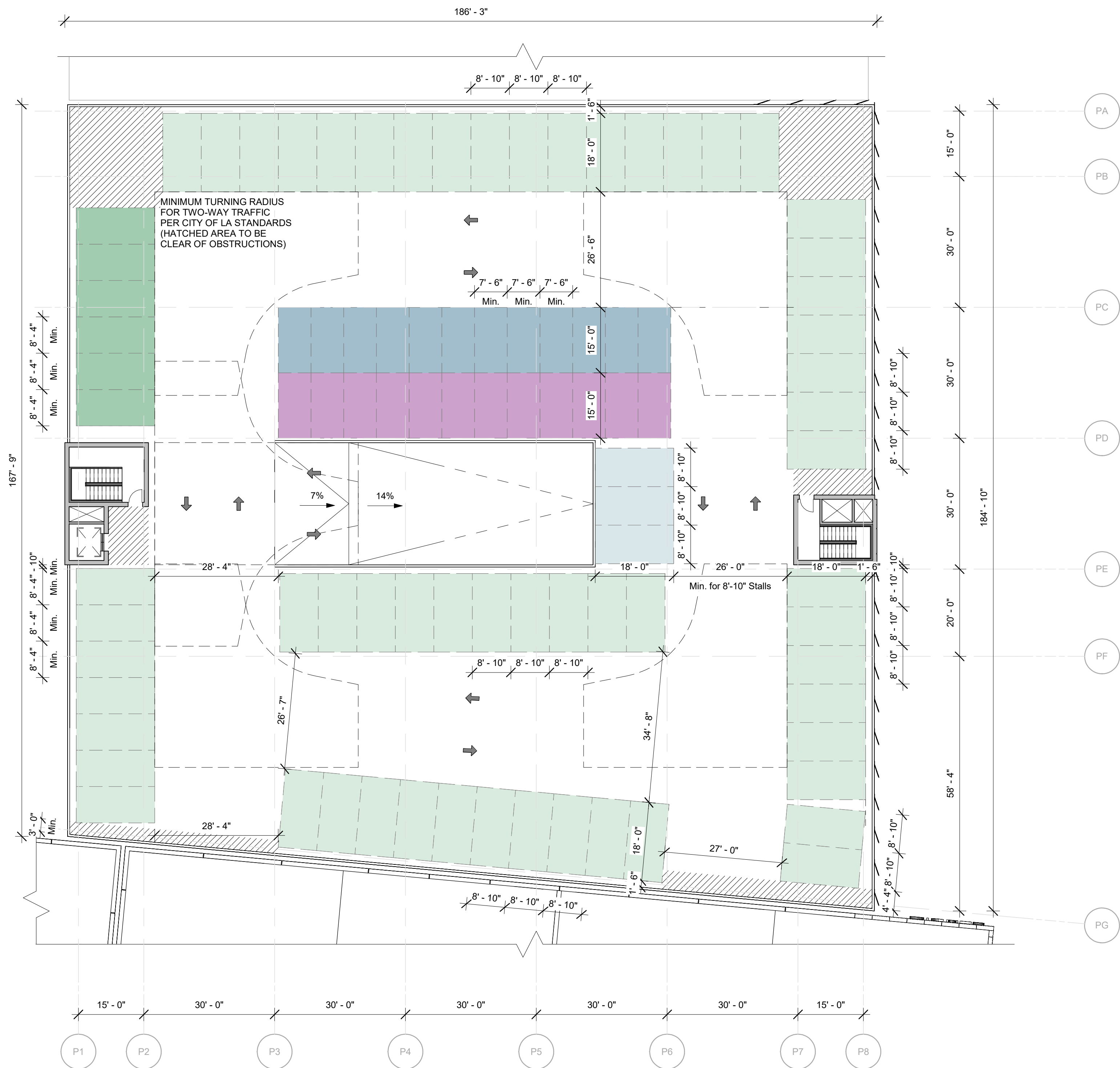
2 PARKING STRUCTURE - P3
1/16" = 1'-0"



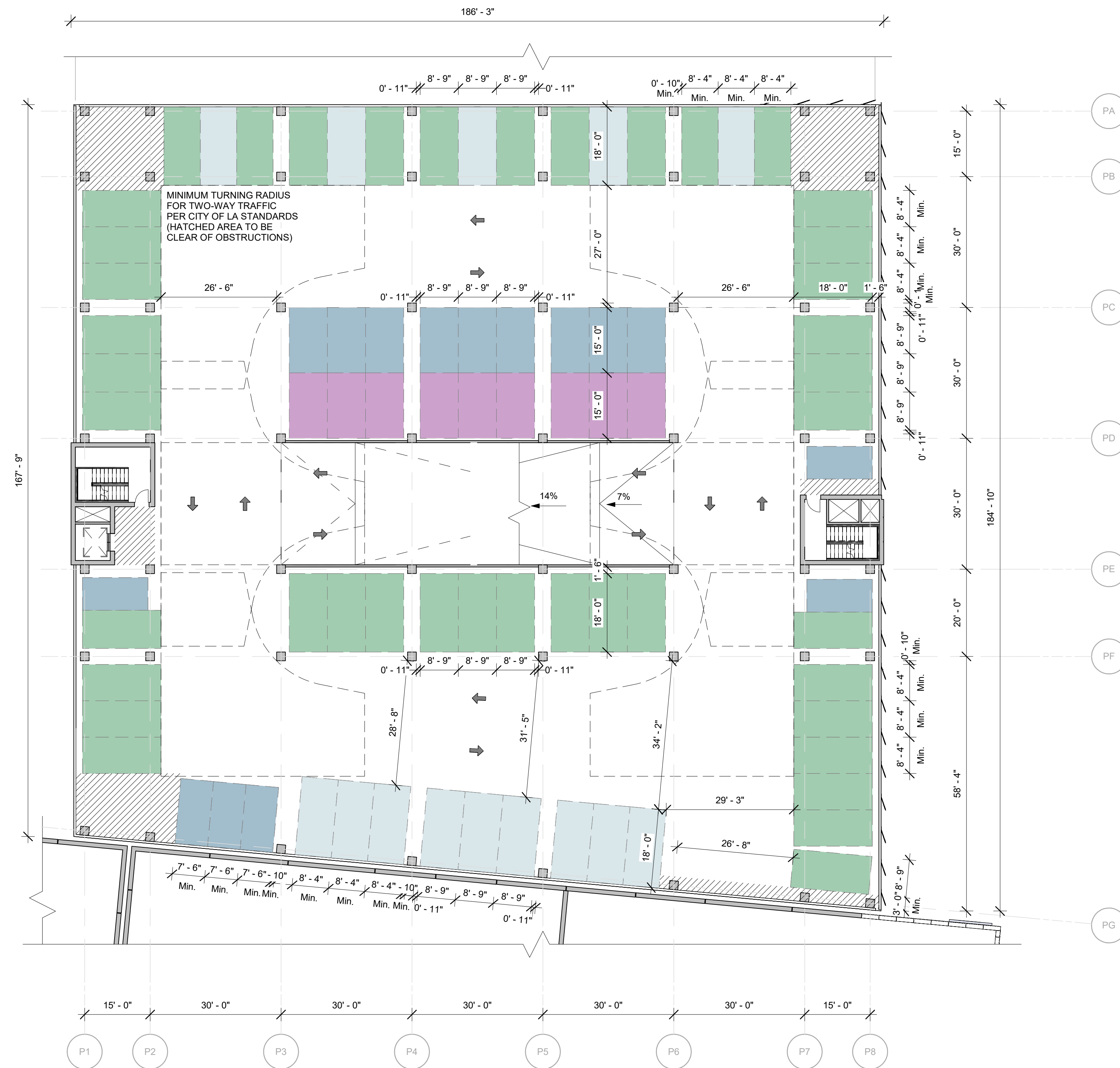
1 PARKING STRUCTURE - P2 / AMENITY LEVEL
1/16" = 1'-0"

PARKING STRUCTURE - BY LEVEL	
TYPE	STALLS
AMENITY LEVEL	
COMPACT (C)	15
COMPACT TANDEM (CT)	9
ELECTRIC VEHICLE CHARGING STATION (EVCS)	40
STANDARD (S)	14
	78
P3	
COMPACT (C)	15
COMPACT TANDEM (CT)	9
ELECTRIC VEHICLE CHARGING STATION (EVCS)	42
STANDARD (S)	14
	80

PARKING LEGEND	
STANDARD (S) 8'-4" MIN. x 18'	ELECTRIC VEHICLE CHARGING STATION (EVCS)
COMPACT (C) 7'-6" MIN. x 15'	ACCESSIBLE (A) 9'-0" MIN. x 18'
STANDARD TANDEM (T) 8'-4" MIN. x 18'	VAN ACCESSIBLE (AV) 12'-0" MIN. x 18'
COMPACT TANDEM (CT) 7'-6" MIN. x 15'	ACCESSIBLE EV CHARGING STATION (A-EVCS OR AV-EVCS)
ELECTRIC VEHICLE CHARGING SPACE (EV)	



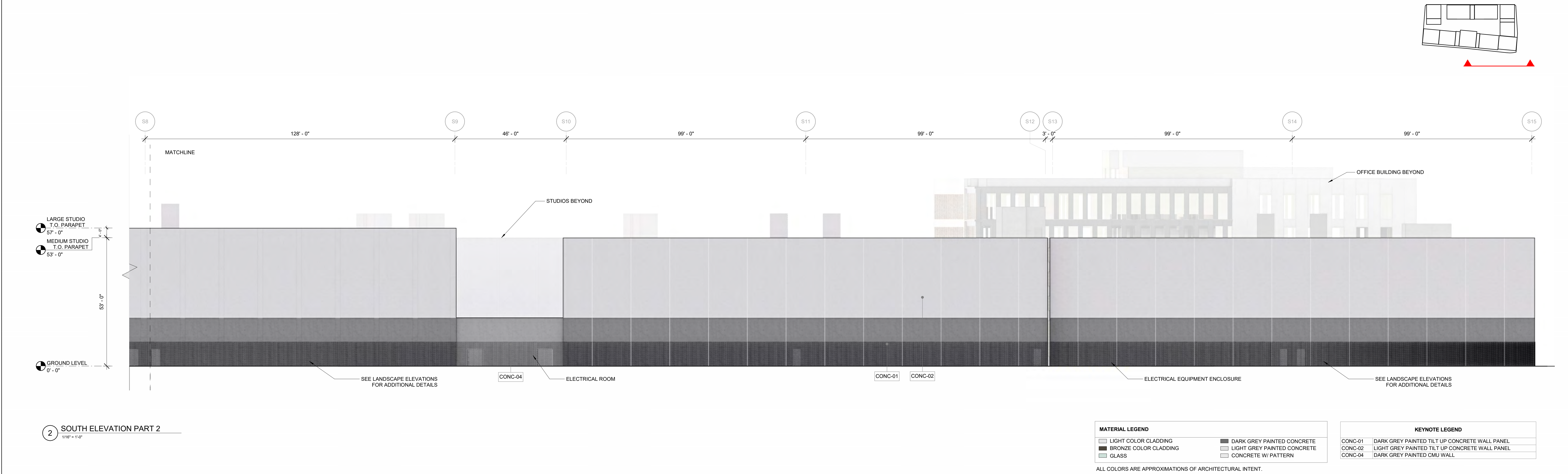
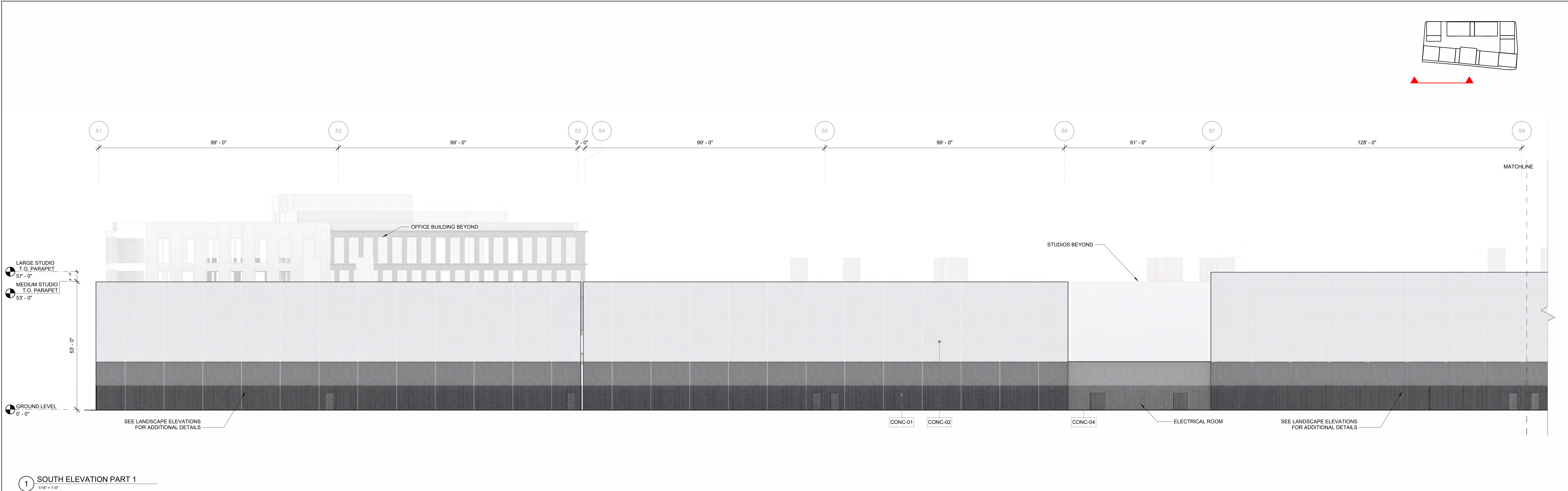
2 PARKING STRUCTURE - P5
1/16" = 1'-0"



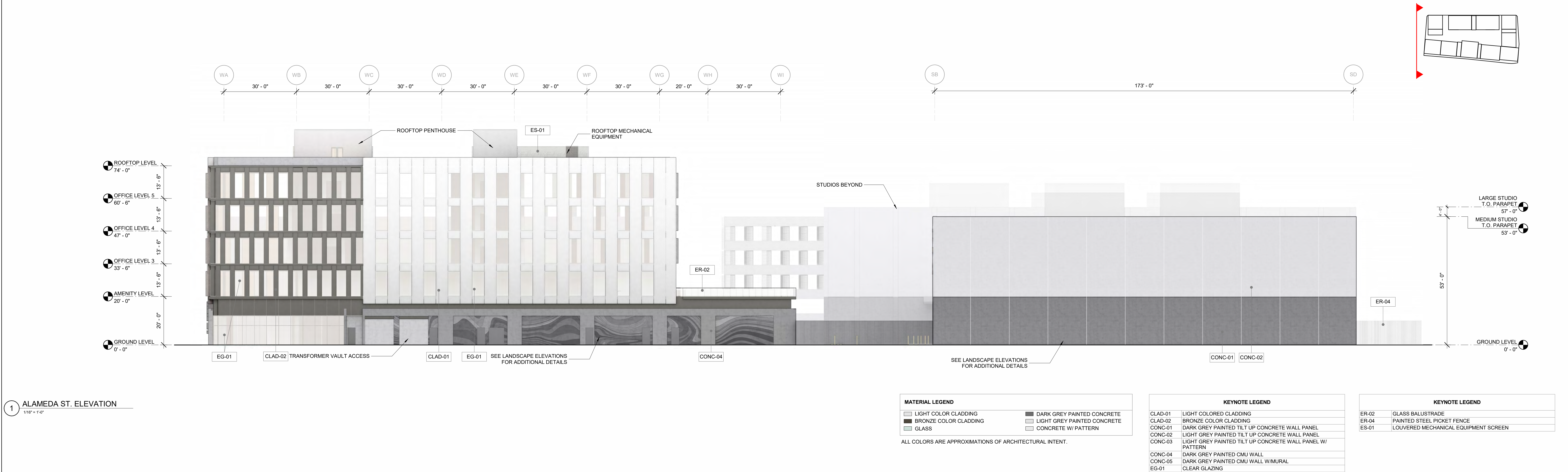
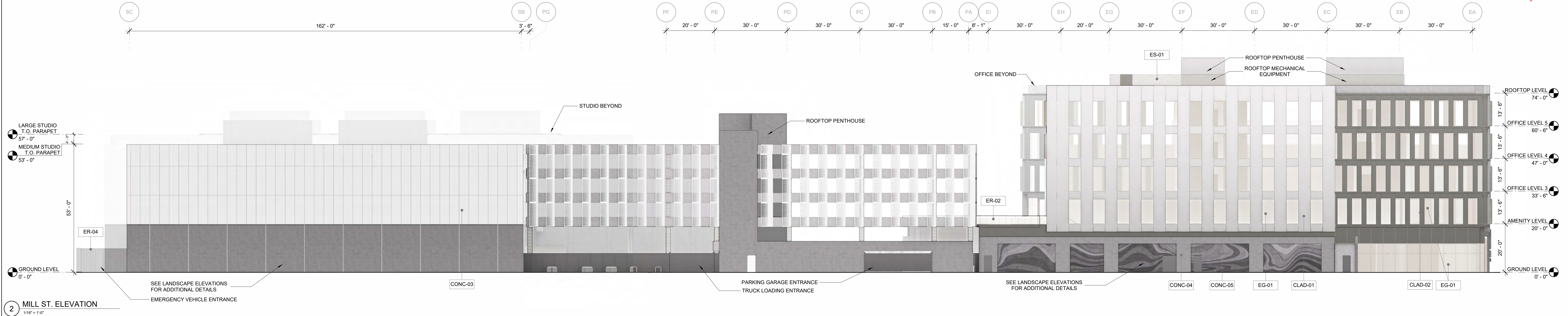
1 PARKING STRUCTURE - P4
1/16" = 1'-0"

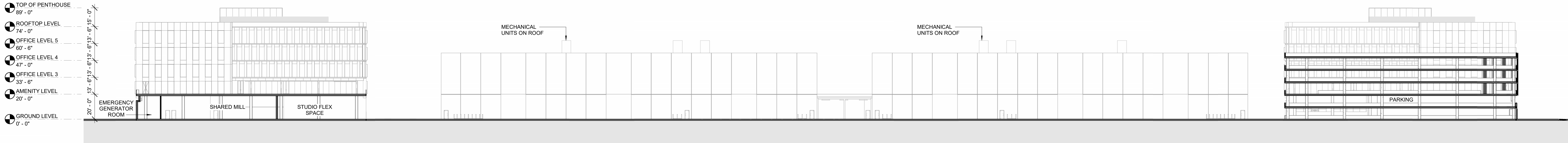
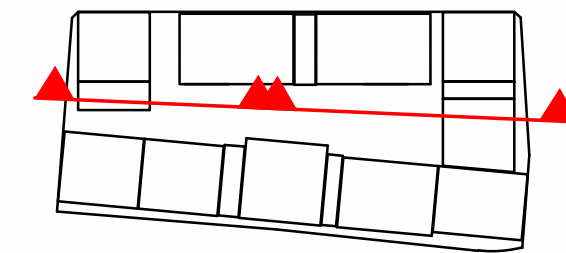
PARKING STRUCTURE - BY LEVEL	
TYPE	STALLS
P4	
COMPACT (C)	15
COMPACT TANDEM (CT)	9
ELECTRIC VEHICLE CHARGING STATION (EVCS)	42
STANDARD (S)	14
	80
P5	
COMPACT (C)	12
COMPACT TANDEM (CT)	12
ELECTRIC VEHICLE CHARGING SPACE (EV)	58
ELECTRIC VEHICLE CHARGING STATION (EVCS)	6
STANDARD (S)	3
	91
TOTAL STALLS	415

PARKING LEGEND			
	STANDARD (S)		ELECTRIC VEHICLE CHARGING STATION (EVCS)
	COMPACT (C)		STANDARD ACCESSIBLE (A)
	STANDARD TANDEM (T)		VAN ACCESSIBLE (AV)
	COMPACT TANDEM (CT)		ACCESSIBLE EV CHARGING STATION (A-EVCS)
	ELECTRIC VEHICLE CHARGING SPACE (EV)		

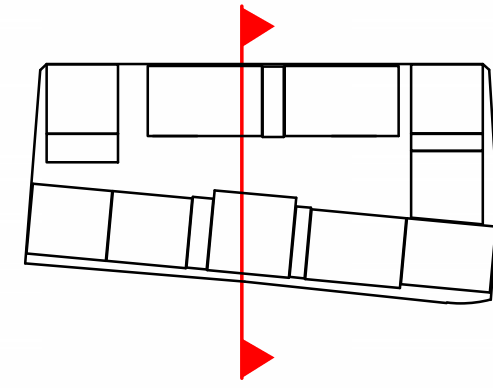
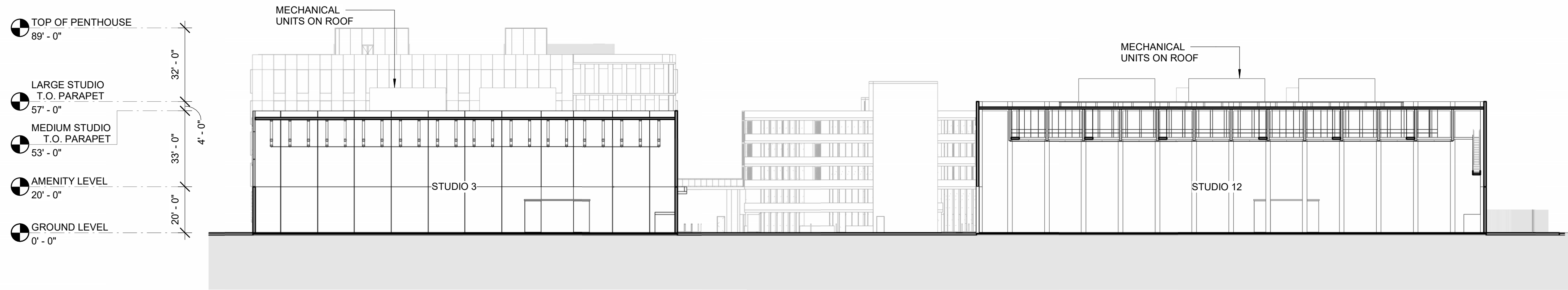








1 W-E SITE SECTION
1/32" = 1'-0"



2 N-S SITE SECTION
1/32" = 1'-0"

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KEY PLAN

DRAWING TITLE
SITE SECTIONS

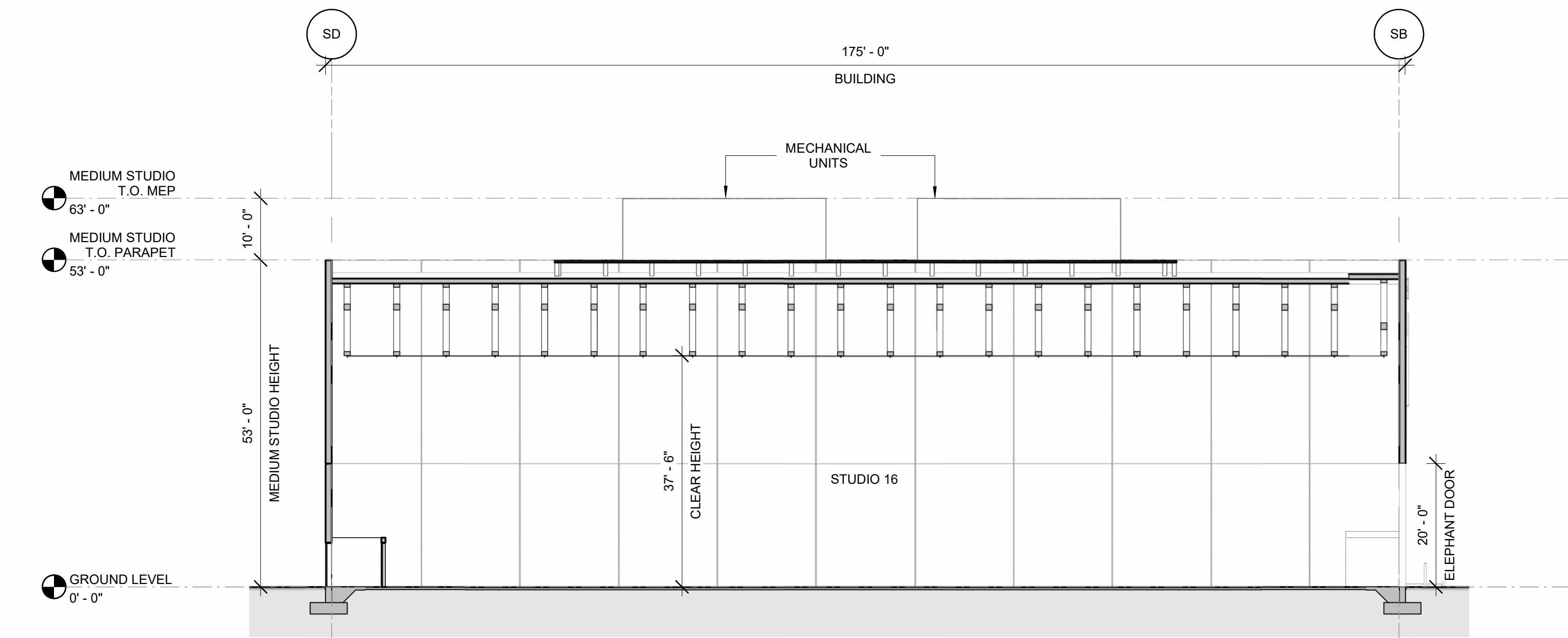
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STATUS
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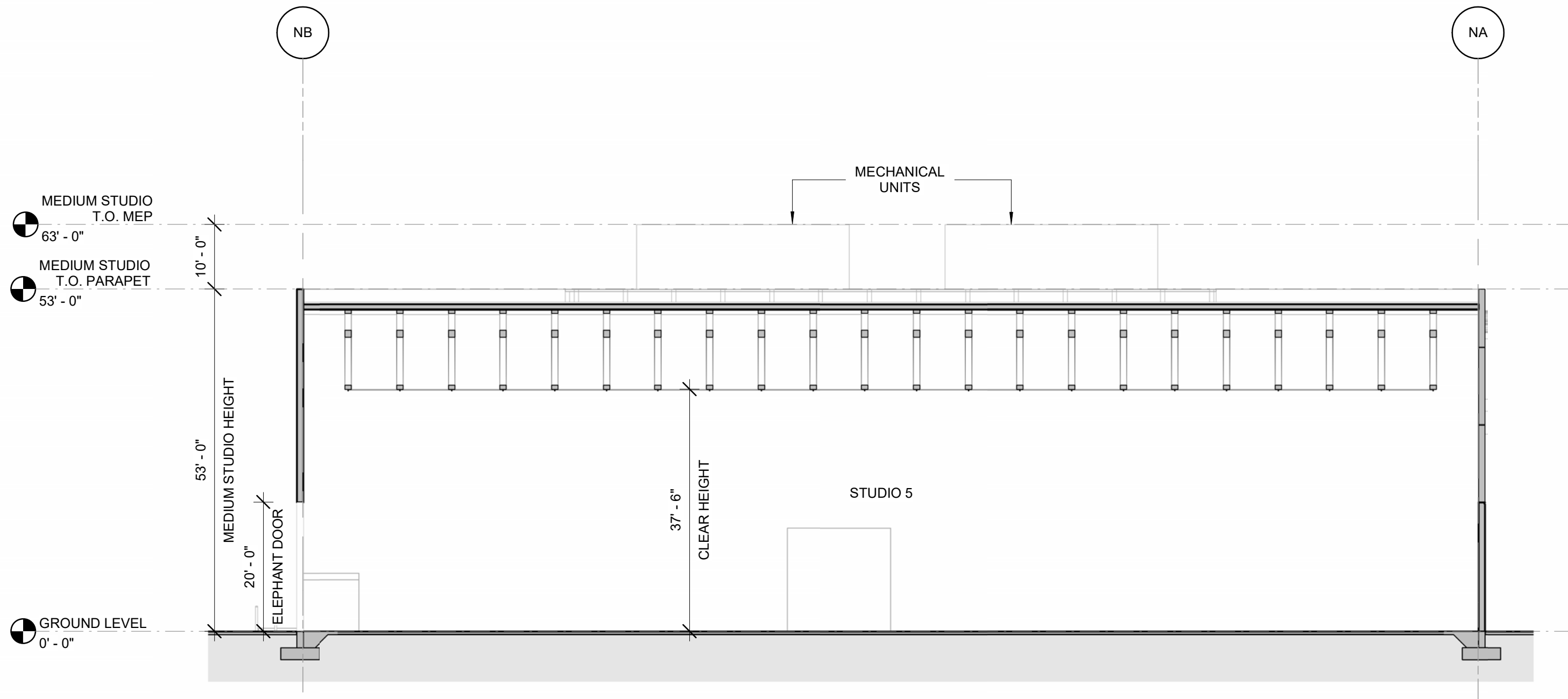
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GRM GRM GRM 05/12/23

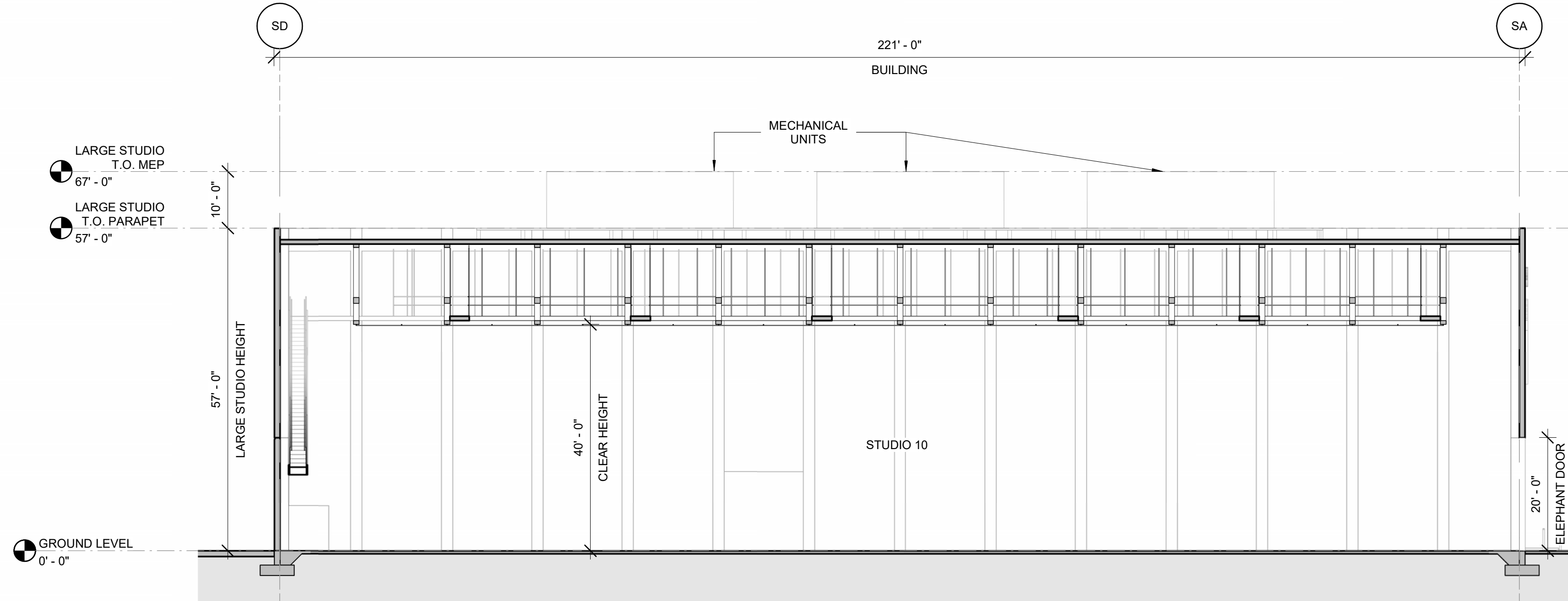
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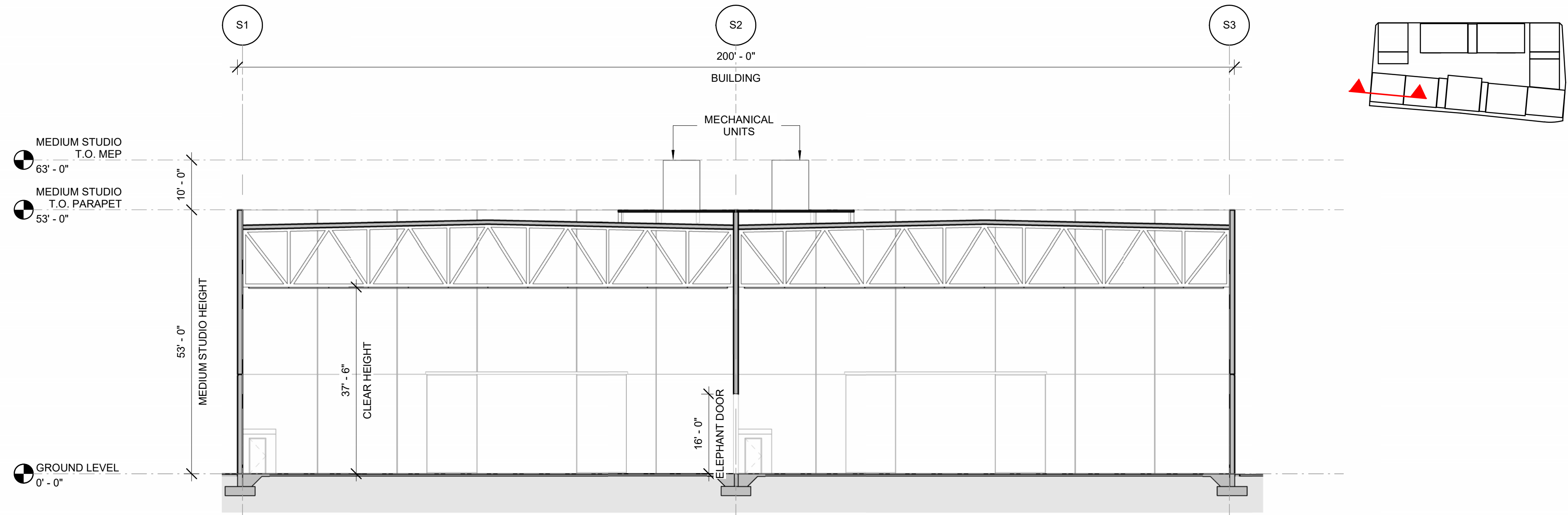
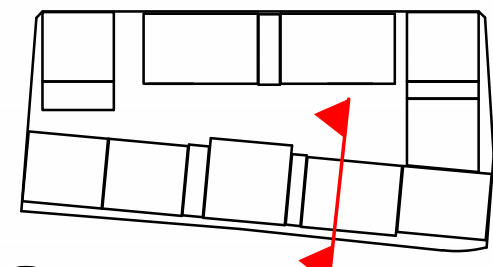
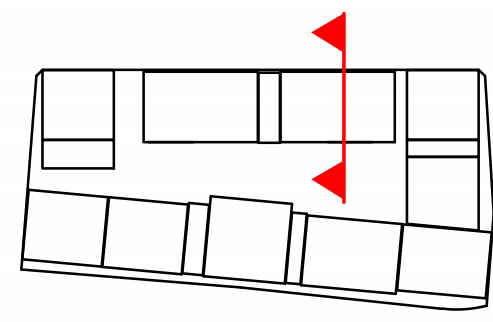
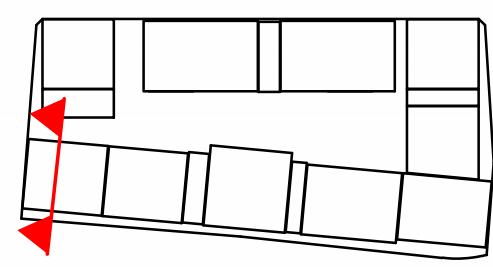
6 TYPICAL STUDIO 15 & 16 - SECTION 1
1/16" = 1'-0"



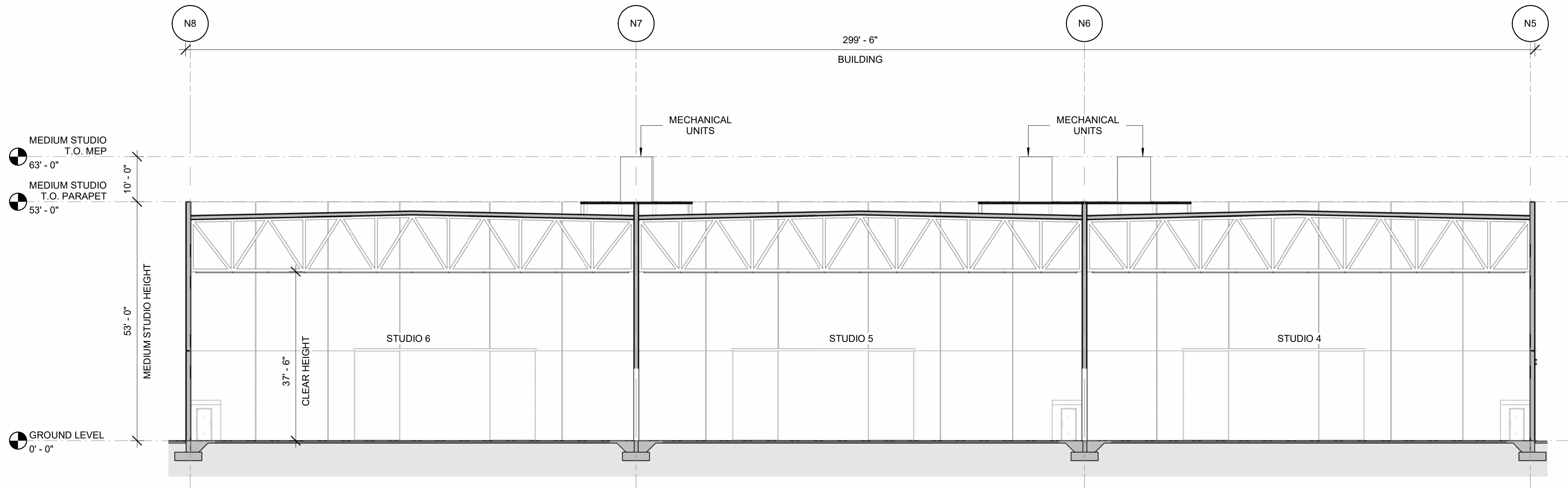
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1/16" = 1'-0"



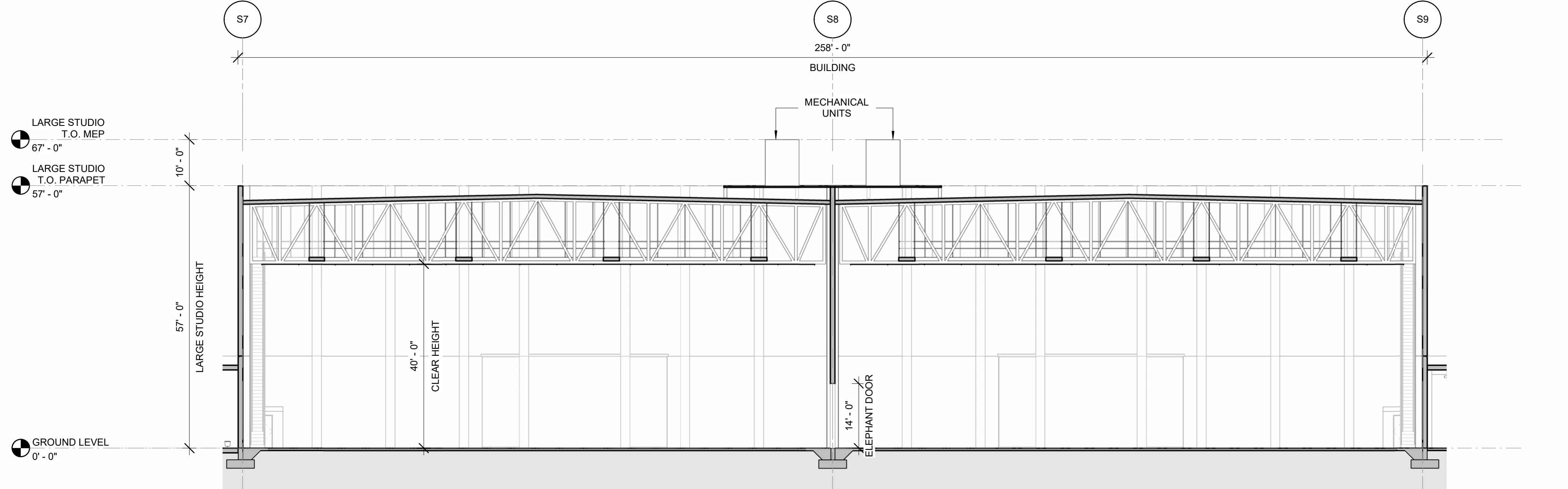
4 TYPICAL STUDIO 11 & 12 - SECTION 1
1/16" = 1'-0"



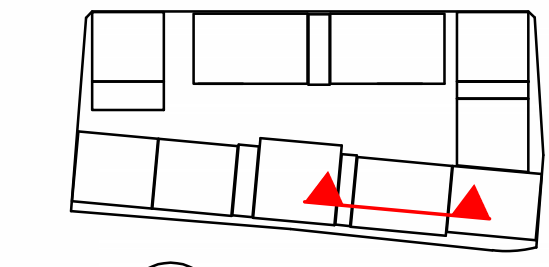
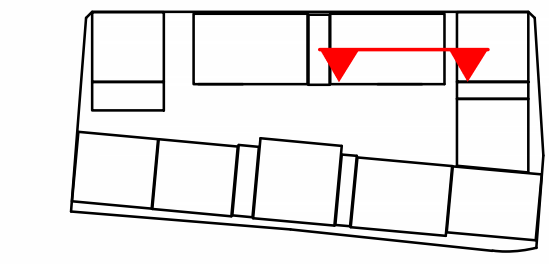
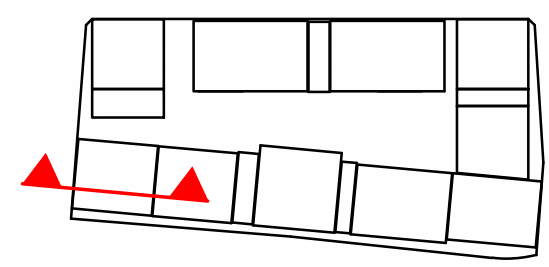
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1/16" = 1'-0"



2 TYPICAL STUDIO 4-6 - SECTION 2
1/16" = 1'-0"

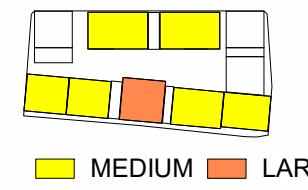


1 TYPICAL STUDIO 11 & 12 - SECTION 2
1/16" = 1'-0"



STUDIO SIZES	
MEDIUM	LARGE
STUDIOS 1-10 & 13-16	STUDIOS 11-12

STUDIO SIZES ARE DEPENDENT ON HEIGHT AND TRUSS SPAN LENGTH.



ARCHITECT
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CLIENT
ALAMEDA STUDIOS OWNER, LLC

CONSULTANTS

PROJECT NAME
East End Studios

Arts District Los Angeles

PROJECT NO.
22043

ADDRESS
**1206 East 6th Street
Los Angeles, CA 90021**

REV BY DATE DESCRIPTION

KEY PLAN

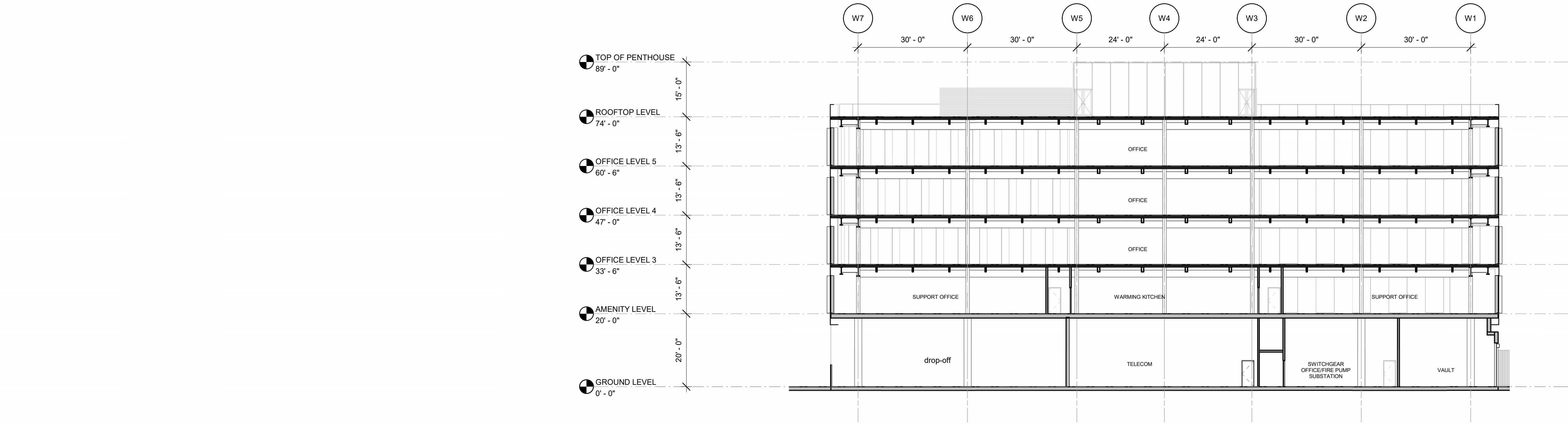
DRAWING TITLE
TYPICAL STUDIO BUILDING SECTIONS

SCALE
As Indicated @ARCH E1

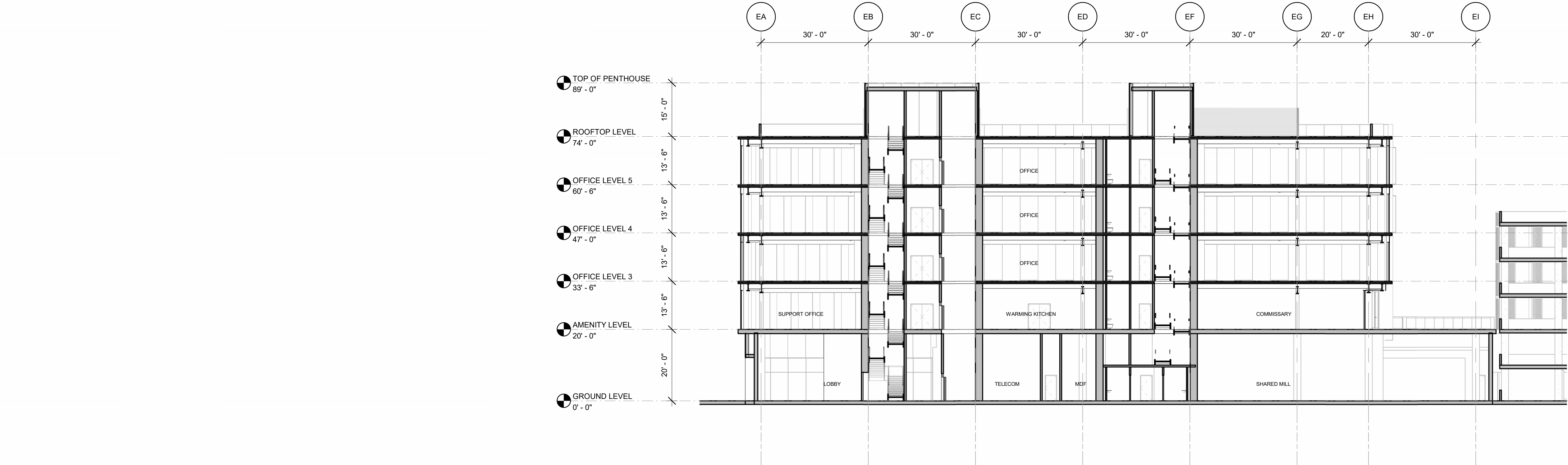
STATUS
Entitlement Set

DRW CH APPR DRW/DATE REV
GRM GRM GRM 05/12/23

DRAWING NO.
A07-1002



3 OFFICE BUILDING - ALAMEDA - EW SECTION (MILL SIM.)
1/16" = 1'-0"



2 OFFICE BUILDING - MILL - NS SECTION
1/16" = 1'-0"



1 OFFICE BUILDING - ALAMEDA - NS SECTION
1/16" = 1'-0"

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PROJECT NAME
East End Studios

Arts District Los Angeles

PROJECT NO.
22043

ADDRESS
**1206 East 6th Street
Los Angeles, CA 90021**

REV BY DATE DESCRIPTION

KEY PLAN

DRAWING TITLE
TYPICAL OFFICE BUILDING SECTIONS

SCALE
1/16" = 1'-0"
STATUS
Entitlement Set
@ARCH E1
DRW CH APPR DRW DATE REV
GRM GRM GRM 05/12/23

DRAWING NO.
A07-1003



EARTHWORK QUANTITIES	
CUT	-210,000 CY
FILL	170,000 CY
NET VOLUME	- 40,000 CY

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Langan Engineering and Environmental Services, Inc.
18175 Jamboree Road, Suite 100
Irvine, CA 92612
T: 949.581.6200 F: 949.581.6201 www.langan.com

PROJECT NAME
East End Studios

PROJECT NO.
22043

ADDRESS
**1206 East 6th Street
Los Angeles, CA 90021**

REV BY DATE DESCRIPTION

KEY PLAN

NORTH

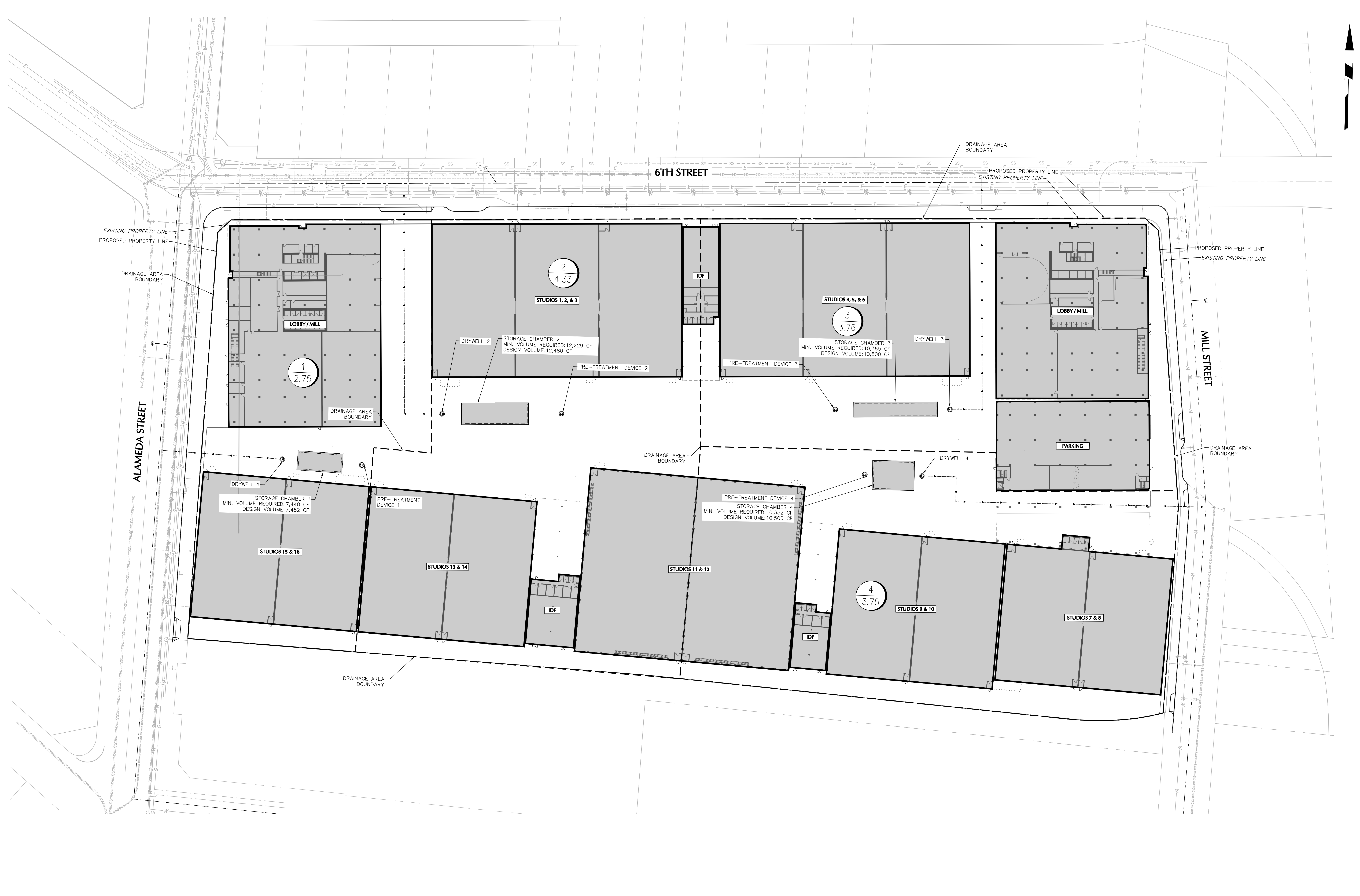
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CONCEPTUAL GRADING PLAN

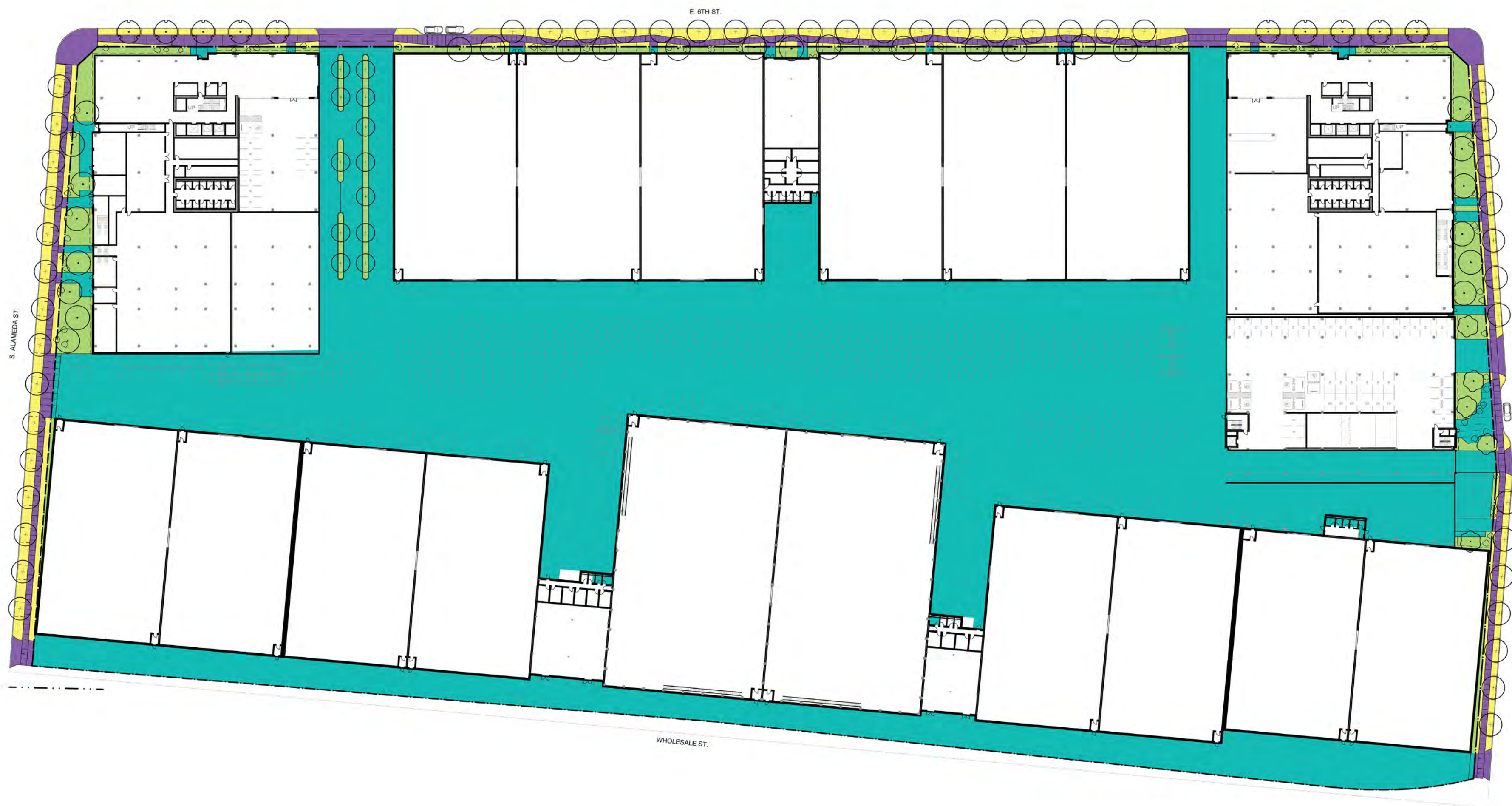
SCALE
1" = 40'-0"

STATUS
ENTITLEMENT

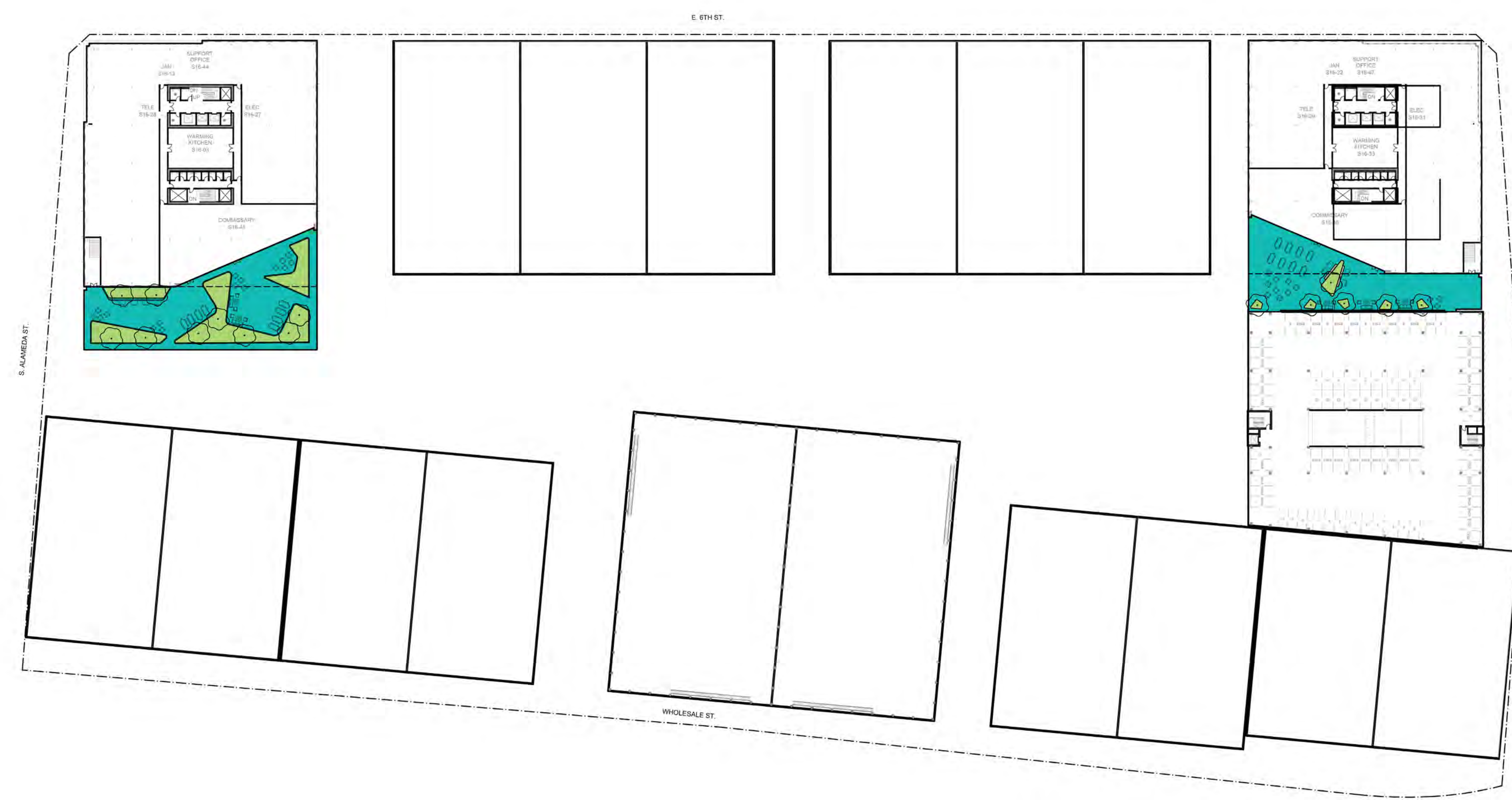
DRW CH APPR DRAW DATE REV
LAN LAN LAN 05/12/2023

DRAWING NO.
CG101

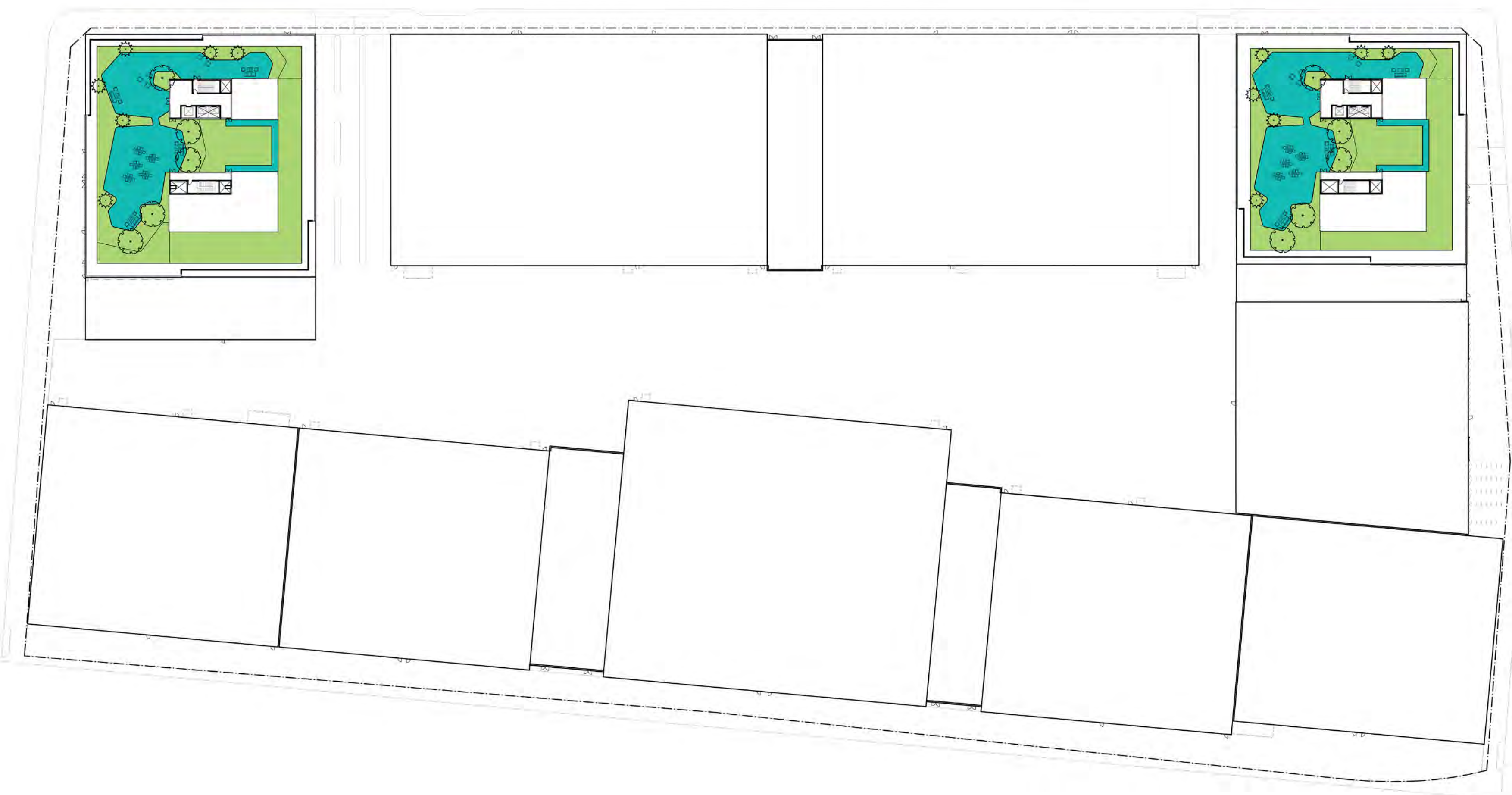




1 OPEN SPACE DIAGRAM - GROUND FLOOR
1"=100'-0"



2 OPEN SPACE DIAGRAM - LEVEL 02
1"=100'-0"



3 OPEN SPACE DIAGRAM - LEVEL RL
1"=100'-0"

OPEN SPACE CALCULATIONS

LEVEL 1 - GROUND FLOOR

RIGHT OF WAY (ROW)

NON-PERMEABLE:	15,953 SF
PERMEABLE:	16,727 SF
TOTAL:	32,680 SF

PRIVATE

NON-PERMEABLE:	206,132 SF
PERMEABLE:	15,926 SF
TOTAL:	222,058 SF

LEVEL 02 - AMENITY DECK

WEST BUILDING

NON-PERMEABLE:	7,580 SF
PERMEABLE:	4,584 SF
TOTAL:	12,164 SF

EAST BUILDING

NON-PERMEABLE:	7,500 SF
PERMEABLE:	448 SF
TOTAL:	7,948 SF

ROOF LEVEL

WEST BUILDING

NON-PERMEABLE:	8,023 SF
PERMEABLE:	12,965 SF
TOTAL:	20,988 SF

EAST BUILDING

NON-PERMEABLE:	8,003 SF
PERMEABLE:	11,066 SF
TOTAL:	19,069 SF

CALCULATIONS

A. EXISTING TREES

TOTAL STREET PARKWAY TREES:	13
E. 6TH STREET:	0
ALAMEDA STREET:	6
WHOLESALE STREET:	0
MILL STREET:	7

B. TREE REQUIREMENT CALCULATION

CITY OF LOS ANGELES LANDSCAPE ORDINANCE
12.42 C.A. LOS ANGELES MUNICIPAL CODE
AT LEAST ONE TREE, WHICH NOT BE A PALM, SHALL BE PROVIDED IN THE PROJECT FOR EACH 500 SF OF LANDSCAPED AREA IN THE PROJECT. A MINIMUM OF 100 SF OF UNPAVED AREA SHALL BE PROVIDED AT THE BASE OF EACH TREE, THE SHORTEST DIMENSION OF WHICH SHALL BE 4 FEET MINIMUM, TO ALLOW FOR WATER INFILTRATION AND GAS EXCHANGE.

QUALIFIED LANDSCAPE AREA: 62,035SF / 500 =124
REQUIRED TREES 124

PROPOSED TREES

LEVEL 1 STREET ROW TREES:	57
ALAMEDA STREET:	15
E. 6TH STREET:	28
WHOLESALE STREET:	00
MILL STREET:	14

LEVEL 1 PRIVATE TREES:

ALAMEDA ST. FRONTAGE:	08
E. 6TH STREET. FRONTAGE:	25
WHOLESALE ST. FRONTAGE:	00
MILL ST. FRONTAGE:	11

LEVEL 2 TOTAL TREES:

WEST BUILDING:	09
EAST BUILDING:	06

ROOF LEVEL TOTAL TREES:

WEST BUILDING:	05
EAST BUILDING:	05

TOTAL PROPOSED TREES: 126

C. OPEN SPACE CALCULATIONS

LEVEL 1 TOTAL (ROW):	32,680
NON-PERMEABLE (ROW PAVING):	15,953
PERMEABLE (ROW PLANTING):	16,727

LEVEL 1 TOTAL (PRIVATE):	222,058
NON-PERMEABLE (INTERIOR BASECAMP):	199,301
NON-PERMEABLE (PRIVATE PAVING):	6,831
PERMEABLE (PRIVATE PLANTING):	15,926

LEVEL 2 TOTAL:	20,112
NON-PERMEABLE (PAVING):	15,080
PERMEABLE (PLANTING):	5,032

ROOF LEVEL TOTAL:

NON-PERMEABLE (PAVING):	40,057
PERMEABLE (PLANTING + AGGREGATE):	16,026
	24,031

OPEN SPACE TOTAL (ROW):	32,680 SQFT
NON-PERMEABLE AREA TOTAL:	15,953 SQFT (49%)
PERMEABLE AREA TOTAL:	16,727 SQFT (51%)

OPEN SPACE TOTAL (PRIVATE):	282,227 SQFT
NON-PERMEABLE AREA TOTAL:	237,238 SQFT (84%)
PERMEABLE AREA TOTAL:	44,989 SQFT (16%)

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ALAMEDA STUDIOS
OWNER, LLC

CONSULTANTS
STUDIO-MLA
ARCHITECTS

PROJECT NAME
East End Studios

Building Name (Optional)

PROJECT NO.
EES2022

ADDRESS
6th and Alameda, Los Angeles, CA 90021

REV BY DATE DESCRIPTION

DRAWING TITLE

OPEN SPACE CALCULATIONS

SCALE STATUS

AS NOTED

DRAWING NO.
L-001

NORTH 1



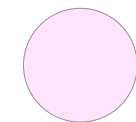
TREE DISPOSITION LEGEND

GROUND FLOOR

EXISTING TREE TO BE REMOVED



Podocarpus macrophyllus



Handroanthus impetiginosus

TREE REPORT AND INVENTORY



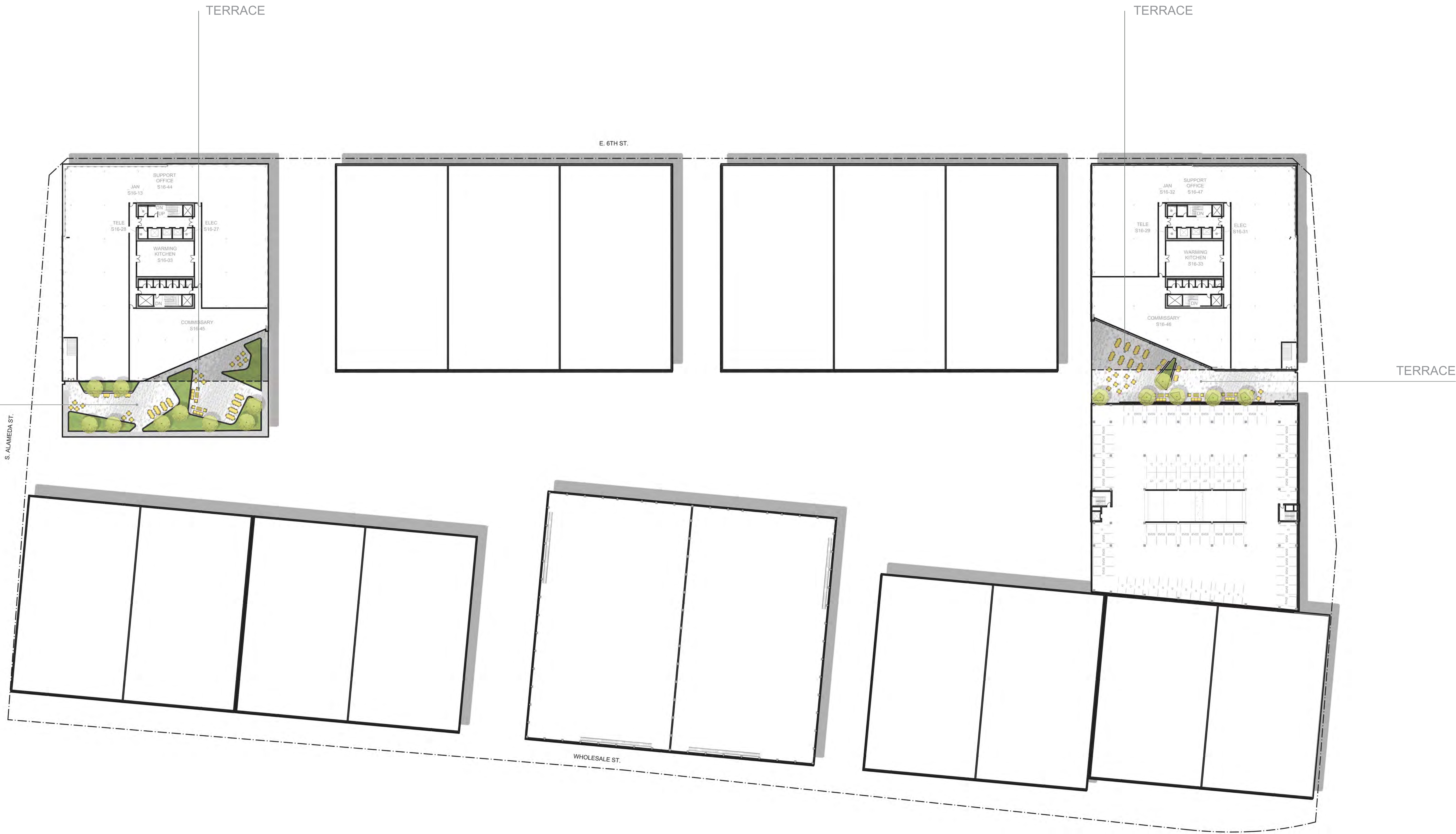
Tree #	Common Name	Botanical Name	Diameter at 4.5 feet (DBH) in inches	Height (feet)	Canopy Spread (N/E/S/W) in feet	Overall Condition	"Protected", "ROW", or "Significant" Tree	Comments
ST1	yew pine	Podocarpus macrophyllus	6.4	13	6/4/5/3	Good	ROW	
ST2	yew pine	Podocarpus macrophyllus	5	16	8/9/5/5	Good	ROW	
ST3	yew pine	Podocarpus macrophyllus	9	18	10/5/8/7	Good	ROW	
ST4	yew pine	Podocarpus macrophyllus	10.5	20	10/6/8/9	Good	ROW	
ST5	pink trumpet tree	Handroanthus impetiginosus	5.8	18	16/17/12/12	Good	ROW	Mechanical damage to trunk
ST6	desert willow	Chilopsis linearis	2.9 measured at 3'	8	4/4/4/4	Good	ROW	

DBH – Diameter at breast height. A forestry term used to describe a tree's trunk diameter measured at 4.5 feet above grade. Often used as a representation of tree height.

ST – Street tree

Tree #	Common Name	Botanical Name	Diameter	Height	Overall Condition	Protected ROW or Significant Tree	Comments
ST7	pink trumpet tree	Handroanthus impetiginosus			Good	ROW	
ST8	pink trumpet tree	Handroanthus impetiginosus			Good	ROW	
ST9	pink trumpet tree	Handroanthus impetiginosus			Good	ROW	
ST10	pink trumpet tree	Handroanthus impetiginosus			Good	ROW	
ST11	pink trumpet tree	Handroanthus impetiginosus			Good	ROW	
ST12	pink trumpet tree	Handroanthus impetiginosus			Good	ROW	
ST13	pink trumpet tree	Handroanthus impetiginosus			Good	ROW	





VEGETATION LEGEND

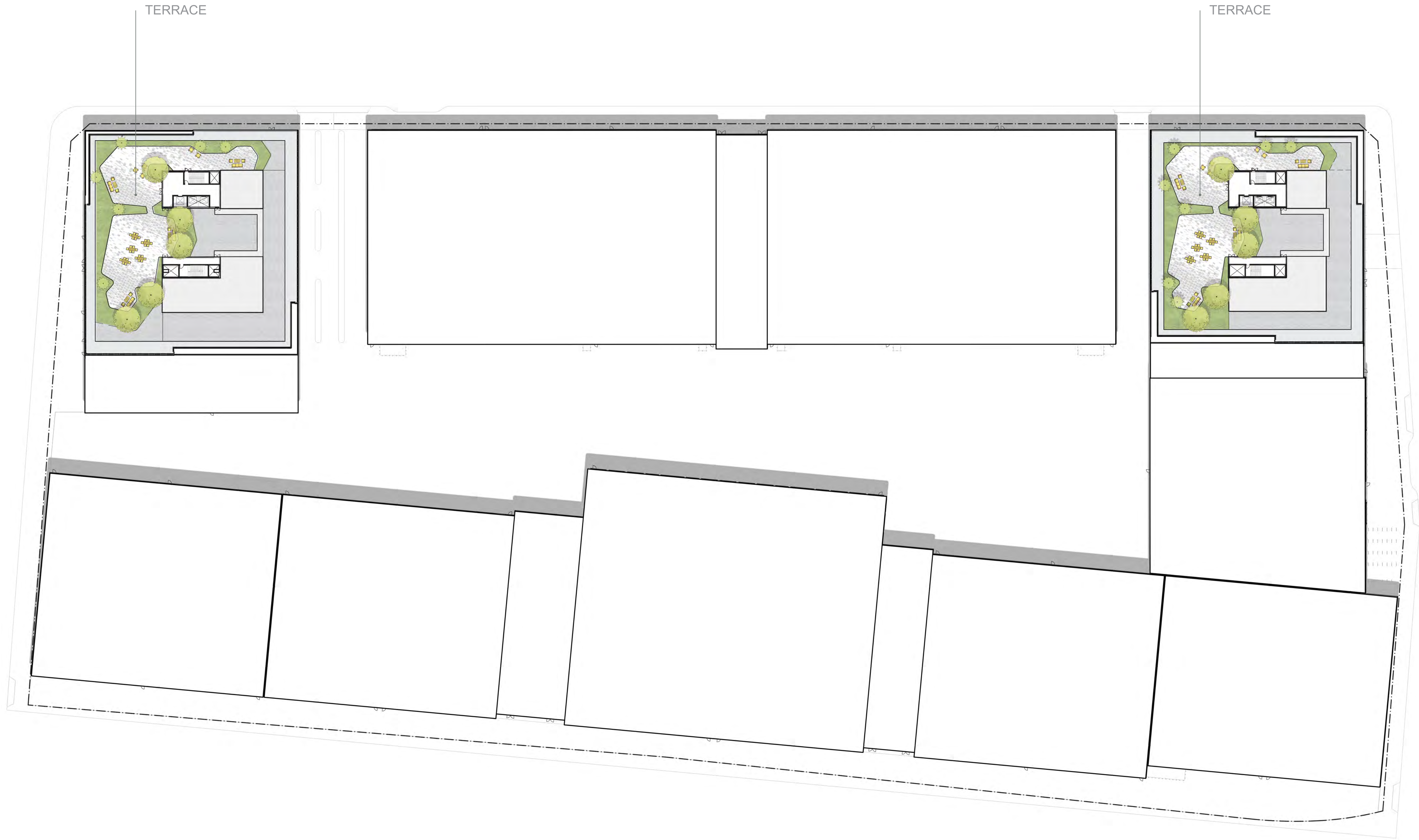
- AMENITY DECK

SHRUBS, PERENNIALS & GROUND COVERS

 - Achillea millefolium
 - Argostis exarata
 - Artemisia californica
 - Baccharis pilularis
 - Carex praegracilis
 - Ceanothus g. 'Yankee Point'
 - Cornus glabrata
 - Euthamia occidentalis
 - Helichrysum italicum
 - Mimulus aurantiacus
 - Salvia mellifera
 - Solidago californica
 - Symphoricarpos mollis
- GRASSES

 - Juncus patens
 - Juncus torreyi
 - Lemus tricoides
 - Leymus condensatus
- TREES

 - Salix gooddingii
 - Salix laevigata



VEGETATION LEGEND

ROOF DECK

SHRUBS, PERENNIALS & GROUND COVERS

Ceanothus leucodermis
Eriogonum fasciculatum
Sriophyllum confertiflorum

GRASSES

Bouteloua gracilis
Leymus 'Canyon Prince'
Nassella stipa

CACTI & SUCCULENTS

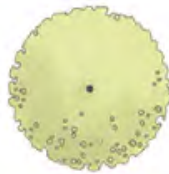
Agave parry var. truncata
Agave x Blue Flame
Dudley spp.
Echeveria derenbergii
Echinocactus grusonii
Opuntia spp.
Sedum laxum
Sedum morganianum

CALIFORNIA NATIVE VINES

Clematis ligusticifolia
Cochiliasanthus caracalla
Keckiella cordifolia
Lonicera subspicata
Passiflora incaratanter
Vitis girdiana

TREES

Salix laevigata



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Los Angeles, CA 90015
Tel: 213.622.1111
www.studio-mla.com

PROJECT NAME
East End Studios

Building Name (Optional)

PROJECT NO.
EES2022

ADDRESS
6th and Alameda, Los Angeles, CA 90021

REV BY DATE DESCRIPTION

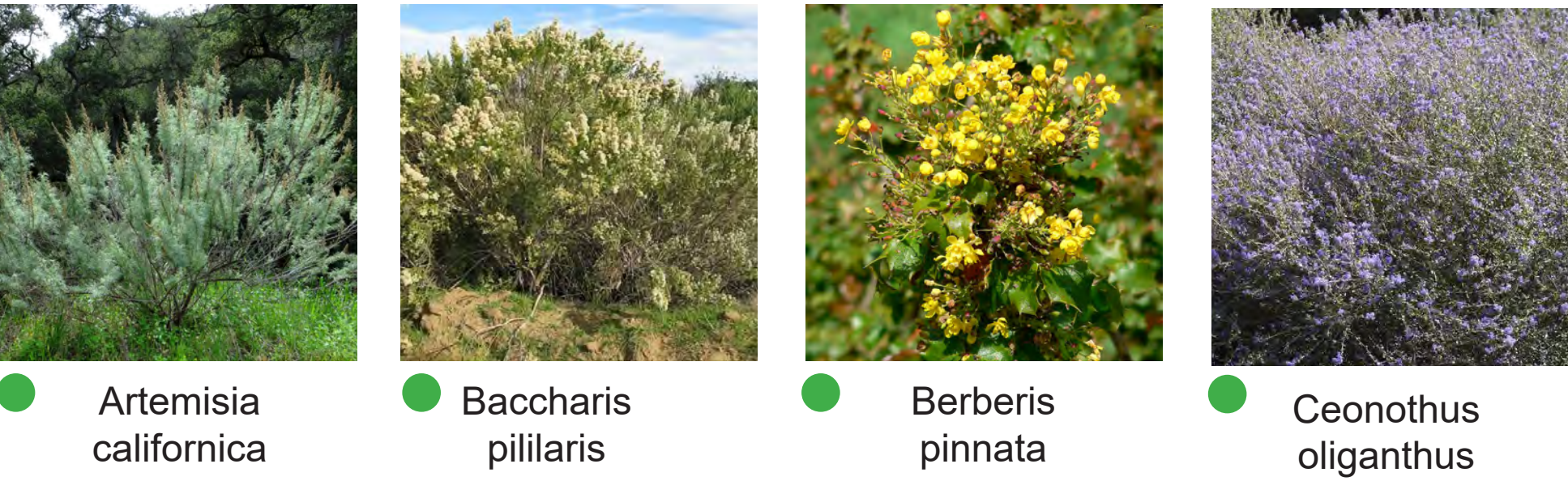
NORTH

DRAWING TITLE
CONCEPTUAL LANDSCAPE PLAN
SCALE
1" = 40'-0"
STATUS

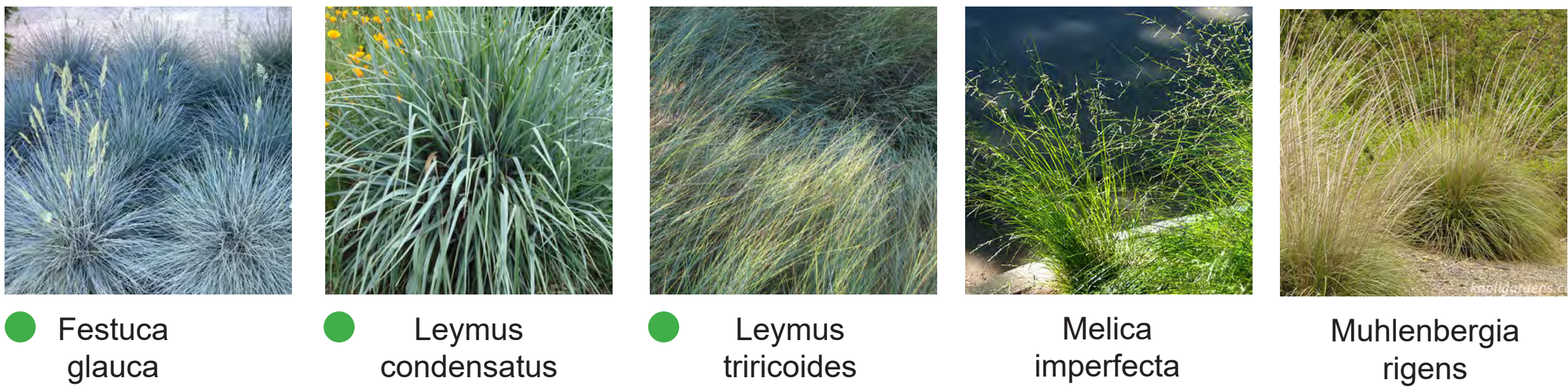
DRAWING NO.
L-103

STREETSCAPE:

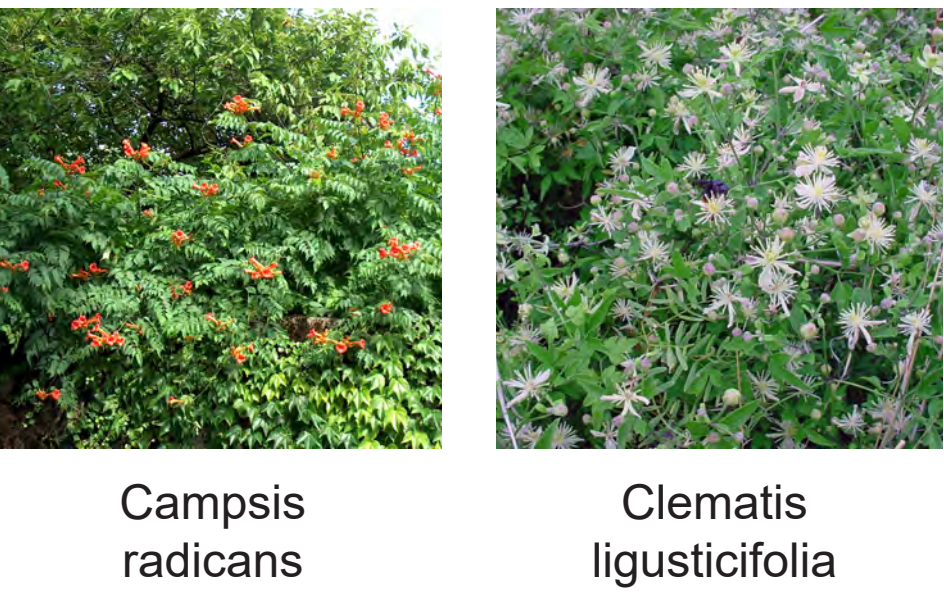
SHRUBS, PERENNIALS & GROUND COVERS



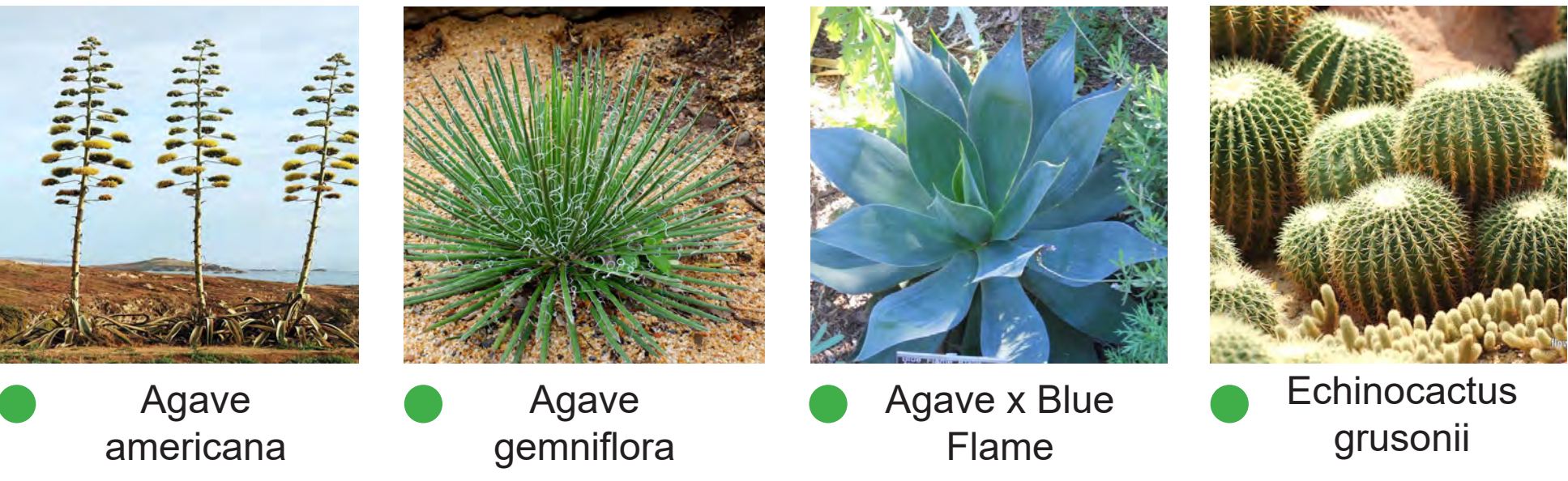
GRASSES



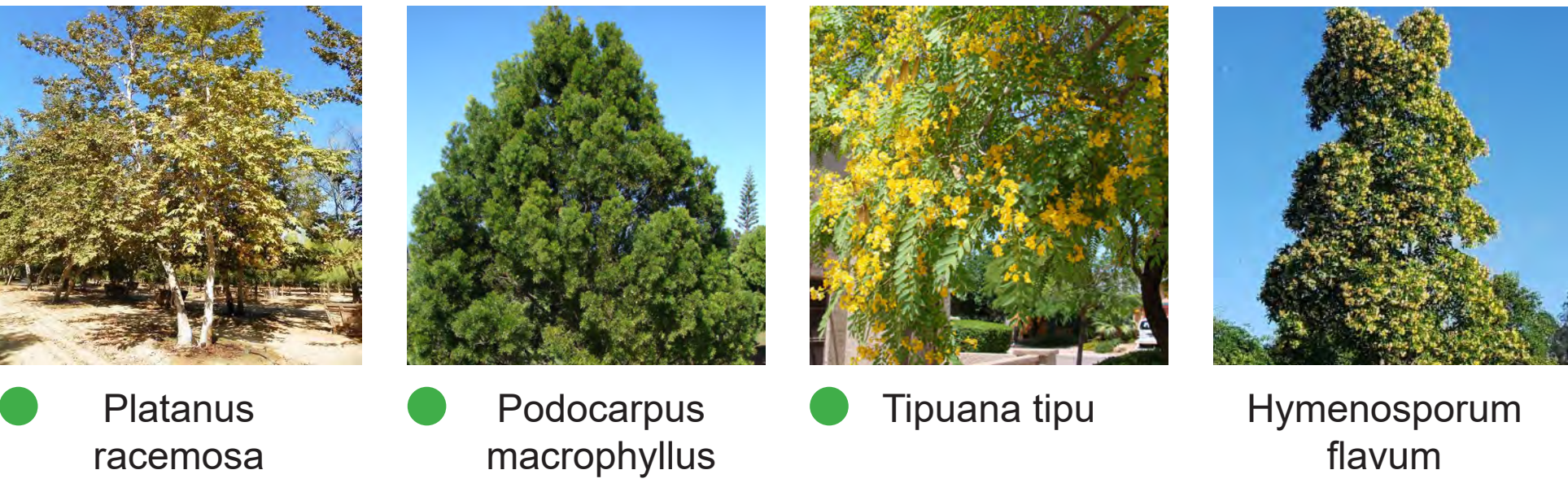
CALIFORNIA NATIVE VINES



CACTI & SUCCULENTS



TREE



AMENITY DECK:

SHRUBS, PERENNIALS & GROUND COVERS



GRASSES & RUSHES

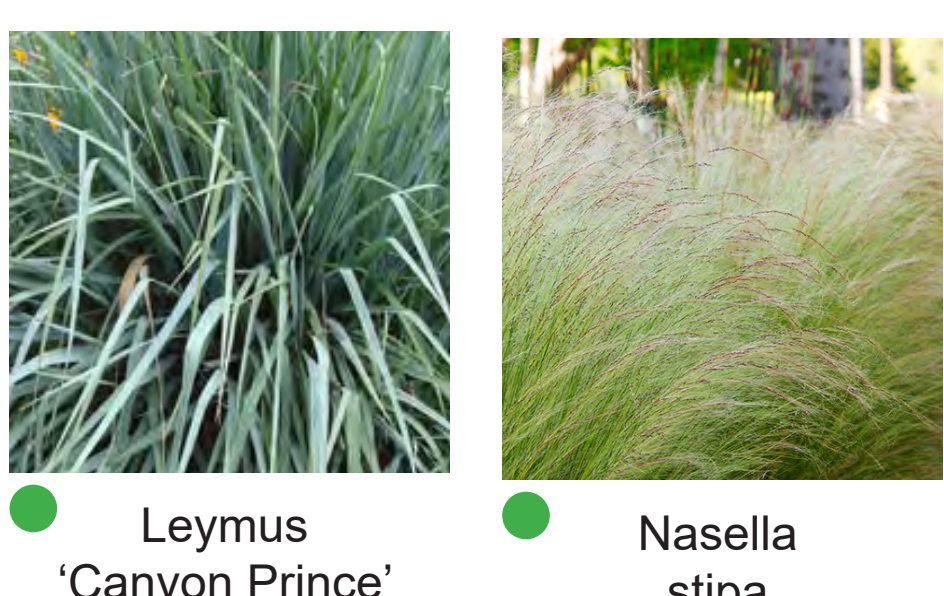


ROOF DECK:

SHRUBS, PERENNIALS & GROUND COVERS



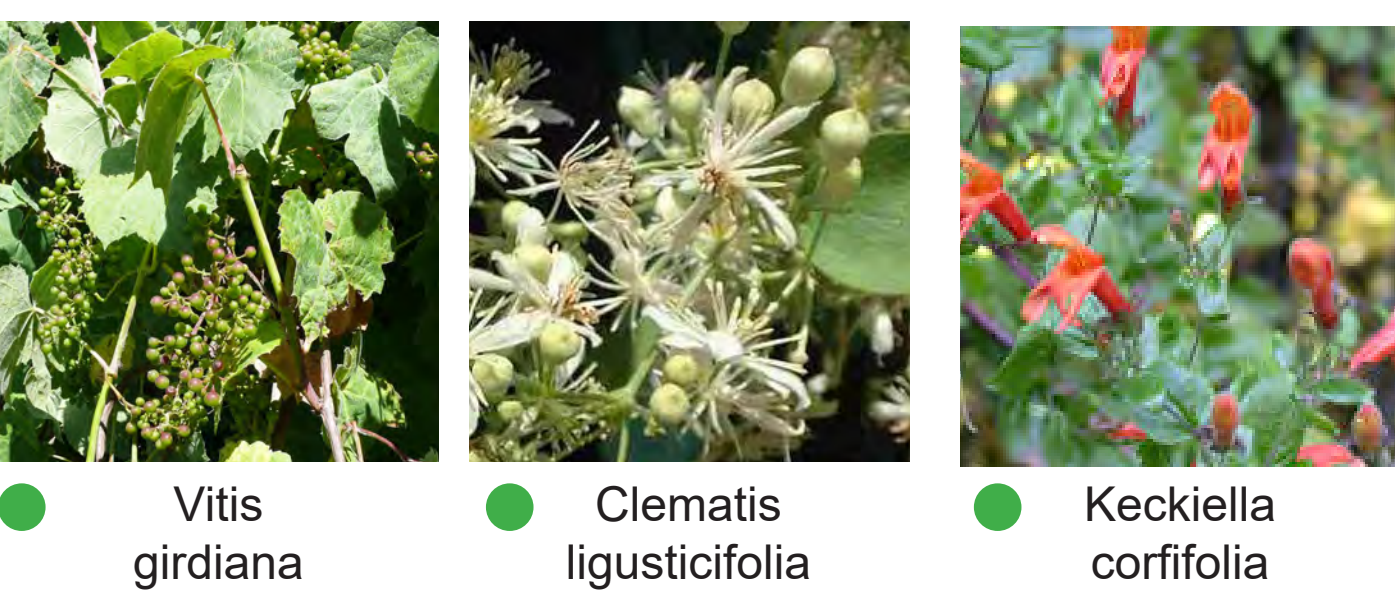
GRASSES



CACTI & SUCCULENTS



VINES



TREE



● RIO PLANTING



1 6TH ST. ELEVATION PART 2
1/16" = 1'-0"



2 6TH ST. ELEVATION PART 1
1/16" = 1'-0"

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Los Angeles, CA 90012
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PROJECT NAME
East End Studios

Building Name (Optional)

PROJECT NO.
EES2022

ADDRESS
8th and Alameda, Los Angeles, CA 90021

REV BY DATE DESCRIPTION

DRAWING TITLE
SITE ELEVATIONS
SCALE
AS NOTED
DRAWING NO.
L-105



2 MILL ST. ELEVATION
1/16" = 1'-0"



1 ALAMEDA ST. ELEVATION
1/16" = 1'-0"

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PROJECT NAME
East End Studios

Building Name (Optional)

PROJECT NO.
EES2022

ADDRESS
8th and Alameda, Los Angeles, CA 90021

REV BY DATE DESCRIPTION

DRAWING TITLE
SITE ELEVATIONS

SCALE STATUS

AS NOTED

DRAWING NO.
L-106

Attachment F: Qualifications

JENNA SNOW



In January 2015, Jenna Snow launched an independent historic preservation consulting practice with offices in Los Angeles. With twenty years of professional experience, Ms. Snow has a strong and broad understanding of best historic preservation practice, including federal, state, and local regulations. Throughout her career, Ms. Snow has authored, co-authored, and/or served as project manager for nearly 125 historic preservation projects, including a wide variety of historic resource assessments, National Register, California Register, and local nominations, as well as historic resources surveys. She regularly contributes to environmental impact reports, historic preservation certification applications, Section 106 reviews and other work associated with historic building rehabilitation and preservation planning.

EDUCATION

Columbia University in the City of New York, Master of Science in Historic Preservation, 2002

Brandeis University, Bachelor of Arts in Fine Arts, 1998

QUALIFICATIONS

Secretary of the Interior's Professional Qualifications Standards in Architectural History

AWARDS

Research Fellowship, Friends of Residential Treasures: Los Angeles (FORT:LA), June 2020-March 2023

Rosalind W. Levine Prize for excellence in Fine Arts, June 1998

COMMUNITY INVOLVEMENT

Secretary, South Carthay Historic Preservation Overlay Zone Board, 2011-2016

Pick Leader, Food Forward, 2011-2016

Los Angeles Conservancy ModCom Working Group, 2013-2014

Guest Editor, *The Next American City*, Fall 2006, Issue 12

New Orleans recovery team from Western Regional Office of the National Trust for Historic Preservation, February 2006

PROFESSIONAL EXPERIENCE

Jenna Snow, Historic Preservation Consulting, January 2015-present

Chattel, Inc., Los Angeles, CA, July 2002 – December 2014

International Council on Monuments and Sites, Transylvania Trust Foundation, Cluj-Napoca, Romania, Fall 2004

Neighborhood Preservation Center, New York, NY, Spring 2002

New York City Department of Design and Construction, Historic Preservation Office, New York, NY, Summer 2001

The Freedom Trail Foundation, Boston, MA, January 1999 - October 1999

SELECTED PROJECTS

Temple Ohave Israel (Brownsville, PA) – Prepared a National Register nomination for a 1919 synagogue located in a small, economically depressed town of western Pennsylvania. The synagogue, significant as an anchor for the small, but influential Jewish community of Brownsville, PA, was listed in the National Register in February 2016. Listing in the National Register makes the property eligible for state grants to maintain the building, including replacement of a much needed roof.

Hawk House (Los Angeles, CA) – Prepared a successful Historic Cultural Monument nomination for a 1939 single family residential house designed by renown Los Angeles architect Harwell Hamilton Harris for Stan and Ethyl Hawk. The house served as the headquarters for the furnishing company “Hawk House.”

Chuey House (Los Angeles, CA) - Prepared a Historic-Cultural Monument nomination for a single family residence designed by one of the most influential Los Angeles architects, Richard Neutra, in 1956. As the property was for sale, the house was threatened with demolition. While the nomination was ultimately withdrawn, it served as a negotiation tool for the Los Angeles Conservancy.

Bank of America, Chinatown Branch (Los Angeles, CA) - Prepared a successful Historic Cultural Monument nomination for a 1971 bank branch located in Los Angeles' Chinatown, designed by Chinese American architects Gilbert Leong and Richard Layne Thom. The first national bank to open a branch in Chinatown, the building underscored the growth and preeminence of the local Chinese community during an important period in its history.

Monday Women's Club (Los Angeles, CA) - Prepared a historic resource assessment for a black women's club in the Venice neighborhood. Moved to the site in 1926, the building on the property was proposed for demolition. Worked with the project team on a focused EIR that studied alternatives.

Additional Projects:

Commodore Apartments (Los Angeles, CA) - Process Investment Tax Credit application for a 1926 Hollywood apartment building that completed a major rehabilitation project. The rehabilitation carefully restored the primary façade, which had experienced multiple alterations over the years.

West Los Angeles Veteran's Affairs Building 205 and Building 208 (Los Angeles, CA) - Process Investment Tax Credit application and Section 106 review for two buildings out-leased to a nonprofit developer. The two buildings will be rehabilitated to house homeless veterans. Work completed in 2023.

1505 Crest Drive (Manhattan Beach, CA) - Prepared a successful local Landmark nomination for a 1964 A-frame residence. The house was the second local Landmark in Manhattan Beach and reflects the city's growth in the post-World War II era and its beach culture.

Leone's Castle (San Pedro, CA) - Prepared a successful Historic Cultural Monument nomination for an exuberant Chateausque style 1936 apartment house. The 4-flat apartment house was designed by prominent architect Saul H. Brown for Leone Redding.

West Los Angeles Veteran's Affairs (Los Angeles, CA) – Between 2010 and 2014, prepared Section 106 review and consultation for the first of 11 buildings that are undergoing seismic retrofit and limited rehabilitation. The buildings was reused to house veterans who are homeless. The rehabilitation won a Los Angeles Conservancy award. Also prepared a successful National Register nomination for the whole campus, which was listed in November 2014. Work was done at Chattel, Inc.

Breed Street Shul Project, Inc. (Los Angeles, CA) – Project Manager for Phase 1 seismic stabilization and stained glass window restoration. Provided design review and construction monitoring and prepared historic review documentation for local environmental review. Consulted with federal agencies on Section 106 compliance for a FEMA grant and a federal appropriation. Work was done at Chattel, Inc.

Boyle Hotel/Cummings Block (Los Angeles, CA) – Completed Investment Tax Credit Application and National Register nomination for 1898 hotel in Boyle Heights neighborhood of Los Angeles. The building has been reused to house low-income residents of Boyle Heights and has been a catalyst for economic rehabilitation in the neighborhood. The rehabilitation won a Los Angeles Conservancy award, as well as a National Preservation Honor Award. Work was done at Chattel, Inc.

Judson Rives Building (Los Angeles, CA)– Completed Investment Tax Credit Application for a 1908 office building in downtown Los Angeles, a contributing resource to the Broadway Historic District that was converted to residential use. Work was done at Chattel, Inc.

Hollywood Profession Building (Los Angeles, CA) - Completed Investment Tax Credit Application for a 1926 office building on Hollywood Boulevard. The building is significant not only for its distinctive Neo-Gothic style, but also with for its association with former United States President Ronald Reagan. The office building was converted to residential use. Work was done for Chattel, Inc.

Historic Resources Survey Update (Los Angeles, CA) - Served as the project manager for preparation of historic context statements and intensive-level historic resource survey. The survey were prepared in close coordination with the Los Angeles Office of Historic Resources to dovetail into SurveyLA. Surveyed approximately 3,000 properties, including property-specific research on approximately 400 of these properties. Attended several public hearings at both the beginning and end of the process, as well as presented at nearly a dozen neighborhood council meetings. Work was done with Chattel, Inc.

Residential Survey (Whittier, CA) - Prepared a historic context statement focusing on architectural contexts and themes connected with residential development in Whittier. Feld surveyed approximately 1,540 properties generally constructed prior to 1941 using an Access database incorporating GIS mapping to collect survey data in the field. The survey was prepared in close coordination with the City of Whittier staff and Historic Resources Commission and was adopted by the City of Whittier in 2015. Work was done with Chattel, Inc.

SurveyLA City of Los Angeles (Office of Historic Resources) – Participated in completing a historic resource survey of over 97,000 properties in South and Southeast Los Angeles. Co-authored historic context statement of Los Angeles' industrial history. Work was done at Chattel, Inc.