



Initial Study

County of Ventura • Resource Management Agency

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Initial Study for Coastal Planned Development (PD Permit) Finnegan Accessory Dwelling Unit

Section A – Project Description

1. **Project Case Number:** Coastal Planned Development (PD) Permit Case No. PL20-0057
2. **Name of Applicant:** Timothy and Susan Finnegan
3. **Project Location and Assessor's Parcel Number (Attachment 1):** The 0.16-acre property [7,164 square feet (sq. ft.)] is located at 8077 Buena Fortuna Street in the community of Rincon Point Beach, in the unincorporated area of Ventura County. The Assessor's Parcel Number is 008-0-170-410.
4. **Existing General Plan Land Use Designation and Zoning Designation of the Project Site (Attachment 2):**
 - a. **General Plan Land Use Designation:** Low Density Residential
 - b. **Coastal Area Plan Land Use Designation:** Residential Medium 2.1 – 6 du/ac (dwelling units per acre)
 - c. **Zoning Designation:** CR1-7,000 sq. ft. (Coastal Single-Family Residential, 7,000 square feet minimum lot size)
5. **Description of the Environmental Setting:** The property is located in the Rincon Point residential gated community, approximately 106 feet south of U.S. Route 101 and approximately 316 feet north of the Pacific Ocean. The Rincon Point residential community was created by Parcel Map No. 62 MR 30, recorded on December 29, 1972. The subject property abuts the Rincon Beach public parking area, owned by the State of California Department of Parks and Recreation. Rincon Creek, considered an environmentally sensitive habitat area (ESHA), is located approximately 775 feet west of the project site. There is also an approximately 5 foot difference in grade from the rear of the property to the front of the property (north to south) [RMA GIS; July 2021]. The Rincon Point residential community was connected to public sewer in 2010 with the approval of Coastal PD Permit (Case No. LU10-0001), the portion of the Carpinteria Sanitary District's South Coast Beach Communities Septic to Sewer Project located in Ventura County, which also included lateral connections from the house to the sewer main.

The subject property includes an existing two-story single-family dwelling, which was built in June 1978 and authorized by Zoning Clearance No. ZC 31758. Additions to the dwelling were completed between 1994 and 2009, and included: (1) a second story addition to the existing single-family dwelling (Zoning Clearance No. ZC 74148); (2) a change in the roof pitch (Building Permit No. B07-000687 (ZC No. 07-1157 & ZC No. 08-1011)); (3) addition of a trellis, deck, installation of a parapet wall, and a new garage door, and window replacements (Building Permit No. B08-000758); and, (4) installation of a new gable roof (Building Permit No. B09-000152). According to the Ventura County Assessor Records, the residence is 3,627.5 square feet in size.

6. **Project Description:** The Applicant requests a Coastal Planned Development (PD) Permit be authorized for the construction of a 338 sq. ft. one-story accessory dwelling unit (ADU) on the subject property. The dwelling unit will be attached to the rear of the existing single-family dwelling and be setback 15 feet from the rear property line and 5 feet from the side property line. The dwelling unit is proposed at 13 feet in height and includes a kitchen, bathroom, and a bedroom. There will not be any interior access from the proposed ADU to the existing single-family dwelling (Attachment 3).

The California Department of Housing and Community Development does not require a designated parking space for ADU's¹. Water will be provided by the Casitas Municipal Water District (Casitas Will Serve Letter, dated June 16, 2020) and the ADU will connect to the existing sewer line located on Buena Fortuna Street and operated by the Carpinteria Sanitation District (Carpinteria Can and Will Serve letter, dated November 15, 2019). No native vegetation and no grading is proposed with the exception of removal and recompaction for the proposed pad.

7. **List of Responsible and Trustee Agencies:** California Coastal Commission, California Fish and Wildlife Service, Native American Heritage Commission
8. **Methodology for Evaluating Cumulative Impacts:** Pursuant to the California Environmental Quality Act (CEQA) Guidelines [§ 15064(h)(1)], this Initial Study evaluates the cumulative impacts of the project, by considering the incremental effects of the proposed ADU in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects within a 5-mile radius of the proposed project. The projects listed in Table 1 (Ventura County Unincorporated Area projects) are included in the evaluation of the cumulative impacts of the project, due to their proximity to the proposed project site and potential to contribute to environmental effects of the proposed ADU. Attachment 4 (Pending and Recently Approved Projects Ventura County

¹ https://www.hcd.ca.gov/policy-research/docs/adu_december_2020_handbook.pdf

Unincorporated Area) of this initial study includes a map of pending and recently approved projects within the Ventura County Unincorporated Area.

Table 1 – List of Pending and Approved County Projects within 5-Mile Radius

Case No.	Use	Status
PL17-0153	Coastal Planned Development (PD) Permit for re-opening of a gas station located at 6905 Surfside Drive.	Pending
PL18-0047	Master Conditional Use Permit (CUP) site plan adjustment for various emergency communications facilities for Ventura County IT Services: LU07-0075, LU07-0091, LU06-0140, LU07-0079, LU07-0080, LU07-0092, LU07-0081, and LU07-0093. The modification is related to a time extension for equipment on towers only.	Pending
PL18-0108	Request for a new Conditional Use Permit (CUP) to replace expired CUP No, 2596 to authorize continued operation of a commercial squab ranch for a period of 20 years. The granting of the CUP will authorize more than the total animal units (15,000 squab birds raised and shipped off site for processing) allowed under Section 8107-2.5.2 of Ventura County Non-Coastal Zoning Ordinance.	Pending
PL19-0073	Coastal PD Permit for a new 1,296 sq. ft. manufactured home with 768 sq. ft. detached garage.	Approved
PL20-0054	Site Plan Adjustment to Coastal PD Permit No. PL17-0009 for the demolition of an existing 1,853 square-foot two-story, single-family dwelling with 496 square-foot attached garage, and the construction of a new 2,935 square-foot three-story, single-family dwelling with an attached 450 square feet two-car garage, a 1,112 square-foot first-floor deck.	Approved
PL20-0070	Zone change and Land Conservation Act (LCA) Contract application for Paradise Ranch. APNs: 008-0-140-105, 008-0-150-025, 008-0-180-735, and 008-0-180-725	Approved
PL20-0071	Zone change and LCA Contract application for Casitas Pass. APNs: 008-0-200-015, 008-0-200-055, and 008-0-200-095.	Pending

Section B – Initial Study Checklist and Discussion of Responses²

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
RESOURCES:								
1. Air Quality (VCAPCD)								
Will the proposed project:								
a) Exceed any of the thresholds set forth in the air quality assessment guidelines as adopted and periodically updated by the Ventura County Air Pollution Control District (VCAPCD), or be inconsistent with the Air Quality Management Plan?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 1 of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

1a. Based on information provided by the Applicant, regional air quality impacts will be below the 25 pounds per day significance threshold for reactive organic compounds (ROC) and oxides of nitrogen (NOx) for the Ventura Non-Growth Area, as described in the Ventura County Air Quality Assessment Guidelines (AQAGs). The determination was based on information provided by the Applicant and the CalEEMod air emissions modeling program (Version 2016.3.2), which calculated proposed operational emissions at 0.03 pounds per day of reactive organic compounds (ROC) and 0.07 pounds per day of nitrous oxides (NOx). The emissions calculated are based on a single-dwelling unit (land use) to calculate emissions from heating (kitchen and dwelling unit), water and wastewater usage for a 338 sq. ft. dwelling. Mobile emissions were also estimated using these default trip settings for the designated land use found in the air emissions model.

The construction emissions resulting from the proposed project are temporary, short-term, and not counted towards the significance threshold amounts as they would not contribute to the regional impact (AQAG, Section 5.2). In any case, they were estimated at 0.86 pounds per day of ROC and 8.6 pounds per day of NOx, not including any site

² The threshold criteria in this Initial Study are derived from the *Ventura County Initial Study Assessment Guidelines* (April 26, 2011). For additional information on the threshold criteria (e.g., definitions of issues and technical terms, and the methodology for analyzing each impact), please see the *Ventura County Initial Study Assessment Guidelines*.

preparation, grading, or paving-related emissions. Because the operational emissions are less than what is considered a daily significant air quality impact, the proposed project will have less-than-significant project-specific and cumulative impacts on regional air quality.

Local air quality impacts for the review of discretionary projects may involve a qualitative analysis for project-generated emissions of dust, odors, carbon monoxide, and toxics, if applicable, that can affect the health and safety of any nearby sensitive receptors. Sensitive receptors are considered the young, the elderly, and those susceptible to respiratory diseases, such as asthma and bronchitis. Sensitive receptors can be found in schools, playgrounds, hospitals, and elderly care facilities. Residential areas can also be considered sensitive receptors, as some residents may reside in their homes for long periods of time.

The proposed project is residential in nature and is located on an existing residential lot that is partially paved and is surrounded by vegetative barriers that would also help control fugitive dust, particularly during the construction period. In addition, the project site is located near the Pacific Ocean where air emissions are quickly dispersed either south towards the Pacific Ocean or north towards U.S. Route 101 by wind activity. However, high wind conditions may cause fugitive dust generated from temporary operations (construction) to blow in the direction of residential communities to the east or west of project site. To ensure that dust and particulate matter that may result from construction activities are minimized to the greatest extent feasible, the Applicant will be subject to a standard condition of approval that will requires the following: (1) watering the area to be graded or excavated before commencement of the construction work; (2) watering unpaved roads, unpaved parking areas or staging areas, and active portions of the construction site to reduce fugitive dust; and, (3) limiting on-site traffic to 15 miles per hour or less. With the implementation of this condition of approval, project-specific and cumulative impacts related to local air quality will be less than significant.

1b. The project is consistent with the applicable *2040 General Plan Policies* for Item 1 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
2A. Water Resources – Groundwater Quantity (WPD)								
Will the proposed project:								

1) Directly or indirectly decrease, either individually or cumulatively, the net quantity of groundwater in a groundwater basin that is overdrafted or create an overdrafted groundwater basin?		X				X		
2) In groundwater basins that are not overdrafted, or are not in hydrologic continuity with an overdrafted basin, result in net groundwater extraction that will individually or cumulatively cause overdrafted basin(s)?		X				X		
3) In areas where the groundwater basin and/or hydrologic unit condition is not well known or documented and there is evidence of overdraft based upon declining water levels in a well or wells, propose any net increase in groundwater extraction from that groundwater basin and/or hydrologic unit?		X				X		
4) Regardless of items 1-3 above, result in 1.0 acre-feet, or less, of net annual increase in groundwater extraction?		X				X		
5) Be consistent with the applicable General Plan Goals and Policies for Item 2A of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

2A-1 through 2A-4. The project site is not located in an overdrafted basin and does not overlie any known groundwater basin. Thus, there will not be any impact on the net quantity of groundwater in an overdrafted groundwater basin, and the proposed project will not cause hydrologic continuity with an overdrafted basin.

The subject property is located approximately 316 feet north of the Pacific Ocean. The property lies within the service area of the (“CMWD”); however, CMWD administers water through a distribution agreement with Carpinteria Valley Water District (CVWD). CMWD obtains their water from a combination of groundwater (from wells outside of Ventura County) and imported from the State Water Project. A Will Serve Letter dated June 16, 2020 from Casitas indicates that the project site has an existing Stage 1 allocation of 0.54 acre feet per year (AFY) and the site has remaining additional allocation based on recent historical consumption. Based upon criteria from the Ventura

County Waterworks Manual, the new residential structure will have an estimated consumption of 0.22 AFY (for a total of 0.76 AFY). As a result, the proposed project will not result in an increase of 1.0 acre feet or more of net annual increase in groundwater extraction. To ensure that water demand does not exceed historical allocations, CMWD requires that new developments install water efficient plumbing devices.

In addition, with the exception of recompaction activities for a proposed structural pad, no vegetation or grading is proposed that would increase water demand.

Thus, the proposed project will not result in net increase in groundwater extraction from a groundwater basin and/or hydrologic unit that is not well known or documented. Project-specific and cumulative impacts related to groundwater quantity are less than significant.

2A-5. The project is consistent with the applicable *2040 General Plan Policies* for Item 2A of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
2B. Water Resources - Groundwater Quality (WPD)								
Will the proposed project:								
1) Individually or cumulatively degrade the quality of groundwater and cause groundwater to exceed groundwater quality objectives set by the Basin Plan?		X				X		
2) Cause the quality of groundwater to fail to meet the groundwater quality objectives set by the Basin Plan?		X				X		
3) Propose the use of groundwater in any capacity and be located within two miles of the boundary of a former or current test site for rocket engines?		X				X		

4) Be consistent with the applicable General Plan Goals and Policies for Item 2B of the Initial Study Assessment Guidelines?		X				X		
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Impact Discussion:

2B-1 and 2B-2. The subject property is provided sanitary sewer service by the Carpinteria Sanitary District. A Can & Will Serve letter dated November 15, 2019 was provided for the property confirming adequate capacity to serve the proposed ADU. With the confirmation of sewer service by Carpinteria, the proposed project will not cause the quality of groundwater to fail to meet the groundwater quality objectives set by the Basin Plan. Project-specific and cumulative impacts related to groundwater quality are less than significant.

2B-3. The proposed project is not located within two miles of the boundary of a former or current test site for rocket engines.

2B-4. The project is consistent with the applicable *2040 General Plan* Policies for Item 2B of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
2C. Water Resources - Surface Water Quantity (WPD)								
Will the proposed project:								
1) Increase surface water consumptive use (demand), either individually or cumulatively, in a fully appropriated stream reach as designated by SWRCB or where unappropriated surface water is unavailable?	X				X			

2) Increase surface water consumptive use (demand) including but not limited to diversion or dewatering downstream reaches, either individually or cumulatively, resulting in an adverse impact to one or more of the beneficial uses listed in the Basin Plan?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 2C of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

2C-1 and 2C-2. Surface water is not proposed to be used for this project. CMWD has provided a will serve letter (June 16, 2020) confirming water supply for the proposed project. CMWD obtains their water from a combination of groundwater (from wells outside of Ventura County) and imported from the State Water Project. As a result, there will not be any project-specific or cumulative impacts related to surface water quantity.

2C-3. The project is consistent with the applicable *2040 General Plan Policies* for Item 2C of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
2D. Water Resources - Surface Water Quality (WPD)								
Will the proposed project:								
1) Individually or cumulatively degrade the quality of surface water causing it to exceed water quality objectives as contained in Chapter 3 of the three Basin Plans?		X				X		

2) Directly or indirectly cause storm water quality to exceed water quality objectives or standards in the applicable MS4 Permit or any other NPDES Permits?		X				X		
3) Be consistent with the applicable General Plan Goals and Policies for Item 2D of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

2D-1 and 2D-2. The proposed project will not individually or cumulatively degrade the quality of surface water causing it to exceed water quality objectives as contained in Chapter 3 of the Los Angeles Basin Plan as applicable for this area. The proposed project is not expected to result in a violation of any surface water quality standards as defined in the Los Angeles Basin Plan.

Land disturbance from construction activities will be less than one acre. The project site is located within the County Urban Unincorporated Area but not within a High Risk Area. The proposed project will not directly or indirectly cause stormwater quality to exceed water quality objectives or standards in the applicable MS4 Permit or any other NPDES Permits. In accordance with the Ventura Countywide Municipal Stormwater NPDES Permit CAS004002, "Development Construction Program" Subpart 4.F, the Applicant will be required to include Best Management Practices (BMPs) designed to ensure compliance and implementation of an effective combination of erosion and sediment control measures for a disturbed site area less than 1 acre (Table 6 in Subpart 4.F, SW 1). As a result, project-specific and cumulative impacts related to surface water quality are less than significant.

2D-3. The project is consistent with the applicable *2040 General Plan Policies* for Item 2D of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
3A. Mineral Resources – Aggregate (Plng.)								
Will the proposed project:								

1) Be located on or immediately adjacent to land zoned Mineral Resource Protection (MRP) overlay zone, or adjacent to a principal access road for a site that is the subject of an existing aggregate Conditional Use Permit (CUP), and have the potential to hamper or preclude extraction of or access to the aggregate resources?	X				X				
2) Have a cumulative impact on aggregate resources if, when considered with other pending and recently approved projects in the area, the project hampers or precludes extraction or access to identified resources?					X				
3) Be consistent with the applicable General Plan Goals and Policies for Item 3A of the Initial Study Assessment Guidelines?	X				X				

Impact Discussion:

3A-1 and 3A-2. The project site is not located on or immediately adjacent to land classified as MRZ-2 (Mineral Resource Zone 2) (i.e., areas where adequate information indicates that significant mineral deposits are present or where it is judged that a high likelihood for their presence exists). The project site is not located adjacent to a principal access road for a site that is the subject of an existing aggregate extraction CUP. Thus, the proposed project does not have the potential to hamper or preclude extraction of or access to the aggregate resources. The proposed project will not have a cumulative impact on aggregate resources, when considered with other pending and recently approved projects in the area. As a result, there will not be any project-specific or cumulative impacts related to the extraction of or access to aggregate resources.

3A-3. The project is consistent with the applicable *2040 General Plan Policies* for Item 3A of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS

3B. Mineral Resources – Petroleum (PIng.)								
Will the proposed project:								
1) Be located on or immediately adjacent to any known petroleum resource area, or adjacent to a principal access road for a site that is the subject of an existing petroleum CUP, and have the potential to hamper or preclude access to petroleum resources?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 3B of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

3B-1. The proposed project site is not located on or adjacent to land located in an oil field or subject to an oil extraction CUP, and thus will not cause a significant impact with regard to the extraction of petroleum resources. There are no existing oil and gas CUPs located within 0.5 miles of the project site³. Likewise, the subject property is not located adjacent to a principal access road for a site that is the subject of an existing, active CUP for oil extraction and does not have the potential to disturb access to petroleum resources. Therefore, the proposed project will not have a project-specific impact to petroleum resources, and the proposed project will not make a cumulatively considerable contribution to a significant cumulative impact related to the extraction of or access to petroleum resources.

3B-2. The project is consistent with the applicable *2040 General Plan Policies* for Item 3B of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
4. Biological Resources								

³ CUP No. 1886, operated by Signal Oil and Gas expired in December 1964 and CUP No. 3187, operated by Tiger Oil Company expired in February 1971. These leases were located in the mountainous area above Bates Road and United States Route 101, more than 0.5 miles from the project site.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
4A. Species								
Will the proposed project, directly or indirectly:								
1) Impact one or more plant species by reducing the species' population, reducing the species' habitat, fragmenting its habitat, or restricting its reproductive capacity?		X				X		
2) Impact one or more animal species by reducing the species' population, reducing the species' habitat, fragmenting its habitat, or restricting its reproductive capacity?	X				X			

Impact Discussion:

4A-1. The subject property does not contain any special-status plant species; however, the white-veined monardella (*Monardella hypoleuca* A. Gray ssp. *Hypoleuca*), a perennial herb, has been mapped within 205 feet west of the property (RMA GIS, July 2021). The plant is classified in the California Native Plant Society Plant List, the California Natural Diversity Database, and the California Endangered Species Act as 1B.3 (Rare Plants About Which More Information is Needed - A Review List).⁴ The plant has a State Rank of vulnerable (S3) and Global Rank of G4T3 (Apparently Secure related to species or variety)⁵. There will not be any impacts to this herb as the area where the herb occurs is developed with existing single-family dwellings, and the project site is located more than 200 feet east of the mapped area. The trenching of utilities is not expected to encroach upon any protected trees. As a result, there will not be any project-specific or cumulative impacts related to special-status plant species.

4A-2. No special-status animal species were identified on or within the vicinity of the Rincon Point private community. Thus, there will not be any project-specific or cumulative impacts related to special-status animal species.

Mitigation/Residual Impact(s)

None.

⁴ <http://www.rareplants.cnps.org/glossary.html#lists>

⁵ <http://www.rareplants.cnps.org/glossary.html#globalrank>

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
4B. Ecological Communities - Sensitive Plant Communities								
Will the proposed project:								
1) Temporarily or permanently remove sensitive plant communities through construction, grading, clearing, or other activities?		X				X		
2) Result in indirect impacts from project operation at levels that will degrade the health of a sensitive plant community?		X				X		

Background:

Environmentally Sensitive Habitat Areas (ESHA) are sensitive ecological communities because they provide significant wildlife habitat and resources vital to many local wildlife species within primarily riparian and wetland habitats and closed-canopy oak woodlands. Rincon Creek is a riparian area located about 775 feet west of the project site.

Impact Discussion:

4B-1. No sensitive plant communities are located on the project site (RMA GIS, July 2021). As stated in Section 4A (above), the white-veined monardella (*Monardella hypoleuca* A. Gray ssp. *Hypoleuca*), a perennial herb, has been mapped within 205 feet west of the property (RMA GIS, July 2021). There will not be any impacts to this herb as the area where the herb occurs is developed with existing single-family dwellings, and the project site is located more than 200 feet east of the mapped area. As a result, there will not be any project-specific or cumulative impacts related to sensitive plant communities.

4B-2. There would not be any indirect impacts from project operation at levels that will degrade the health of a sensitive plant community. Existing single family dwellings and the proposed ADU are located more than 200 feet east of the project site. In addition, the nature of the proposed use, as a residence, is not expected to adversely impact the sensitive plant community.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
4C. Ecological Communities - Waters and Wetlands								
Will the proposed project:								
1) Cause any of the following activities within waters or wetlands: removal of vegetation; grading; obstruction or diversion of water flow; change in velocity, siltation, volume of flow, or runoff rate; placement of fill; placement of structures; construction of a road crossing; placement of culverts or other underground piping; or any disturbance of the substratum?		X				X		
2) Result in disruptions to wetland or riparian plant communities that will isolate or substantially interrupt contiguous habitats, block seed dispersal routes, or increase vulnerability of wetland species to exotic weed invasion or local extirpation?		X				X		
3) Interfere with ongoing maintenance of hydrological conditions in a water or wetland?		X				X		
4) Provide an adequate buffer for protecting the functions and values of existing waters or wetlands?		X				X		

Impact Discussion:

4C-1 through 4C-4. The subject property is located approximately 316 feet north of an identified wetland (Pacific Ocean). Existing dwellings west of the project site along Buena Fortuna and south of the project site along Puesta del Sol are located between the project site and the Pacific Ocean. Rincon Creek is also located about 775 feet west of the project site. Several existing dwellings are located between the creek and the project site. At this distance, the fact that the proposed ADU will remain entirely on the project site, and because there are existing dwellings located between the project site, Rincon Creek and the Pacific Ocean, there will not be any interference with ongoing maintenance of hydrological conditions in a water or wetland and there is an adequate

buffer for protecting the functions and values of existing waters or wetlands. As a result, project-specific and cumulative impacts related to waters and wetlands are considered less than significant.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
4D. Ecological Communities - ESHA (Applies to Coastal Zone Only)								
Will the proposed project:								
1) Temporarily or permanently remove ESHA or disturb ESHA buffers through construction, grading, clearing, or other activities and uses (ESHA buffers are within 100 feet of the boundary of ESHA as defined in Section 8172-1 of the Coastal Zoning Ordinance)?		X				X		
2) Result in indirect impacts from project operation at levels that will degrade the health of an ESHA?		X				X		

Impact Discussion:

4D-1 and 4D-2. The project site is located on developed land. Rincon Creek is located about 775 west of the project site, which is considered ESHA. (RMA GIS, July 2021). Based on the distance between the project site and Rincon Creek, the proposed project will not temporarily or permanently remove ESHA or disturb ESHA buffers through construction, grading, clearing, or other activities and uses, or result in indirect impacts that will degrade the health of an ESHA. As a result, project-specific and cumulative impacts related to ESHA is considered less than significant.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
4F. Will the proposed project be consistent with the applicable General Plan Goals and Policies for Item 4 of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

4F. In accordance with General Plan Policies COS-1.4 and COS-1.11, the location of the proposed ADU would not adversely impacts Rincon Creek or the Pacific Ocean as these water features are located more than 300 feet from the project site. Although the proposed ADU is not located in a mapped wildlife corridor, this initial study evaluated project impacts related to Rincon Creek, which could qualify as a wildlife movement corridor, and determined that project development will not result in removal of habitat within this designated movement corridor or the Santa Monica – Sierra Madre Habitat Connectivity Corridor as US Highway 101 acts as a significant barrier wildlife movement. However, based on the distance and the existing anthropogenic uses that interfere with unobstructed connectivity to the ocean, the proposed project will not create an additional adverse impact to wildlife movement.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
5A. Agricultural Resources – Soils (Plng.)								
Will the proposed project:								
1) Result in the direct and/or indirect loss of soils designated Prime, Statewide Importance, Unique or Local Importance, beyond the threshold amounts set forth in Section 5a.C of the Initial Study Assessment Guidelines?	X				X			
2) Involve a General Plan amendment that will result in the loss of agricultural soils?	X				X			

3) Be consistent with the applicable General Plan Goals and Policies for Item 5A of the Initial Study Assessment Guidelines?	X				X			
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Impact Discussion:

5A-1 and 5A-2. The project site has a soil classification of urban and built up land in the Ventura County Important Farmland Inventory (RMA GIS, July 2021). The proposed project will not result in the direct and/or indirect loss of soils designated Prime, Statewide Importance, Unique or Local Importance, and will not involve a General Plan amendment that will result in the loss of agricultural soils. As a result, there will not be any project-specific or cumulative impacts related to agricultural soils.

5A-3. The project is consistent with the applicable *2040 General Plan Policies* for Item 5 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
5B. Agricultural Resources - Land Use Incompatibility (AG.)								
Will the proposed project:								
1) If not defined as Agriculture or Agricultural Operations in the zoning ordinances, be closer than the threshold distances set forth in Section 5b.C of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 5b of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

5B-1. The proposed construction and use of an ADU on the project site is not considered an agricultural use. The nearest off-site agriculture is located approximately 700 feet north of the project site above Bates Road and U.S, Route 101. Based on this distance, the proposed project will not impact offsite agriculture or agricultural

operations. There will not be any project-specific or cumulative impacts related to agricultural land use incompatibility.

5B-2. The project is consistent with the applicable *2040 General Plan Policies* for Item 5 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
6. Scenic Resources (PIng.)								
Will the proposed project:								
a) Be located within an area that has a scenic resource that is visible from a public viewing location, and physically alter the scenic resource either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable future projects?		X				X		
b) Be located within an area that has a scenic resource that is visible from a public viewing location, and substantially obstruct, degrade, or obscure the scenic vista, either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable future projects?		X				X		
c) Be consistent with the applicable General Plan Goals and Policies for Item 6 of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

6a. The project site is located in the Rincon Point residential community just south of U.S. Route 101 and Bates Road. Access to the project site is made available from Bates Road and U.S. Route 101 (public roads). The project site is located within 0.5 miles of U.S. Route 101, an eligible scenic highway. Buena Fortuna Street, a private road within the Rincon Point Community, and provides direct access to the project site. The subject property, as viewed from these public vantage points (excluding Buena

Fortuna Street), would not be visible from the U.S. 101 based on the location of the existing developed community, which is setback about 106 feet south of the highway, and the topography of the site. The difference in elevation between the highway and the project site is approximately 130 feet. The existing vegetation buffer that spans the length of the parcels in the Rincon Point community and Rincon Beach parking area is approximately 64 feet wide. This vegetative buffer will completely screen the proposed ADU from public views.

The project site is located approximately 316 feet north of Rincon Beach. Based on the distance between these two locations and the fact that the 13-foot-high ADU would be located behind the existing main residence on the project site, the proposed ADU would not be visible from this public beach. As a result, project-specific and cumulative impacts related to scenic resources are less than significant.

6c. The project is consistent with the *Ventura County 2040 General Plan* for Item 6 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
7. Paleontological Resources								
Will the proposed project:								
a) For the area of the property that is disturbed by or during the construction of the proposed project, result in a direct or indirect impact to areas of paleontological significance?		X				X		
b) Contribute to the progressive loss of exposed rock in Ventura County that can be studied and prospected for fossil remains?		X				X		
c) Be consistent with the applicable General Plan Goals and Policies for Item 7 of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

7a. The subject property is located within the Rincon Point community and is characterized by four major topographic elements: 1) the coastal plain that extends to the west; 2) a gentle slope that descends to the east, likely cut by Rincon Creek in the Holocene era; 3) rolling sand dunes that extend southeast toward Rincon Point, which appear to be of recent origin; and, 4) the floodplain of Rincon Creek, which was a former estuary that has been filled in. The two predominant sediment types in the gated community are the Elder sandy loam, a dark grayish-brown soil that includes the cultural deposits and the sand dune formations. The area is developed with single-family homes and is landscaped⁶.

An Environmental Impact Report (EIR) was certified by the Carpinteria Sanitary District on September 19, 2006 for the Carpinteria Sanitary District septic to sewer project. The County of Ventura approved Coastal PD Permit (Case No. LU10-0001), for construction of the sewer main located in Ventura County on December 9, 2010. The EIR evaluated project impacts to paleontological resources and determined that impacts related to paleontological resources are less than significant.

Although it was unlikely that during ground disturbance activities for the sewer line installation (Case No. LU10-0001) within the Rincon Point community would create an adverse impact to paleontological resources, the Applicant was subject to a standard condition of approval that will ensure that, in the event that paleontological resources are encountered, grading shall cease and the property owner shall obtain the services of a paleontological consultant or professional geologist who shall assess the find and provide recommendations on the proper disposition of the site. The property owner shall obtain the Planning Director's written concurrence of the recommended disposition of the site before resuming construction activities and implement the agreed upon recommendations. This standard condition of approval will also be applied to the proposed project, as the EIR evaluated 73 parcels within the Rincon Point private community that would be provided sewer service, including the subject parcel, but not the proposed construction of the ADU. With the implementation of this standard condition of approval, project-specific and cumulative impacts related to paleontological resources are less than significant.

7c. The project is consistent with the *Ventura County 2040 General Plan* for Item 7 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

⁶ Carpinteria Sanitary District South Coast Communities Septic to Sewer Project Environmental Impact Report, Section 4.4, prepared by Padre Associates, Inc, SCH # 2003071115

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
8A. Cultural Resources – Archaeological								
Will the proposed project:								
1) Demolish or materially alter in an adverse manner those physical characteristics that account for the inclusion of the resource in a local register of historical resources pursuant to Section 5020.1(k) requirements of Section 5024.1(g) of the Public Resources Code?			X				X	
2) Demolish or materially alter in an adverse manner those physical characteristics of an archaeological resource that convey its archaeological significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for the purposes of CEQA?			X				X	
3) Be consistent with the applicable General Plan Goals and Policies for Item 8A of the Initial Study Assessment Guidelines?			X				X	

Impact Discussion:

8A-1 through 8A-2. The EIR that was certified in 2010 for the Carpinteria Sanitary District’s South Coast Beach Communities Septic to Sewer Project. The EIR evaluated project impacts to cultural resources and determined that potentially significant, but mitigable, impacts to archeological resources of the Chumash Native American group, and specifically the Barbareño faction, would occur as a result of the proposed project.

On August 27, 1999, an archival record search was conducted at the South Central Coast Information Center (SCCIC) and on September 1, 1999 at the Central Coast Information Center (CCIC) by Conejo Archaeological Consultants for the Rincon Point Community project area of potential effect (APE). Several prehistoric archaeological sites were identified within the Rincon Point area including three sites within the Rincon Point Community and Rincon Beach County Park.

Four separate cultural resource evaluations were also prepared for the Carpinteria’s Sanitary District’s South Coast Beach Communities Septic to Sewer Project. These evaluations included: (1) two Phase I Archaeological Survey Reports prepared by

Conejo Archaeological Consultants; (2) a Phase I Archaeological Survey Report prepared by Padre Associates, Inc.; and, (3) an Extended Phase I Archaeological Investigation and Phase II Archaeological Significance Assessment conducted by Science Applications International Corporation (SAIC).

The Native American Heritage Commission also conducted a records search of the sacred lands file to determine the presence of any such lands within the EIR project area. In a letter dated May 12, 2003, the Native American Heritage Commission reported the results of the records search as negative for the presence of listed sites.

Native American representative, Diane Napoleone of DNA Consultants, was contacted as part of the EIR review process. Ms. Napoleone stated that there are burials at two of the archaeological sites, and as a result this site is considered a sacred site.

A field reconnaissance was conducted as part of the EIR process and found that the ground surface throughout the Rincon Point community had been disturbed to varying degrees by past agricultural activity, construction of the existing roads and homes, landscaping, and trenching for installation of utilities. However, as shown by previous archaeological investigations, intact cultural deposits have been found throughout the Rincon Point area. Therefore, the EIR concluded a strong possibility that buried intact archaeological deposits and possibly even burials exist within the gated community at Rincon Point.

Due to the sensitivity of the surrounding area and disturbance of potentially significant subsurface deposits associated with a known archaeological site, the EIR required that a Native American monitor and qualified archeologist be present to monitor all subsurface grading, trenching, or construction activities.⁷ As the proposed project would be located in an area to include cultural resources and human remains, this mitigation measure will be applied to the proposed project to reduce potentially significant impacts to a less than significant level (refer to Mitigation Measure CUL-1 below).

To ensure that the integrity of this culturally sensitive area remains intact, the Applicant will also be subject to the following condition of approval for the proposed project: (1) at the commencement of project construction, a qualified archaeologist shall provide a cultural resources orientation to the construction crew to familiarize the crew with the types of prehistoric and/or historic resources that might be exposed during construction, their significance and importance to the Native American community, and the necessity for preserving those resources, the importance of not removing archaeological artifacts or allowing others to do so and the steps to be taken in the event that such a find is encountered; and, (2) all trenching shall be conducted using a toothless backhoe. No trenching machines shall be allowed in the area where the ADU will be located.

⁷ Mitigation Measures CUL-3 of LU10-0001

8A-3. The project is consistent with the applicable *2040 Ventura County General Plan* Policies for Item 8 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

Mitigation Measure CUL-1: Archaeological Resources

Purpose: To avoid significant impacts to archeological resources that may exist on the subject property.

Requirement: The Permittee shall retain a Qualified Archaeologist and Native American monitor, qualified by both Santa Barbara and Ventura Counties, to monitor all subsurface grading, trenching, or construction activities on the Project site.

Documentation: The Qualified Archaeologist and Native American monitors shall provide a monthly report to the Planning Division summarizing the activities during the reporting period. If no archaeological resources are discovered, the Qualified Archaeologist in consultation with the Native American monitor shall submit a brief letter to the Planning Division, stating that no archaeological resources were discovered and that the monitoring activities have been completed.

Timing: Prior to the issuance of the Zoning Clearance for construction, the Applicant shall provide documentation that a qualified Native American monitor and Archeologist have been hired. The Qualified Archaeologist and Native American monitors shall monitor the Project site during all ground disturbing activities including subsurface grading and trenching. The Qualified Archaeologist in consultation with the Native American monitor shall provide the reports monthly during all ground disturbing activities including subsurface grading and trenching.

Monitoring and Reporting: The Planning Division reviews the monitoring reports and maintains the monitoring reports in the Project file. The Qualified Archaeologist and Native American monitors shall monitor the Project site during all ground disturbing activities including subsurface grading and trenching. The Planning Division has the authority to conduct site inspections to ensure that the monitoring activities occur in compliance with this condition, consistent with the requirements of § 8178-7.7.5(b)(2) of the Ventura County Coastal Zoning Ordinance.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
8B. Cultural Resources – Historic (PIng.)								
Will the proposed project:								

1) Demolish or materially alter in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources?		X				X		
2) Demolish or materially alter in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to Section 5020.1(k) of the Public Resources Code or its identification in a historical resources survey meeting the requirements of Section 5024.1(g) of the Public Resources Code?		X				X		
3) Demolish or materially alter in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA?		X				X		
4) Demolish, relocate, or alter an historical resource such that the significance of the historical resource will be impaired [Public Resources Code, Sec. 5020(q)]?		X				X		

Impact Discussion:

8B-1 through 8B-4. According to RMA GIS data (July 2021), the project site does not include any historic resources. There are also no historic resources located within 0.5 miles of the project site. However, the EIR determined that impacts to culturally sensitive prehistoric resources would result from the installation of the sewer lines in the Rincon Point community. As discussed in Section 8A above, to ensure that the integrity of this culturally sensitive area remains intact, the Applicant will be subject to the following condition of approval for the proposed project: (1) at the commencement of project construction, a qualified archaeologist shall provide a cultural resources orientation to the construction crew to familiarize the crew with the types of prehistoric and/or historic resources that might be exposed during construction, their significance and importance to the Native American community, and the necessity for preserving those resources, the importance of not removing archaeological artifacts or allowing others to do so and the steps to be taken in the event that such a find is encountered; and, (2) all trenching shall be conducted using a toothless backhoe. No trenching

machines shall be allowed in the area where the ADU will be located. With the implementation of this condition of approval on the proposed project, project-specific and cumulative impacts related to historic resources would be less than significant.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
9. Coastal Beaches and Sand Dunes								
Will the proposed project:								
a) Cause a direct or indirect adverse physical change to a coastal beach or sand dune, which is inconsistent with any of the coastal beaches and coastal sand dunes policies of the California Coastal Act, corresponding Coastal Act regulations, Ventura County Coastal Area Plan, or the Ventura County General Plan Goals, Policies and Programs?	X				X			
b) When considered together with one or more recently approved, current, and reasonably foreseeable probable future projects, result in a direct or indirect, adverse physical change to a coastal beach or sand dune?					X			
c) Be consistent with the applicable General Plan Goals and Policies for Item 9 of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

9a and 9b. The project site is located approximately 316 feet north from the coastal beach at Rincon Point. At this distance, the proposed project will not adversely impact coastal beaches or sand dunes. As a result, there will not be any project-specific or cumulative impacts related to coastal beaches and sand dunes.

9c. The project is consistent with the applicable *2040 General Plan Policies* for Item 9 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
10. Fault Rupture Hazard (PWA)								
Will the proposed project:								
a) Be at risk with respect to fault rupture in its location within a State of California designated Alquist-Priolo Special Fault Study Zone?	X							
b) Be at risk with respect to fault rupture in its location within a County of Ventura designated Fault Hazard Area?	X							
c) Be consistent with the applicable General Plan Goals and Policies for Item 10 of the Initial Study Assessment Guidelines?	X				X			

Any discussion of potential impacts of seismic and geologic hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

Impact Discussion:

10a and 10b. There are no known active or potentially active faults extending through the proposed project site based on the State of California Earthquake Fault Zones in accordance with the Alquist-Priolo Earthquake Fault Zoning Act, and Ventura County 2040 General Plan Policy Haz-4.1. Thus, no future habitable structures would be proposed within 50 feet of a mapped trace of an active fault. The proposed project will not have any project-specific or cumulative impact related to potential fault rupture hazard.

10c. The project is consistent with the *Ventura County 2040 General Plan* for Item 10 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
11. Ground Shaking Hazard (PWA)								
Will the proposed project:								
a) Be built in accordance with all applicable requirements of the Ventura County Building Code?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 11 of the Initial Study Assessment Guidelines?		X				X		

Any discussion of potential impacts of seismic and geologic hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

Impact Discussion:

11a. The property will be subject to moderate to strong ground shaking from seismic events on local and regional fault systems. The County of Ventura Building Code adopted from the California Building Code, dated 2019, Chapter 16, Section 1613, requires structures be designed to withstand this ground shaking. The seismic design of the ADU will need to be updated to the building code in effect at the time the application for a building permit is submitted for the ADU. The requirements of the building code will reduce project-specific and cumulative impacts from the effects of ground shaking to less than significant.

11b. The project is consistent with the *Ventura County 2040 General Plan Policies* for Item 11 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
12. Liquefaction Hazards (PWA)								

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
Will the proposed project:								
a) Expose people or structures to potential adverse effects, including the risk of loss, injury, or death involving liquefaction because it is located within a Seismic Hazards Zone?	X							
b) Be consistent with the applicable General Plan Goals and Policies for Item 12 of the Initial Study Assessment Guidelines?	X				X			

Any discussion of potential impacts of seismic and geologic hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

Impact Discussion:

12a. The project site is not located within a potential liquefaction zone based on the State of California Seismic Hazards Maps for the County of Ventura.⁸ This map is used as the basis for delineating the potential liquefaction hazards within the County. There will not be any project-specific or cumulative impacts related to liquefaction hazards as a result of the proposed project.

12b. The project is consistent with the *Ventura County 2040 General Plan* for Item 12 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
13. Seiche and Tsunami Hazards (PWA)								

⁸ <https://www.conservation.ca.gov/cgs/maps-data>

Will the proposed project:									
a) Be located within about 10 to 20 feet of vertical elevation from an enclosed body of water such as a lake or reservoir?	X								
b) Be located in a mapped area of tsunami hazard as shown on the County General Plan maps?		X							
c) Be consistent with the applicable General Plan Goals and Policies for Item 13 of the Initial Study Assessment Guidelines?		X					X		

Any discussion of potential impacts of seismic and geologic hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

Impact Discussion:

13a. The project site is not located adjacent to a closed or restricted body of water based on aerial imagery review (RMA GIS, July 2021) and is not subject to seiche hazard. There will not be any project-specific or cumulative impacts related to seiche hazard.

13b. The project site is mapped within a tsunami inundation zone based on the Tsunami Inundation Map for Emergency Planning for the State of California County of Ventura, dated February 15, 2009.⁹ The threat to life can be practically eliminated by an effective early warning system. The threat to structures remains, but because of the very low probability of a major tsunamis occurring in Ventura County, the potential hazard of tsunamis inundation is an accepted risk for development near the coastline, and it is not reasonable to prohibit development near the coastline. As a result, project-specific and cumulative impacts related to tsunami hazards are less than significant.

13c. The project is consistent with the *Ventura County 2040 General Plan* for Item 13 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

⁹
https://www.conservation.ca.gov/cgs/Documents/Tsunami/Maps/Tsunami_Inundation_Oxnard_Quad_Ventura.pdf

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
14. Landslide/Mudflow Hazard (PWA)								
Will the proposed project:								
a) Result in a landslide/mudflow hazard, as determined by the Public Works Agency Certified Engineering Geologist, based on the location of the site or project within, or outside of mapped landslides, potential earthquake induced landslide zones, and geomorphology of hillside terrain?	X							
b) Be consistent with the applicable General Plan Goals and Policies for Item 14 of the Initial Study Assessment Guidelines?	X				X			

Any discussion of potential impacts of seismic and geologic hazards to the proposed project is provided for Informational purposes only and is neither required by CEQA nor subject to its requirements.

Impact Discussion:

14a. Based on an analysis conducted by the California Geological Survey as part of the California Seismic Hazards Mapping Act of 1991 and Public Resources Code Sections 2690-2699.6, the project site is not located in a mapped landslide, or hillside area, and is not located in a potential seismically induced landslide zone. In addition, the project will not require any excavations into a hillside. As a result, there will not be any project-specific or cumulative impacts related to landslide/mudslide hazard.

14b. The project is consistent with the *Ventura County 2040 General* for Item 14 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
15. Expansive Soils Hazards (PWA)								

Will the proposed project:								
a) Expose people or structures to potential adverse effects, including the risk of loss, injury, or death involving soil expansion because it is located within a soils expansive hazard zone or where soils with an expansion index greater than 20 are present?		X						
b) Be consistent with the applicable General Plan Goals and Policies for Item 15 of the Initial Study Assessment Guidelines?		X				X		

Any discussion of potential impacts of seismic and geologic hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

Impact Discussion:

15a. Development of the project site will be subject to the requirements of the County of Ventura Building Code (2019), adopted from the California Building Code, in effect at the time of development of the proposed project. The present Building Code (Section 1808.6) requires mitigation of potential adverse effects of expansive soils. Thus, project-specific impacts and cumulative impacts related to expansive soils are less than significant.

15b. The project is consistent with the *Ventura County 2040 General Plan* for Item 15 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
16. Subsidence Hazard (PWA)								
Will the proposed project:								

a) Expose people or structures to potential adverse effects, including the risk of loss, injury, or death involving subsidence because it is located within a subsidence hazard zone?	X							
b) Be consistent with the applicable General Plan Goals and Policies for Item 16 of the Initial Study Assessment Guidelines?	X				X			

Any discussion of potential impacts of seismic and geologic hazards to the proposed project is provided for informational purposes only and is neither required by CEQA nor subject to its requirements.

Impact Discussion:

16a. The project site is not located within the probable subsidence hazard zone as delineated on the United States Geological Survey Areas of Land Subsidence in California Map (December 7, 2018).¹⁰ As the proposed project does not include any new oil, gas, or groundwater withdrawal, and the project site is not located within a probable subsidence hazard zone, there will not be any project-specific or cumulative impacts related to subsidence hazards.

16b. The project is consistent with the *Ventura County 2040 General Plan* for Item 16 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
17a. Hydraulic Hazards – Non-FEMA (PWA)								
Will the proposed project:								

¹⁰ https://ca.water.usgs.gov/land_subsidence/california-subsidence-areas.html

<p>1) Result in a potential erosion/siltation hazard and flooding hazard pursuant to any of the following documents (individually, collectively, or in combination with one another):</p> <ul style="list-style-type: none"> • 2007 Ventura County Building Code Ordinance No.4369 • Ventura County Land Development Manual • Ventura County Subdivision Ordinance • Ventura County Coastal Zoning Ordinance • Ventura County Non-Coastal Zoning Ordinance • Ventura County Standard Land Development Specifications • Ventura County Road Standards • Ventura County Watershed Protection District Hydrology Manual • County of Ventura Stormwater Quality Ordinance, Ordinance No. 4142 • Ventura County Hillside Erosion Control Ordinance, Ordinance No. 3539 and Ordinance No. 3683 • Ventura County Municipal Storm Water NPDES Permit • State General Construction Permit • State General Industrial Permit • National Pollutant Discharge Elimination System (NPDES)? 		X				X		
<p>2) Be consistent with the applicable General Plan Goals and Policies for Item 17A of the Initial Study Assessment Guidelines?</p>		X				X		

Impact Discussion:

17A-1. The net impervious area of the proposed project is approximately 400 sq. ft. of the 7,164 sq. ft. lot. The proposed project will be subject to the requirements of the Grading Ordinance (Ventura County Building Code 2020, Appendix J) and Uniform Building Code (ICC 2018). The small increase in runoff from the project will flow south toward Buena Fortuna Street and towards the Pacific Ocean. No increase in flooding hazards or potential for erosion or siltation will occur as a result of the proposed project, considering the size of the surrounding properties relative to the project size and existing land use. Therefore, project-specific and cumulative impacts related to flood hazards will be less than significant.

17A-2. The project is consistent with the *Ventura County 2040 General Plan* for Item 17 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
17b. Hydraulic Hazards – FEMA (WPD)								
Will the proposed project:								
1) Be located outside of the boundaries of a Special Flood Hazard Area and entirely within a FEMA-determined 'X-Unshaded' flood zone (beyond the 0.2% annual chance floodplain: beyond the 500-year floodplain)?		X				X		
2) Be located outside of the boundaries of a Special Flood Hazard Area and entirely within a FEMA-determined 'X-Shaded' flood zone (within the 0.2% annual chance floodplain: within the 500-year floodplain)?		X				X		
3) Be located, in part or in whole, within the boundaries of a Special Flood Hazard Area (1% annual chance floodplain: 100-year), but located entirely outside of the boundaries of the Regulatory Floodway?		X				X		
4) Be located, in part or in whole, within the boundaries of the Regulatory Floodway, as determined using the 'Effective' and latest available DFIRMs provided by FEMA?		X				X		
5) Be consistent with the applicable General Plan Goals and Policies for Item 17B of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

17B-1 through 17B-4. The project site is in a location identified by the Federal Emergency Management Agency (FEMA) as an area of minimal flood hazard Zone X unshaded. This is evidenced on FEMA Map Panel 06111C0538F, effective January 29, 2021. The Applicant will be subject to a standard condition of approval that will require

the recordation of a Notice of Flood Hazard on the title of the subject property, which informs existing and future owners of the subject property that the site, in whole or in part, has currently been mapped by FEMA as being in a Special Flood Hazard Area. With the implementation of this condition of approval, project-specific and cumulative impacts related to FEMA hydraulic hazards are less than significant.

17B-5. The project is consistent with the applicable *2040 General Plan Policies* for Item 17 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
18. Fire Hazards (VCFPD)								
Will the proposed project:								
a) Be located within High Fire Hazard Areas/Fire Hazard Severity Zones or Hazardous Watershed Fire Areas?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 18 of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

18a. The project site is in a very High Fire Hazard Area/Fire Severity Zone or Hazardous Watershed Fire Area that is under the jurisdiction of the State of California Department of Forestry (Cal Fire)¹¹. To ensure that potential fire impacts are maintained at a less than significant level, in accordance with the 2019 International Fire Code, as adopted and amended by the Ventura County Fire Protection District (VCFPD), the current Ordinance for Fire Hazard Abatement, as well as the construction standards established in the adopted Building Code, the Applicant will be required to conduct annual hazard abatement on the project site.

The proposed project, along with other projects included in the analysis of cumulative impacts, would increase the density of development within the area, thereby resulting in an incremental increase in the number of buildings, structures, and residents who will

¹¹ https://osfm.fire.ca.gov/media/6846/fhszl_map56.pdf

be exposed to fire hazards. However, the proposed project will be required to be designed in conformance with the 2019 International Fire Code as adopted and amended by VCFPD, the current Ordinance for Fire Hazard Abatement, as well as the construction standards established in the adopted Building Code. Compliance with VCFPD fire protection regulations would ensure that project-specific and cumulative impacts relating to fire hazards will be less than significant.

18b. The project is consistent with the *Ventura County 2040 General Plan* for Item 18 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
19. Aviation Hazards (Airports)								
Will the proposed project:								
a) Comply with the County's Airport Comprehensive Land Use Plan and pre-established federal criteria set forth in Federal Aviation Regulation Part 77 (Obstruction Standards)?	X				X			
b) Will the proposed project result in residential development, a church, a school, or high commercial business located within a sphere of influence of a County airport?	X				X			
c) Be consistent with the applicable General Plan Goals and Policies for Item 19 of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

19a and 19b. The project site is located outside of a County Airport Sphere of Influence (Planning GIS, July 2021). The nearest airport, Oxnard Airport, is located approximately 22.6 miles southeast of the project site. The proposed project will comply with the County's Airport Conservation Land Use Plan and pre-established federal criteria set forth in Federal Aviation Regulation Part 77 (Obstruction Standards). The proposed project is not expected to adversely impact the operational activities of a County airport as the proposed ADU will be limited to 15 feet in height. Based on this development

standard, there would not be any project-specific or cumulative impacts related to aviation hazards.

19c. The project is consistent with the *Ventura County 2040 General Plan* for Item 19 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
20a. Hazardous Materials/Waste – Materials (EHD/Fire)								
Will the proposed project:								
1) Utilize hazardous materials in compliance with applicable state and local requirements as set forth in Section 20a of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 20a of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

20A-1. The proposed residential project will not utilize hazardous materials which require permitting or inspection from Ventura County Environmental Health Division/Certified Unified Program Agency. However, the use of hazardous materials typically associated with construction activities may be utilized. Improper storage, handling, and disposal of these materials may contribute to adverse impacts to the environment. Compliance with applicable state and local regulations will reduce the potential environmental impact. There will not be any project-specific or cumulative impacts related to hazardous materials.

20A-2. The project is consistent with the *Ventura County 2040 General Plan* for Item 20 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
20b. Hazardous Materials/Waste – Waste (EHD)								
Will the proposed project:								
1) Comply with applicable state and local requirements as set forth in Section 20b of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 20b of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

20b-1. The proposed residential development is not considered an activity that generates hazardous waste; therefore, a Ventura County Environmental Health Division/Certified Unified Program Agency permit is not required. As a result, there will not be any project-specific or cumulative impact related to hazardous waste.

20b-2. The project is consistent with the *Ventura County 2040 General Plan* for Item 20 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
21. Noise and Vibration								
Will the proposed project:								
a) Either individually or when combined with other recently approved, pending, and probable future projects, produce noise in excess of the standards for noise in the Ventura County General Plan Goals, Policies and Programs (Section 2.16) or the applicable Area Plan?		X				X		

b) Either individually or when combined with other recently approved, pending, and probable future projects, include construction activities involving blasting, pile-driving, vibratory compaction, demolition, and drilling or excavation which exceed the threshold criteria provided in the Transit Noise and Vibration Impact Assessment (Section 12.2)?		X				X		
c) Result in a transit use located within any of the critical distances of the vibration-sensitive uses listed in Table 1 (Initial Study Assessment Guidelines, Section 21)?		X				X		
d) Generate new heavy vehicle (e.g., semi-truck or bus) trips on uneven roadways located within proximity to sensitive uses that have the potential to either individually or when combined with other recently approved, pending, and probable future projects, exceed the threshold criteria of the Transit Use Thresholds for rubber-tire heavy vehicle uses (Initial Study Assessment Guidelines, Section 21-D, Table 1, Item No. 3)?		X				X		
e) Involve blasting, pile-driving, vibratory compaction, demolition, drilling, excavation, or other similar types of vibration-generating activities which have the potential to either individually or when combined with other recently approved, pending, and probable future projects, exceed the threshold criteria provided in the Transit Noise and Vibration Impact Assessment [Hanson, Carl E., David A. Towers, and Lance D. Meister. (May 2006) Section 12.2]?		X				X		
f) Be consistent with the applicable General Plan Goals and Policies for Item 21 of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

21a. To determine whether a project will result in a significant noise impact, the *Ventura County Initial Study Assessment Guidelines* set forth standards to determine whether the proposed use is a "Noise Sensitive Use" or a "Noise Generator." Noise sensitive uses are dwellings, schools, hospitals, nursing homes, churches and libraries. The

proposed ADU is considered a noise sensitive use. The Ventura County 2040 General Plan, and the *Ventura County initial Study Assessment Guidelines* consider residential land uses a noise-sensitive use, but not a long-term noise generating use since it will not generate new heavy vehicle (e.g., semi-truck or bus) trips on uneven roadways, does not involve the creation of a new transit use, and does not involve the creation of a new commercial or industrial use that involves noise generating activities. The proposed ADU will however generate short-term construction noise. As the proposed project does not include a noise generating use (except with regard to construction noise, which is addressed separately in Section 21e of this Initial Study, below), the proposed project will have no impacts related to the introduction of a new noise generator near noise sensitive uses.

The proposed project is located in the Rincon Point gated residential community south of U.S. Route 101. The project site is located within the Community Noise Equivalent Level (CNEL) 70 dB(A) noise contour for U.S. Route 101 as indicated in Table 7.1 of the Ventura County 2040 General Plan. The project site is not within the flight path of air traffic from Oxnard Airport, but located about 373 feet north of the project site. As the project site is located within this noise contour, the proposed development would be subject to noise levels from traffic along a roadway that meets or exceeds the CNEL 70dB(A) noise contour. Outdoor living spaces (i.e. patios) are not a part of the proposed ADU. To ensure that proposed development does not exceed exterior noise level thresholds specified in Ventura County 2040 General Policy HAZ-9.2.1 and *Ventura County Initial Study Assessment Guidelines* item 21, the Applicant will be required to be in compliance with the requirements of the Ventura County 2040 General Plan Policy HAZ-9.2.5, Construction Noise Threshold Criteria and Control Plan (2010a). The Applicant will be required to limit site preparation and construction activity for the proposed ADU to the hours between 7:00 a.m. and 7:00 p.m., Monday through Friday, and from 9:00 a.m. to 7:00 p.m. Saturday, Sunday, and State holidays. Construction equipment maintenance shall be limited to the same hours. Construction techniques, such as installation of noise reducing drywall, floor de-couplers to “float” a floor and metal resilient channels attached to drywall to minimize sound transmission, will be conducted to ensure that internal spaces comply with Ventura County 2040 General Plan Policy HAZ-9.2(5). The Applicant will also be subject to a standard condition of approval that will require the installation of double pane glass and noise insulation during the construction of the ADU to minimize noise impacts that may result due the proximity of the structure from U.S. Route 101.

21b. and 21e. The project site will result in in the development of one ADU on the project site. Temporary construction activities required for the proposed project may include pile-driving, vibratory compaction, demolition, drilling, excavation within relatively hard substrate (e.g., rock formations), or other similar types of vibration-generating activities that may temporarily exceed the threshold criteria defined in the Transit Noise and Vibration Impact Assessment (*Ventura County Initial Study Assessment Guidelines*, page 119). Construction would include placing the ADU on a

concrete slab that would involve pile driving. Construction techniques such as reducing the hammer drop height of the pile driver, use of shorter piles, pre-boring and water jetting to reduce ground vibrations would reduce temporary construction impacts from pile driving. In addition, to ensure that development of the proposed project complies with the requirements of the Ventura County 2040 General Plan Policy HAZ-9.2.5, Construction Noise Threshold Criteria and Control Plan (2010a), the proposed project will be subject to a construction noise condition noted above.

21c. The proposed project does not involve the creation of a vibration generating transit use. Therefore, the proposed project will not have a project specific impact, and will not make a cumulatively considerable contribution to a significant cumulative impact related to the creation of a transit use located within any of the critical distances of the vibration-sensitive uses listed in Table 1 of the *Ventura County Initial Study Assessment Guidelines* (Section 21).

21d. The public and private roads that provide access to the project site are paved. Thus, the proposed project will not involve the use of heavy vehicle (e.g., semi-truck or bus) trips on uneven roadways located within proximity to sensitive uses that have the potential to either individually or when combined with other recently approved, pending, and probable future projects, exceed the threshold criteria of the Transit Use Thresholds for rubber-tire heavy vehicle uses (*Ventura County Initial Study Assessment Guidelines*, Section 21-D, Table 1, Item No. 3). Construction techniques such as reducing the hammer drop height of the pile driver, use of shorter piles, pre-boring and water jetting to reduce ground vibrations would reduce temporary construction impacts from pile driving. These methods would not require the use of heavy rubber-tire vehicles that would create a vibratory impact on Buena Fortuna Road. Therefore, the proposed project will have a less than significant project-specific and cumulative impact related to vibration.

21f. The project is consistent with the *Ventura County 2040 General Plan* for Item 21 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
22. Daytime Glare								
Will the proposed project:								

a) Create a new source of disability glare or discomfort glare for motorists travelling along any road of the County Regional Road Network?	X				X			
b) Be consistent with the applicable General Plan Goals and Policies for Item 22 of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

22a. The project site is located in the Rincon Point residential community where an existing dense vegetative buffer screens any view of the project site from Bates Road, the Rincon Beach public parking area, and U.S. Route 101, which are located north of the project site. As the proposed ADU will be located at the rear of the property and attached to the existing single-family dwelling, the ADU will not be visible and not create any disability or discomfort glare for motorists traveling along U.S. Route 101. As a result, there will not be any project-specific or cumulative impacts related to daytime glare.

22b. The project is consistent with the *Ventura County 2040 General Plan* for Item 22 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
23. Public Health (EHD)								
Will the proposed project:								
a) Result in impacts to public health from environmental factors as set forth in Section 23 of the Initial Study Assessment Guidelines?	X				X			
b) Be consistent with the applicable General Plan Goals and Policies for Item 23 of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

23a. The proposed project will not adversely affect public health as the proposed ADU will connect to public sewer. Therefore, the proposed development will not result in any project-specific or cumulative impacts related to public health.

23b. The project is consistent with the *Ventura County 2040 General Plan* for Item 23 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
24. Greenhouse Gases (VCAPCD)								
Will the proposed project:								
a) Result in environmental impacts from greenhouse gas emissions, either project specifically or cumulatively, as set forth in CEQA Guidelines §§ 15064(h)(3), 15064.4, 15130(b)(1)(B) and -(d), and 15183.5?		X				X		

Impact Discussion:

24a. Neither VCAPCD nor the County has adopted a threshold of significance applicable to Greenhouse Gas (GHG) emissions from projects subject to the County’s discretionary land use permitting authority. The County has, however, routinely applied a 10,000 metric tons carbon dioxide equivalent per year (MTCO₂e/yr) threshold of significance to industrial projects, in accordance with CEQA Guidelines Section 15064.4(a)(2). VCAPCD has concurred with the County’s approach. VCAPCD supports the application of this numeric threshold as stated in the GHG Threshold Report VCAPCD published in 2011 at the request of the VCAPCD Board, which concludes “Unless directed otherwise, VCAPCD staff will continue to evaluate and develop suitable interim GHG threshold options for Ventura County with preference for GHG threshold consistency with the South Coast Air Quality Management District (AQMD) and the SCAG region.” The South Coast AQMD at the same time proposed an interim screening threshold of 3,000 MTCO₂e/yr for commercial and residential projects.

The estimated GHG emissions from the project were calculated at 15.1 MTCO₂e/yr (operational and construction amortized over 30 years). This determination was based on information provided by the applicant and the CalEEMod air emissions modeling

program (version 2016.3.2), which calculated proposed operational emissions at 0.03 lbs./day of ROC and 0.07 lbs./day of NOx. The emissions calculated are based on a single-dwelling unit land use in order to calculate emissions from heating (kitchen unit), water and wastewater usage for a 338 sq. ft. dwelling. Mobile emissions were also estimated using the default trip settings for the designated land use found in the air emissions model.

The emissions calculated are less than the recommended GHG significance threshold being considered for discretionary projects. In addition, South Coast AQMD has a lower interim screening GHG threshold for residential and commercial projects at 3,000 MTCO2e/yr, which if used as commercial, the proposed project would still be under this lower threshold. Therefore, project-specific and cumulative impacts related to GHGs are less than significant.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
25. Community Character (PInG.)								
Will the proposed project:								
a) Either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable probable future projects, introduce physical development that is incompatible with existing land uses, architectural form or style, site design/layout, or density/parcel sizes within the community in which the project site is located?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 25 of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

25a. Regionally, U.S. Route 101 is located approximately 106 feet north, and the Pacific Ocean is located approximately 316 feet south of the project site. Rincon Beach is located immediately west of the private community and the rear of the subject

property abuts the Rincon Beach public parking area. The project site is located in a residential community that includes 53 lots that range in size from 0.10 acres to 0.29 acres and consist of one- and two-story single family dwellings. Three of the properties in the community include ADUs (RMA GIS, July 2021).

The project site is zoned CR1-7,000 sq. ft. The purpose of this zone is to provide for, and maintain, areas along the coast for single-family developments and lots significantly larger than those permitted in the Residential Beach (RB) or Residential Beach Harbor (RBH) zones. The location of the ADU at the rear of the project site and the 64-foot-wide vegetative buffer between the project site, and the Rincon Beach parking area screens public views of the ADU as seen from Bates Road and U.S. Route 101 that are located north of the project site. The proposed ADU will be subject to the development standards of the CR-1 zone, which limits the height of accessory structures to 15 feet and requires development be setback 15 feet from the rear and 5 feet from the side property lines.

The minimum lot size for the CR-1 zone is 7,000 sq. ft. The subject parcel is 7,164 sq. ft. or 0.16 acres in size. Adjacent residential parcels are also zoned CR-1 7,000 sq. ft. and range in size from 0.10 acres to 0.29 acres and consist of one- and two-story single-family dwellings. The character of this residential community will not be substantially altered with the proposed construction of the ADU.

The ADU must meet the development standards noted in Ventura County CZO Section 8175-2. These standards are noted below.

Development Standards for Accessory Structures

Zone	Maximum Percentage of Building Coverage	Required Minimum Setbacks	Maximum Structure Height
CR-1 7,000	42%*	Front: 20 feet	Accessory: 15 feet
		Side: 5 feet	
		Rear: 15 feet	

* Per Section 8175-2.1 of the Ventura County CZO, this percentage represents the maximum cumulative calculation.

The proposed development calculations for the ADU are included below.

Proposed ADU Development Calculations

Zone	Proposed + Existing Building Coverage	Proposed Minimum Setbacks	Proposed Structure Height
CR-1 7,000	32%*	Front: 20 feet	ADU: 13 feet
		Side: 5 feet	
		Rear: 15 feet	

With the implementation of these standards, the proposed ADU would be compatible with existing residential development, and project-specific and cumulative impacts related to community character will be less than significant.

25b. The project is consistent with the *Ventura County 2040 General Plan* for Item 25 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
26. Housing (PInG.)								
Will the proposed project:								
a) Eliminate three or more dwelling units that are affordable to: <ul style="list-style-type: none"> • moderate-income households that are located within the Coastal Zone; and/or, • lower-income households? 		X				X		
b) Involve construction which has an impact on the demand for additional housing due to potential housing demand created by construction workers?		X				X		
c) Result in 30 or more new full-time-equivalent lower-income employees?		X				X		
d) Be consistent with the applicable General Plan Goals and Policies for Item 26 of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

26a. The proposed project will not eliminate any existing dwelling units. The proposed project would result in the construction of one ADU, which will add to the County’s housing stock.

26b. As stated in the *Ventura County Initial Study Assessment Guidelines* (p. 146), any project that involves construction has an impact on the demand for additional housing due to potential housing demand created by construction workers. However, construction worker demand is a less than significant project-specific impact, and does not qualify as a cumulatively considerable contribution to a significant cumulative impact, related to the demand for new housing, because construction work is short-term, and there is a sufficient pool of construction workers within Ventura County and the Los Angeles metropolitan regions to implement future construction activities on the proposed lots.

26c. The proposed ADU will not result in 30 or more new full-time-equivalent lower-income employees, as the proposed project will not facilitate the development of a new commercial or industrial use on the subject property. Thus, project-specific and cumulative impacts related to housing is considered less than significant.

26d. The project is consistent with the *Ventura County 2040 General* for Item 26 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27a(1). Transportation & Circulation - Roads and Highways - Level of Service (LOS) (PWA)								
Will the proposed project:								
a) Cause existing roads within the Regional Road Network or Local Road Network that are currently functioning at an acceptable LOS to function below an acceptable LOS?		X				X		

Impact Discussion:

27a(1)-a. The California Natural Resources Agency has adopted new CEQA Guidelines that require an analysis of vehicle miles traveled (VMT). VMT measures the per capita number of car trips generated by a project and distances cars will travel to and from a project, rather than congestion levels at intersections (level of service or “LOS,” graded on a scale of A – F). Ventura County will only require LOS analysis to determine consistency with the County’s General Plan policies. LOS will not be assessed for CEQA purposes.

Trip- or tour-based VMT analysis is recommended over boundary-based VMT analysis as the established and most appropriate methodology for analyzing VMT impacts under CEQA. Trip-based assessment of VMT captures the full extent of the vehicle trip length, including the portion that extends beyond the jurisdictional boundary. VMT impacts are assessed by quantifying trips to or from a jurisdiction, which start or end within the jurisdiction. Conversely, a boundary-based assessment of VMT impacts is quantified by the length of the vehicle trips that occur within the boundaries of a jurisdiction.

Based on the Office of Planning and Research (OPR) Screening Criteria under Senate Bill (SB) 743, if a proposed land use project is consistent with Policies CTM-1.1 and CTM-1.2 of the Ventura County 2040 General Plan and the Regional Transportation Plan/Sustainable Communities Strategy (SCS) regionally adopted by SCAG, projects that generate or attract fewer than 110 trips per day are presumed to have a less-than-significant impact on VMT. For residential land uses, OPR recommends a VMT per capita threshold set at 15 percent below baseline levels. Using the Ventura County Transportation Commission (VCTC) Ventura County Traffic Model (VCTM), the average trip length of all home-based model trip types has been used as a more reflective of Ventura County's transportation setting while still containing a per capita estimate. Based on the VCTM's baseline, the average trip length for all home-based trips is 9.66 miles. Applying the 15 percent reduction yields a VMT threshold of 8.21 miles which is the threshold of significance for residential land use projects.

The proposed ADU is in the Rincon Point area immediately south of Bates Road and U.S. Route 101. From the project site to U.S. Route 101, the ADU would be 743 feet to the southeast of these roads. The term 'average' of all home-based trips refers to the 'middle' or 'central' point that is a typical representation of several trips generated in one day. The proposed ADU's home-based trips will likely average one per day given the distance to employment centers and public services. Based on the above 8.21 mile VMT and the location of the ADU in relation to U.S. Route 1, the VMT that would be generated from the ADU development would not exceed the threshold.

Vehicle trips generated by the ADU are not expected to result in a VMT impact consistent with the VMT reduction goals of the OPR's Technical advisory on Evaluating Transportation Impacts and would not conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b).

The nearest county-maintained roadway is Bates Road. The ADU will generate additional traffic on the Regional Road Network and local public roads. Therefore, a Traffic Impact Mitigation Fee (TIMF) will not be required. As a result, project-specific and cumulative impacts related to level of service is considered less than significant.

Mitigation/Residual Impact(s)

No mitigation. Residual impacts will be less than significant.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27a(2). Transportation & Circulation - Roads and Highways - Safety and Design of Public Roads (PWA)								
Will the proposed project:								
a) Have an Adverse, Significant Project-Specific or Cumulative Impact to the Safety and Design of Roads or Intersections within the Regional Road Network (RRN) or Local Road Network (LRN)?		X				X		

Impact Discussion:

27a(2)-a. Bates Road and U.S. Route 101 provide public access to the project site. The proposed construction and use of the ADU would be located more than 106 feet southeast of these roads. As a result, the proposed project does not have the potential to alter the level of safety of roadways and intersections near the project. Project-specific and cumulative impacts related to safety and design of public roads is less than significant.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27a(3). Transportation & Circulation - Roads & Highways – Safety & Design of Private Access (VCFPD)								
a) If a private road or private access is proposed, will the design of the private road meet the adopted Private Road Guidelines and access standards of the VCFPD as listed in the Initial Study Assessment Guidelines?	X				X			

b) Will the project be consistent with the applicable General Plan Goals and Policies for Item 27a(3) of the Initial Study Assessment Guidelines?	X					X			
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Impact Discussion:

27a(3)-a. Buena Fortuna Street is the private road that abuts the subject property. The configuration of this road will not be altered by the proposed location of the ADU at the rear of the property. The California Department of Housing and Community Development does not require a designated parking space for ADU's. Cumulatively, as ADUs come online for this community, parking for ADUs could be problematic however, the state does not require a parking space be provided as a prerequisite to approve an ADU. Therefore, the proposed project will not obstruct traffic flow on this road. As a result, there will not be any project-specific or cumulative impacts related to safety and design of private roads.

27a(3)-b. The project is consistent with the applicable 2040 General Plan Policies for Item 27 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27a(4). Transportation & Circulation - Roads & Highways - Tactical Access (VCFPD)								
Will the proposed project:								
a) Involve a road or access, public or private, that complies with VCFPD adopted Private Road Guidelines?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 27a(4) of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

27a(4)-a. Buena Fortuna Street is the private road that abuts the subject property. The configuration of this road will not be altered by the proposed location of the ADU at the rear of the property. The private driveway of the existing project site will not be altered and meets the County access standards and current VCFPD road standards [Standard 501, Fire Apparatus Access Standard, Chapter 3 and Sections 5.2.1 through Section 5.2.5]. The project site is located approximately 5.0 miles northwest of the nearest fire station, Station No. 25, addressed at 5674 W. Pacific Coast Highway in the unincorporated area of Ventura. The distance and response time is adequate and no new fire stations or personnel are required as a result of the proposed project. Thus, project-specific and cumulative impacts related to tactical access will be less than significant.

27a(4)-b. The project is consistent with the *Ventura County General Plan Goals and Policies* for Item 27 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27b. Transportation & Circulation - Pedestrian/Bicycle Facilities (PWA/PIng.)								
Will the proposed project:								
1) Will the Project have an Adverse, Significant Project-Specific or Cumulative Impact to Pedestrian and Bicycle Facilities within the Regional Road Network (RRN) or Local Road Network (LRN)?	X				X			
2) Generate or attract pedestrian/bicycle traffic volumes meeting requirements for protected highway crossings or pedestrian and bicycle facilities?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 27b of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

27b-1 and 27b-2. The proposed construction and use of an ADU on the subject property will generate pedestrian and bicycle traffic within the Rincon Beach gated community and Rincon Beach Park located approximately 0.4 miles west of the project site. The California Department of Transportation South Coast Highway 101 HOV Lanes Project provided a designated Class II bike lane adjacent to US Route 1, but that project would not affect this bike path or the proposed project. Significant pedestrian or bicycle traffic will not result from the proposed project as the proposed ADU will house no more than 2 persons based on the design and size of the structure. As a result, there will not be any project-specific or cumulative impacts related to pedestrian / bicycle facilities.

27b-3. The project is consistent with the applicable *2040 General Plan Policies* for Item 27 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27c. Transportation & Circulation - Bus Transit								
Will the proposed project:								
1) Substantially interfere with existing bus transit facilities or routes, or create a substantial increase in demand for additional or new bus transit facilities/services?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27c of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

27c-1 and 27c-1. There are no bus facilities within the vicinity of the project site with which the proposed project could interfere. The nearest transit stop is located about 1.2 miles north of the project site at Highway 150 and Camino Carreta in the city of Carpinteria. The construction of one ADU will not interfere with existing bus transit facilities and routes or create a substantial increase in the demand for additional or new

transit services. Thus, there will not be any project-specific or cumulative impacts related to bus transit facilities/services.

27c-2. The project is consistent with the *Ventura County 2040 General Plan* for Item 27 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27d. Transportation & Circulation - Railroads								
Will the proposed project:								
1) Individually or cumulatively, substantially interfere with an existing railroad's facilities or operations?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27d of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

27d-1. The Southern Pacific Railroad line is located approximately 373 feet north of the subject property. The Rincon Beach parking area and U.S. Route 101 are situated in between the subject property and the rail line. Based on this distance and the fact that all development will remain on the subject property, there will not be any project-specific or cumulative impacts related to railroads as a result of the proposed project.

27d-2. The project is consistent with the applicable *2040 General Plan Policies* for Item 27 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27e. Transportation & Circulation – Airports (Airports)								
Will the proposed project:								
1) Have the potential to generate complaints and concerns regarding interference with airports?	X				X			
2) Be located within the sphere of influence of either County operated airport?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 27e of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

27e-1 and 27e-2. The nearest airport is the Oxnard Airport located approximately 22.6 miles southeast of the project site and outside the sphere of influence of County operated airport. Based on this distance, the proposed project does not have the potential to generate complaints and concerns regarding interference with airports. There will not be any project-specific or cumulative impacts related to airports.

27e-3. The project is consistent with the applicable 2040 General Plan Policies for Item 27 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27f. Transportation & Circulation - Harbor Facilities (Harbors)								
Will the proposed project:								

1) Involve construction or an operation that will increase the demand for commercial boat traffic and/or adjacent commercial boat facilities?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27f of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

27f-1. The Santa Barbara Harbor is located about 15 miles northwest of the project site. The proposed construction and use of an ADU on the subject property does not involve construction or an operation that will increase the demand for commercial boat traffic and/or adjacent commercial boat facilities. There will not be any project-specific or cumulative impacts related to harbor facilities.

27f-2. The project is consistent with the applicable 2040 General Plan Policies for Item 27 of the Ventura County Initial Study Assessment Guidelines.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
27g. Transportation & Circulation - Pipelines								
Will the proposed project:								
1) Substantially interfere with, or compromise the integrity or affect the operation of, an existing pipeline?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 27g of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

27g-1. Oil and gas pipelines are located approximately 373 feet and 529 feet north of the subject property. The Rincon Beach parking area and U.S. Route 101 are situated in between the subject property and the pipelines. Based on this distance and the fact that all development will remain on the subject property, there will not be any project-specific or cumulative impacts related to pipelines.

27g-2. The project is consistent with the applicable *2040 General Plan* Policies for Item 27 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
28a. Water Supply – Quality (EHD)								
Will the proposed project:								
1) Comply with applicable state and local requirements as set forth in Section 28a of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 28a of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

28a-1. Domestic water supply for the proposed project will be provided by an existing connection to CMWD, as verified by the June 16, 2020 CMWD Will Serve Letter. Therefore, there will not be any project-specific or cumulative impacts related to the domestic water supply.

28a-2. The project is consistent with the *Ventura County 2040 General Plan* for Item 28 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
28b. Water Supply – Quantity (WPD)								
Will the proposed project:								
1) Have a permanent supply of water?		X				X		
2) Either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable probable future projects, introduce physical development that will adversely affect the water supply - quantity of the hydrologic unit in which the project site is located?		X				X		
3) Be consistent with the applicable General Plan Goals and Policies for Item 28b of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

28b-1. The site is located within the service area of CMWD. The June 16, 2020 CMWD Will Serve Letter verified that there is an existing agreement with CVWD to service the area of the project site with an additional allocation for the proposed ADU. Therefore, a permanent supply of water would be provided through the CMWD water system for the proposed project. As a result, project-specific and cumulative impacts related to water supply quantity is less than significant.

28b-2. The proposed project will not, either individually or cumulatively when combined with recently approved, current, and reasonably foreseeable probable future projects, introduce physical development that would adversely affect the water supply quantity.

28b-3. The project is consistent with the *Ventura County 2040 General Plan* for Item 28 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
28c. Water Supply - Fire Flow Requirements (VCFPD)								
Will the proposed project:								
1) Meet the required fire flow?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 28c of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

28c-1. The Ventura County Fire Protection District (VCFPD) reviewed the project and determined that the project site is served by a water purveyor (CMWD) that can provide the required fire flow in accordance with the Ventura County Waterworks Manuel and the VCFPD Fire Code. As a result, there will not be any project-specific or cumulative impacts related to fire flow.

28c-2. The project is consistent with the *Ventura County 2040 General Plan* for Item 28 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
29a. Waste Treatment & Disposal Facilities - Individual Sewage Disposal Systems (EHD)								
Will the proposed project:								
1) Comply with applicable state and local requirements as set forth in Section 29a of the Initial Study Assessment Guidelines?	X				X			

2) Be consistent with the applicable General Plan Goals and Policies for Item 29a of the Initial Study Assessment Guidelines?	X				X			
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Impact Discussion:

29a-1. The proposed project will have a new connection to the Carpinteria Sanitary District and will not utilize an onsite wastewater treatment system. As a result, there will not be any project-specific or cumulative impacts related to an onsite wastewater treatment system.

29a-2. The project is consistent with the *Ventura County 2040 General Plan* for Item 29 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
29b. Waste Treatment & Disposal Facilities - Sewage Collection/Treatment Facilities (EHD)								
Will the proposed project:								
1) Comply with applicable state and local requirements as set forth in Section 29b of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 29b of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

29b-1. A November 15, 2019 Can & Will Serve letter provided by the Carpinteria Sanitary District confirmed that there is adequate capacity to serve the proposed ADU. As a result, there will not be any project-specific or cumulative impacts related to a sewage collection facility.

29b-2. The project is consistent with the *Ventura County 2040 General Plan* for Item 29 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
29c. Waste Treatment & Disposal Facilities - Solid Waste Management (PWA)								
Will the proposed project:								
1) Have a direct or indirect adverse effect on a landfill such that the project impairs the landfill's disposal capacity in terms of reducing its useful life to less than 15 years?		X				X		
2) Be consistent with the applicable General Plan Goals and Policies for Item 29c of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

29c-1. As required by California Public Resources Code (PRC) 41701, Ventura County's Countywide Siting Element (CSE), adopted in June 2001 and updated annually, confirms Ventura County has at least 15 years of disposal capacity available for waste generated by in County projects. Because the County currently exceeds the minimum disposal capacity required by state PRC, the proposed project will have less than significant project specific impacts upon Ventura County's solid waste disposal capacity.

Ventura County Ordinance 4421 requires all discretionary permit applicants whose proposed project includes construction and/or demolition activities, to reuse, salvage, recycle, or compost a minimum of 60% of the solid waste generated by a project. The Public Works Agency, Integrated Waste Management Division's waste diversion program (Form B Recycling Plan / Form C Report) ensures this 60% diversion goal is met prior to issuance of a final Zoning Clearance construction, consistent with the Ventura County 2040 General Plan Policy HAZ-5.2. Thus, project-specific and cumulative impacts related to solid waste disposal capacity are considered less than significant.

29c-2. The project is consistent with the *Ventura County 2040 General Plan* for Item 29 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
29d. Waste Treatment & Disposal Facilities - Solid Waste Facilities (EHD)								
Will the proposed project:								
1) Comply with applicable state and local requirements as set forth in Section 29d of the Initial Study Assessment Guidelines?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 29d of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

29d-1. The proposed project does not include a solid waste operation or facility. Thus, there will be any project-specific or cumulative impacts relating to solid waste facilities.

29d-2. The project is consistent with the *Ventura County 2040 General Plan* for Item 29 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
30. Utilities								

Will the proposed project:								
a) Individually or cumulatively cause a disruption or re-routing of an existing utility facility?		X				X		
b) Individually or cumulatively increase demand on a utility that results in expansion of an existing utility facility which has the potential for secondary environmental impacts?		X				X		
c) Be consistent with the applicable General Plan Goals and Policies for Item 30 of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

30a. Extension of utilities to the ADU would not result in the disruption or re-routing of an existing facility. Development of the ADU will require an expansion of the utility facilities to provide services in compliance with building energy efficiency standards of the California Energy Code (Title 24). The proposed ADU creates one additional dwelling on the project site and as such, the demand on utility services would not be significant. Therefore, project-specific and cumulative impacts related to utilities would be less than significant.

30c. The project is consistent with the *Ventura County 2040 General Plan* for Item 30 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
31a. Flood Control Facilities/Watercourses - Watershed Protection District (WPD)								
Will the proposed project:								

1) Either directly or indirectly, impact flood control facilities and watercourses by obstructing, impairing, diverting, impeding, or altering the characteristics of the flow of water, resulting in exposing adjacent property and the community to increased risk for flood hazards?		X				X		
2) Be consistent with the applicable General Plan Goals and Policies for Item 31a of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

31a-1. The subject property is situated about 775 feet east of Rincon Creek, which is a Ventura County Watershed Protection District (District) jurisdictional redline channel. No direct connections to this District channel are proposed by the Applicant. This proposed project would result in an increase of impervious area within the subject property; however, the cumulative impacts from the increased impervious area will not affect district flood control facilities as site runoff should sheet flow to the south and drain into the Pacific Ocean.

The proposed project design mitigates the direct and indirect project-specific and cumulative impacts to flood control facilities and watercourses. Thus, project-specific and cumulative impacts related to flood control facilities and watercourses is less than significant.

31a-2. The project is consistent with the applicable *2040 General Plan* Policies for Item 31 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
31b. Flood Control Facilities/Watercourses - Other Facilities (PWA)								
Will the proposed project:								

1) Result in the possibility of deposition of sediment and debris materials within existing channels and allied obstruction of flow?		X				X		
2) Impact the capacity of the channel and the potential for overflow during design storm conditions?		X				X		
3) Result in the potential for increased runoff and the effects on Areas of Special Flood Hazard and regulatory channels both on and off site?		X				X		
4) Involve an increase in flow to and from natural and man-made drainage channels and facilities?		X				X		
5) Be consistent with the applicable General Plan Goals and Policies for Item 31b of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

31b-1 through 31b-4. The net impervious area of the proposed project is approximately 400 sq. ft. of the 7,164 sq. ft. lot. Runoff from the site is directed south to Buena Fortuna Street and then to the Pacific Ocean. As such, the drainage from the ADU will not create any new flow obstructions, erosion onsite or in existing offsite channels because of the parcel’s drainage patterns.

The project is located adjacent to a FEMA Special Flood Hazard Area (AE zone) and also within about 315 feet of the Pacific Ocean. The drainage conditions will remain similar to the existing conditions. There will be no adverse effects to Areas of Special Flood Hazard and regulatory channels. Thus, project-specific and cumulative impacts related to flood control facilities and watercourses is less than significant.

31b-5. The project is consistent with the applicable *2040 General Plan* Policies for Item 31 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**	Cumulative Impact Degree Of Effect**
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	N	LS	PS-M	PS	N	LS	PS-M	PS
32. Law Enforcement/Emergency Services (Sheriff)								
Will the proposed project:								
a) Have the potential to increase demand for law enforcement or emergency services?		X				X		
b) Be consistent with the applicable General Plan Goals and Policies for Item 32 of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

32a. The proposed development would result in the potential increase in demand for law enforcement and emergency services. However, the proposed ADU would not significantly reduce response times or increase service areas, which would require the construction of new law enforcement or emergency services facilities. Thus, project-specific and cumulative impacts related to emergency services are considered less than significant.

32b. The project is consistent with the *Ventura County 2040 General Plan* for Item 32 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
33a. Fire Protection Services - Distance and Response (VCFPD)								
Will the proposed project:								
1) Be located in excess of five miles, measured from the apron of the fire station to the structure or pad of the proposed structure, from a full-time paid fire department?	X				X			

2) Require additional fire stations and personnel, given the estimated response time from the nearest full-time paid fire department to the project site?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 33a of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

33a-1. The project site is located approximately 5.0 miles northwest of the nearest fire station, Station No. 25, addressed at 5674 W. Pacific Coast Highway in the unincorporated area of Ventura. The distance and response time is adequate and no new fire stations or personnel are required as a result of the proposed project. There will not be any project-specific or cumulative impacts related to fire protection services distance and response time.

33a-3. The project is consistent with the *Ventura County 2040 General Plan* for Item 33 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
33b. Fire Protection Services – Personnel, Equipment, and Facilities (VCFPD)								
Will the proposed project:								
1) Result in the need for additional personnel?	X				X			
2) Magnitude or the distance from existing facilities indicate that a new facility or additional equipment will be required?	X				X			
3) Be consistent with the applicable General Plan Goals and Policies for Item 33b of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

33b-1 and 33b-2. As stated in item 33a above, the project site is located approximately 5.0 miles northwest of the nearest fire station, Station No. 25, addressed at 5674 W. Pacific Coast Highway in the unincorporated area of Ventura. Based on this distance from an existing fire station, the need for additional fire personnel is not required. Thus, there will not be any project-specific or cumulative impacts related to fire protection services personnel, equipment and facilities.

33b-3. The project is consistent with the *Ventura County 2040 General Plan* for Item 33 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
34a. Education - Schools								
Will the proposed project:								
1) Substantially interfere with the operations of an existing school facility?	X				X			
2) Be consistent with the applicable General Plan Goals and Policies for Item 34a of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

34a-1. The project site is located within an area that is served by the Carpinteria Unified School District. The nearest school, Aliso Elementary School, addressed at 4545 Carpinteria Avenue, Carpinteria, CA 93013, is approximately 4.5 miles northwest of the project site. Cate School, addressed at 1960 Cate Mesa Road in the city of Carpinteria, is approximately 5.1 miles north of the project site.

Based in this distance and the nature of the proposed project, the construction and use of one proposed ADU will not create an adverse impact on schools. Thus, there will not be any project-specific or cumulative impacts related to existing school facilities.

34a-2. The project is consistent with the *Ventura County 2040 General Plan* for Item 34 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
34b. Education - Public Libraries (Lib. Agency)								
Will the proposed project:								
1) Substantially interfere with the operations of an existing public library facility?	X							
2) Put additional demands on a public library facility which is currently deemed overcrowded?	X							
3) Limit the ability of individuals to access public library facilities by private vehicle or alternative transportation modes?	X							
4) In combination with other approved projects in its vicinity, cause a public library facility to become overcrowded?					X			
5) Be consistent with the applicable General Plan Goals and Policies for Item 34b of the Initial Study Assessment Guidelines?	X				X			

Impact Discussion:

34b-1 through 34b-4. The nearest County library, Carpinteria Branch Library addressed at 5141 Carpinteria Ave, Carpinteria, CA 93013 is located about 3.2 miles northwest of the project site. The construction and use of one proposed ADU does not have the potential to create project-specific impacts which would interfere with the use of the library. Moreover, the modest incremental increase in the demand for library services that would result from development of an accessory dwelling unit would not result in a significant demand on library resources, thereby warranting the need for the construction of new library facilities. There will not be any project-specific or cumulative impacts related to library services.

34b-5. The project is consistent with the Ventura County 2040 General Plan for Item 34 of the Ventura County Initial Study Assessment Guidelines.

Mitigation/Residual Impact(s)

None.

Issue (Responsible Department)*	Project Impact Degree Of Effect**				Cumulative Impact Degree Of Effect**			
	N	LS	PS-M	PS	N	LS	PS-M	PS
35. Recreation Facilities (GSA)								
Will the proposed project:								
a) Cause an increase in the demand for recreation, parks, and/or trails and corridors?		X				X		
b) Cause a decrease in recreation, parks, and/or trails or corridors when measured against the following standards: <ul style="list-style-type: none"> Local Parks/Facilities - 5 acres of developable land (less than 15% slope) per 1,000 population; Regional Parks/Facilities - 5 acres of developable land per 1,000 population; or, Regional Trails/Corridors - 2.5 miles per 1,000 population? 		X				X		
c) Impede future development of Recreation Parks/Facilities and/or Regional Trails/Corridors?		X				X		
d) Be consistent with the applicable General Plan Goals and Policies for Item 35 of the Initial Study Assessment Guidelines?		X				X		

Impact Discussion:

35a through 35c. The project site is located within Segment N1 of the existing California Coastal Trail for the Ventura County North Coast. This trail segment includes: (1) a multi-modal coastal trail that accommodates hikers/walkers and bicyclists and provides

access to the Rincon Beach parking located approximately 128 feet northwest of the project site between U.S. Route 101; (2) a seasonal / tidal walking trail located at the apex of Rincon Point, approximately 358 feet southwest of the project site; and, (3) a shoreline access point located just east of the Rincon Beach parking area¹².

Rincon Beach Park is located approximately 0.4 miles west of the project site within the County of Santa Barbara (RMA GIS; July 2021). At these distances, development of the ADU on the project site will not have an adverse effect on the development, maintenance, or use of public trails and parks. Therefore, project-specific and cumulative impacts related to recreation facilities is considered less than significant.

35d. The project is consistent with the *Ventura County 2040 General Plan* for Item 35 of the *Ventura County Initial Study Assessment Guidelines*.

Mitigation/Residual Impact(s)

None.

***Key to the agencies/departments that are responsible for the analysis of the items above:**

- | | | |
|-------------------------------------|---------------------------------------|---|
| Airports - Department Of Airports | AG. - Agricultural Department | VCAPCD - Air Pollution Control District |
| EHD - Environmental Health Division | VCFPD - Fire Protection District | GSA - General Services Agency |
| Harbors - Harbor Department | Lib. Agency - Library Services Agency | Plng. - Planning Division |
| PWA - Public Works Agency | Sheriff - Sheriff's Department | WPD – Watershed Protection District |

****Key to Impact Degree of Effect:**

- N – No Impact
- LS – Less than Significant Impact
- PS-M – Potentially Significant but Mitigable Impact
- PS – Potentially Significant Impact

Section C – Mandatory Findings of Significance

Based on the information contained within Section B:		
	Yes	No
1. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?		X

¹² Figures 4.1-1 and 4.2-2 of the Ventura County Coastal Area Plan (2017 edition).

2. Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals? (A short-term impact on the environment is one that occurs in a relatively brief, definitive period of time while long-term impacts will endure well into the future).		X
3. Does the project have impacts that are individually limited, but cumulatively considerable? "Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effect of other current projects, and the effect of probable future projects. (Several projects may have relatively small individual impacts on two or more resources, but the total of those impacts on the environment is significant.)		X
4. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?		X

Findings Discussion:

1. As stated above in Section B, Item 4 of the Initial Study, the proposed project does not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.
2. The project does not involve the potential to achieve short-term, to the disadvantage of long-term, environmental goals.
3. As stated in Section B, with the imposition of the recommended mitigation measure related to archeological resources, the proposed project does not have the potential to create a cumulatively considerable contribution to a significant cumulative impact.
4. As stated in Section B, the proposed project will have at most a less than significant impact with regard to adverse effects, either directly or indirectly, on human beings.

Section D – Determination of Environmental Document

Based on this initial evaluation:

[]	I find the proposed project could not have a significant effect on the environment, and a Negative Declaration should be prepared.
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[X]	I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measure(s) described in Section B of the Initial Study will be applied to the project. A Mitigated Negative Declaration should be prepared.
[]	I find the proposed project, individually and/or cumulatively, MAY have a significant effect on the environment and an Environmental Impact Report (EIR) is required.*
[]	I find that the proposed project MAY have a “potentially significant impact” or “potentially significant unless mitigated” impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An Environmental Impact Report is required, but it must analyze only the effects that remain to be addressed.*
[]	I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or Negative Declaration pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Kristina Boero

July 14, 2021

Kristina Boero, Senior Planner

Date

Attachments:

- Attachment 1 Aerial Map
- Attachment 2 General Plan, Area Plan and Zoning Maps
- Attachment 3 Project Plans
- Attachment 4 Pending and Recently Approved Projects List
- Attachment 5 Works Cited



**County of Ventura
Mitigated Negative Declaration
PL20-0057
Attachment 1 – Aerial Map**



Project: PL20-0057

 **APN: 008-0-170-410**

 **Area Plans**

 **General Plan**

 **Zoning**



Ventura County
Resource Management Agency
Information Systems GIS Services
Map created on 12-21-2020
Source: Pictometry: 2018

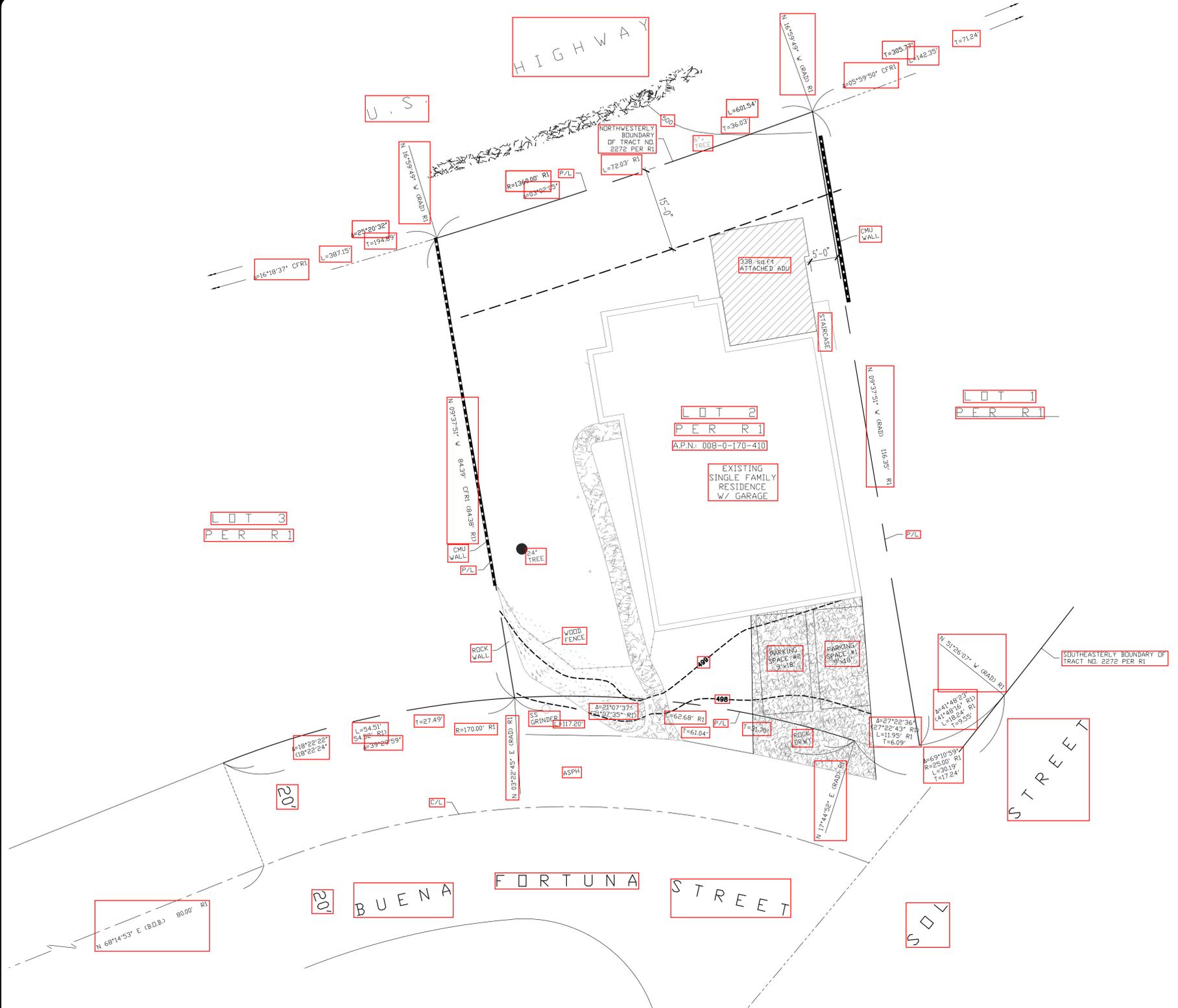


**County of Ventura
Mitigated Negative Declaration
PL20-0057
Attachment 2 - General Plan, Area Plan and Zoning
Maps**



Disclaimer: this map was created by the Ventura County Resource Management Agency Information Systems GIS, which is designed and operated solely for the convenience of the County and related public agencies. The County does not warrant the accuracy of this map and no decision involving a risk of economic loss or physical injury should be made in reliance therein





LEGAL DESCRIPTION:
 008-0-170-410
 TRACT # 2272-00
 BLOCK 2
 LOT 2
 LOT SIZE 7,164 SQ.FT.

PROJECT DESCRIPTION:
 TYPE V, SINGLE FAMILY RESIDENCE
 OCCUPANCY GROUP R1

STORIES:
 EXISTING RESIDENCE 1
 EXISTING GARAGE 1
 PROPOSED ADU 1

HIGH FIRE AREA:
 NO FIRE SPRINKLERS

SCOPE OF WORK:
 - NEW 338 sq.ft ATTACHED ADU

SCALE: 1/10" = 1'-0"

NORTH

DRAINAGE MUST SLOPE AT LEAST 2% FROM STRUCTURE INTO YARD DRAINS

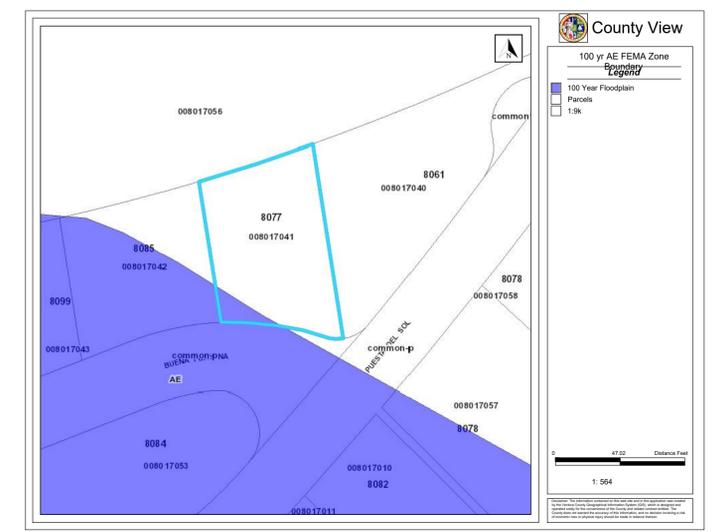
NOTE:
 SOME ASSUMPTIONS WERE MADE ABOUT INACCESSIBLE PORTIONS OF THE EXISTING FOUNDATION AND FRAMING BASED ON COMMON BUILDING PRACTICES TODAY. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING ANY WORK. THE CONTRACTOR SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF MTECH.

NOTE:
 CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A WEATHER TYPE SEAL AROUND ALL JUNCTURES BETWEEN NEW AND EXISTING CONSTRUCTION. CONTRACTOR IS ALSO RESPONSIBLE FOR PROPERLY INSTALLING METAL FLASHING WHERE REQUIRED.

THIS PROJECT SHALL COMPLY WITH THE 2019 EDITION OF THE CALIFORNIA RESIDENTIAL CODE (CRC), CMC, CEC, CPC, 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS, WHICH ADOPTS LOCAL AMENDMENTS



VICINITY MAP



FEMA MAP

NTS

-GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION IS SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5 PERCENT FOR A MINIMUM DISTANCE OF 10'. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. (CRC 401.5)

- DRAINAGE ACROSS INTERIOR LOT LINES CREATING CROSS-LOT DRAINAGE IS NOT PERMITTED NOR CHANGES IN THE DRAINAGE PATTERN WHICH ALTER OR INCREASE QUANTITY WHICH DISCHARGES TO ADJOINING PROPERTIES. (CBC APPENDIX J109.4)

-NOTE: FOR THIS RESIDENCE GUTTERS, DOWNSPOUTS, PIPING AND/ OR OTHER NON-EROSIVE DEVICES SHALL BE PROVIDED TO COLLECT AND CONDUCT RAINWATER TO A STREET, STORM DRAIN OR OTHER APPROVED WATER COURSE OR DISPOSAL AREA.

- IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOIL'S INVESTIGATION REPORT MAY BE REQUIRED.

-THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/ OR ADDITIONAL EXPENSES.

-BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (R319)

-AN APPROVED SEISMIC GAS SHUT-OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170J158) (SEPARATE PLUMBING PERMIT IS REQUIRED)

-FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SEC. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. P/BC 2008-014

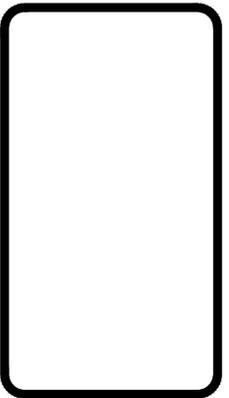
SHEET INDEX

- T-1 PLOT PLAN, VICINITY MAP, LEGEND
- AN-1 GENERAL NOTES
- A-1 FLOOR PLAN, ELEVATIONS, AND SECTIONS
- A-2 DETAILS

County of Ventura
 Mitigated Negative Declaration
 PL20-0057
 Attachment 3 - Project Plans

PLANNING SERVICES
 GENERAL ENGINEERING
 & BUILDING CONTRACTORS
R.W.C. LLC
 SANTA PAULA CA Lic# 716695
 TEL: 805-525-6400

REVISIONS	DATE
PLANNING REV	1-16-20



TIM FINNIGAN
 8077 BUENA FORTUNA
 CARPINTERIA, CA 93013
 APN 004-0-170-410

DRAWN
CHECKED W.L.
DATE 11-8-2020
SCALE 1/10" = 1'-0"
JOB NO. RINCON
SHEET T-1

THE PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

- 2019 California Energy Code (CEC)
- 2019 CALIFORNIA GREEN CODE (CALGREEN)
- 2019 California Residential Code (CRC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 California Electrical Code (CEC)
- 2019 CALIFORNIA PLUMBING CODE (CPC)

ELECTRICAL

- AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOM WITHIN 3' -0" FROM BASIN. AT LEAST ONE 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLET(S). BATHROOM OUTLETS SHALL HAVE GFCI PROTECTION. [CEC 210.52(D), 210.11(C)(3) & 210.8(A)(1)]
- ALL 125VOLT, 15-AMPERE AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER RESISTANT. [CEC 406.12]
- BOTH NEW AND MODIFIED BRANCH WIRING CIRCUITS SHALL HAVE ARC-FAULT CIRCUIT PROTECTION FOR 120-VOLT, SINGLE PHASE, 15 AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLINGS. [CEC 210.12(A)]
- NO PART OF A HANGING FIXTURE IS ALLOWED CLOSER THAN 8 FEET ABOVE THE TUB RIM OR 3 FEET HORIZONTALLY FROM THE TUB RIM, UNLESS LIGHT FIXTURE(S) IN SHOWER ENCLOSURE AREA IS LISTED FOR DAMP AREAS OR LISTED FOR WET LOCATIONS. [CEC 410.10(D)]
- ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY; EITHER LISTED BY SOURCE TYPE OR BY BEING JA8-2016 CERTIFIED AND LABELED. [CEC 150.0(K)(1A)]
- A MINIMUM OF ONE LUMINARIES SHALL BE INSTALLED IN EACH BATHROOM CONTROLLED BY A VACANCY SENSOR.
- LUMINARIES RECESSED INTO CEILINGS MUST MEET ALL OF THE REQUIREMENTS FOR: INSULATION CONTACT (IC) LABELING; AIR LEAKAGE; SEALING; MAINTENANCE; AND SOCKET AND LIGHT SOURCE AS DESCRIBED IN § 150.0(K)(C). ONLY JA8-2016-E CERTIFIED AND MARKED LIGHT SOURCE, RATED FOR ELEVATED TEMPERATURE, MUST BE INSTALLED BY FINAL INSPECTION. [CEC 150.0(K)(C)]
- ALL EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. [CEC 150.0(K)(2B)]
- FOR OCCUPANCIES WITH A HORIZONTAL RATED SEPARATION (FLOOR/CEILING ASSEMBLY), THE RECESSED FIXTURES MUST BE PROTECTED TO THE RATING OF THE SEPARATION (1 HOUR) OR BE LISTED TO THE REQUIRED PROTECTION. THIS GENERALLY APPLIED TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS.
- ALL RECEPTACLE OUTLETS SERVING COUNTERTOPS IN KITCHENS OF DWELLING UNITS TO BE GFCI PROTECTED. [CEC 210.8(A) (6)]
- WALL COUNTER SPACE, A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTER SPACE 12 INCHES OR WIDER. RECEPTACLES OUTLET SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL IS MORE THAN 24 INCHES, MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THE SPACE. [CEC 210.52 (C) (1)]
- ISLAND COUNTER SPACE: AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER. [CEC 210.52(C) (2)]
- PENINSULAR COUNTER SPACE: AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH PENINSULAR COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER. A PENINSULAR COUNTER TOP IS MEASURED FROM THE CONNECTING EDGE. [CEC 210.52(C) (3)]
- SEPARATE SPACES: COUNTER SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTER SPACES IN APPLYING THE REQUIREMENTS OF CEC 210.52 (C) (1) (2) (3). [CEC 210.52(C) (4)]
- COUNTER TOP RECEPTACLE OUTLET LOCATION: RECEPTACLE OUTLETS SHALL BE LOCATED NOT MORE THAN 20 INCHES ABOVE THE COUNTERTOP. RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE UP POSITION IN THE WORK SURFACES OR COUNTERTOPS. RECEPTACLE OUTLETS RENDERED NOT READILY ACCESSIBLE BY APPLIANCES FASTENED IN PLACE, APPLIANCE GARAGES, SINKS, OR RANGE TOPS AS COVERED IN 210.52(C)(1), EXCEPTION, OR APPLIANCES OCCUPYING DEDICATED SPACE SHALL NOT BE CONSIDERED AS THESE REQUIRED OUTLETS. [CEC 210.52 (B) (5)]
- TWO SMALL APPLIANCE OUTLET CIRCUITS, 20 AMPS EACH, ARE REQUIRED FOR KITCHENS. CIRCUITS SHALL BE BALANCED AND HAVE NO OTHER OUTLETS. [CEC 210.52 (B)(1), (2)]
- INDIVIDUAL DEDICATED CIRCUITS ARE REQUIRED FOR ALL MAJOR APPLIANCES. [CEC 210.11(C) (1) & 422.10 (A)]
- GARBAGE DISPOSAL CORD AND PLUG CONNECTED WITH A FLEXIBLE CORD 18" TO 36" LONG. [CEC 422.16 (B)(1)]
- DISHWASHER CORD 36" TO 48" LONG. [CEC 422.16(B)(2)] □ MINIMUM 15 AMP CIRCUIT FOR THE DISHWASHER AND A 15 AMP CIRCUIT FOR THE DISPOSAL. [CEC 210.23(A)]
- PROVIDE DEDICATED CIRCUIT FOR KITCHEN HOOD. [CEC 210.52 (B) (2)]
- IF USING A SPLIT OUTLET (TWO CIRCUITS ON THE SAME YOKE) FOR DISHWASHER/DISPOSAL, PROVIDE A LISTED HANDLE TIE AT THE TWO CIRCUIT BREAKERS AT THE PANEL. [CEC 210.7]
- RANGE HOODS SHALL BE PERMITTED TO BE CORD-AND-PLUG CONNECT WHEN THE CORD IS TERMINATED WITH GROUNDING TYPE, NOT LESS THAN 18 INCHES AND NOT OVER 36", THE RECEPTACLE IS ACCESSIBLE AND SUPPLIED BY AN INDIVIDUAL BRANCH CIRCUIT. [CEC 422.16 (B) (4)]
- ALL INSTALLED LUMINARIES SHALL BE HIGH EFFICACY; EITHER LISTED BY SOURCE TYPE OR BY BEING JA8-2016 CERTIFIED AND LABELED.
- SCREEN BASED LUMINARIES SHALL MEET ALL OF THE FOLLOWING:
 - 1- THE LUMINARIES SHALL NOT BE RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS; AND
 - 2- THE LUMINARIES SHALL CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JA8; AND
 - 3- THE INSTALLED LAMPS SHALL BE MARKED WITH JA8-2016 OR JA8-2016-E
- RECESSED LIGHT FIXTURES IN INSULATED CEILINGS SHALL BE APPROVED, LISTED, ZERO-CLEARANCE INSULATION COVER (IC) TYPE, CERTIFIED AIR TIGHT (ASTM E283) AND SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING, AND SHALL BE CERTIFIED TO COMPLY WITH SECTION 110.9 AND ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW. [CEC 150.0(K)(C)]

ELECTRICAL CONT.

- LUMINARIES RECESSED INTO CEILINGS MUST MEET ALL OF THE REQUIREMENTS FOR: INSULATION CONTACT (IC) LABELING; AIR LEAKAGE; SEALING; MAINTENANCE; AND SOCKET AND LIGHT SOURCE AS DESCRIBED IN CEC 150.0(K)(C). A JA8-2016-E LIGHT SOURCE, RATED FOR ELEVATED TEMPERATURE, MUST BE INSTALLED BY FINAL INSPECTION IN ALL RECESSED CEILING DOWNLIGHT LUMINAIRES.
- EXHAUST FANS AND UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM. [CEC 150.0(K)(2B)]
- BLANK ELECTRICAL BOXES, ALL UNUSED ELECTRICAL BOXES MOUNTED ABOVE 5 FEET FROM THE FINISHED FLOOR SHALL BE NO MORE THAN THE NUMBER OF BEDROOMS AND SHALL BE SERVED BY DIMMER OR VACANCY SENSOR CONTROL, OR FAN SPEED CONTROL. [CEC 150.0(K)(B)]
- FOR OCCUPANCIES WITH A HORIZONTAL RATED SEPARATION (FLOOR/CEILING ASSEMBLY), THE RECESSED FIXTURES MUST BE PROTECTED TO THE RATING OF THE SEPARATION (1 HOUR) OR BE LISTED TO THE REQUIRED PROTECTION. THIS GENERALLY APPLIED TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS.

MECHANICAL

- BATH AND TOILET ROOMS SHALL HAVE AN EXHAUST RATE OF 50 CFM INTERMITTENT OR 25 CFM CONTINUOUS. [CMC TABLE 403.1]
- EACH BATHROOM, OR ROOM CONTAINING A BATHTUB, SHOWER, OR TUB SHOWER COMBINATION, SHALL BE MECHANICALLY VENTILATED. UNLESS FUNCTIONING AS A PART OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF < 50 PERCENT TO A MAXIMUM OF 80 PERCENT. THE CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. THE CONTROL MAY BE A SEPARATE COMPONENT OR INTEGRAL TO THE EXHAUST FAN. [CMC 402.5, CALGREEN 4.506]
- BATH AND TOILET ROOM WINDOWS SHALL NOT BE LESS THAN 3 SQUARE FEET, ONE HALF OF WHICH MUST BE OPERABLE. [CRC R303.3]
- A BATH EXHAUST FAN, WITH BACK DRAFT DAMPER AND HUMIDITY CONTROL, IS REQUIRED REGARDLESS OF THE PRESENCE OF A WINDOW (ROOM CONTAINING A BATHTUB, SHOWER, SPA OR OTHER SIMILAR SOURCE OF MOISTURE). [CRC R303.3]
- EXHAUST MUST VENT TO OUTDOOR IN AN APPROVED DUCT. TERMINATE THE OUTLET A MINIMUM OF 3 FEET FROM AN OPENING OR PROPERTY LINE. [CMC 504.5]
- MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ANY PLUMBING VENTS AND SUCH OPENING SHALL BE LOCATED A MINIMUM OF 3 FEET BELOW THE CONTAMINANT SOURCE. [CRC R303.5]
- FANDUCT/VENT TERMINATION LOCATIONS. INDICATE THAT FAN AND DUCT OPENINGS (ENVIRONMENTAL AIR DUCTS) SHALL TERMINATE AT LEAST THREE (3) FEET FROM PROPERTY LINES OR OPENINGS INTO THE BUILDING WITH BACK DRAFT DAMPER. PLUMBING VENTS WITHIN TEN (10) FEET OF OPERABLE SKYLIGHTS SHALL EXTEND A MINIMUM OF THREE (3) FEET ABOVE SUCH OPENINGS. [CMC 504.1, 504.5, CPC 406.2]
- IN KITCHEN SPECIFY THE LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS SHALL HAVE A MINIMUM EXHAUST RATE OF 100 CFM. [CEC 150.0(G), EXC. 5 TO 152(A) & ASHRAE STD. 62.2]
- A DUCTED RESIDENTIAL EXHAUST HOOD IS REQUIRED. A METAL, SMOOTH INTERIOR SURFACE DUCT REQUIRED ON VENT HOOD OR DOWN DRAFT EXHAUST VENT. ALUMINUM FLEX DUCT IS NOT APPROVED. PROVIDE BACK DRAFT DAMPER [CMC 504.2]
- UPPER CABINETS SHALL BE A MINIMUM OF 30" ABOVE COOKING TOP OR A HOOD IS TO BE INSTALLED PER MANUFACTURER 'S REQUIREMENTS WITH CLEARANCES AS REQUIRED BY THE RANGE/COOK TOP MANUFACTURER 'S INSTALLATION INSTRUCTIONS. PROVIDE MINIMUM CLEARANCES TO COMBUSTIBLE MATERIALS PER [CMC 416.1.2]
- GAS LINES THAT RUN UNDER A SLAB SHALL RUN THROUGH AN APPROVED, VENTED, GAS TIGHT CONDUIT. [CPC 1211.6]
- AN ACCESSIBLE, APPROVED MANUAL SHUTOFF VALVE WITH A NON-DISPLACEABLE VALVE MEMBER, OR A LISTED GAS CONVENIENCE OUTLET INSTALLED WITHIN SIX (6) FEET OF THE APPLIANCE IT SERVES. WHERE A CONNECTOR IS USED, THE VALVE SHALL BE INSTALLED UPSTREAM OF THE CONNECTOR. A UNION OR FLANGED CONNECTION SHALL BE PROVIDED DOWNSTREAM FROM THIS VALVE TO PERMIT REMOVAL OF CONTROLS. [CPC 1211.5]
- NO DOMESTIC DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIRGAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIRGAPS SHALL BE INSTALLED WITH THE FLOOD-LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER. [CPC 807.4]
- FAUCETS AT KITCHENS SHALL NOT HAVE A FLOW RATE OF GREATER THAN 1.8 GPM AT 60 PSI.
- NEW GAS APPLIANCES AT KITCHEN SHOULD BE SPECIFIED. PROVIDE A SINGLE LINE DIAGRAM OF GAS PIPING, SHOWING PIPE SIZES, LENGTHS, AND BTU DEMAND RATINGS FOR ALL GAS APPLIANCES.
- GAS TEST DURATION SHALL BE NOT LESS THAN ONE-HALF (½) HOUR FOR EACH FIVE-HUNDRED (500) CUBIC FEET OF PIPE VOLUME OF FRACTION THEREOF. WHEN TESTING A SYSTEM HAVING A VOLUME LESS THAN TEN (10) CUBIC FEET OR A SYSTEM IN A SINGLE-FAMILY DWELLING, THE TEST DURATION SHALL BE NOT LESS THAN TEN (10) MINUTES. THE DURATION OF THE TEST SHALL NOT BE REQUIRED TO EXCEED TWENTY FOUR (24) HOURS. [NFPA 54:8.1.4.3, CPC 1214.3.3]

PLUMBING NOTES

- FIXTURE WATER CONSUMPTION:
- RESIDENTIAL LAVATORY FAUCETS SHALL NOT HAVE A FLOW RATE OF GREATER THAN 1.2 GPM AND KITCHEN FAUCETS 1.8 GPM AT 60 PSI. [CPC 407.2.1]
- WATER CLOSETS, FLUSH TANK, FLUSHOMETER TANK, OR FLUSHOMETER VALVE OPERATED, SHALL HAVE AN AVERAGE CONSUMPTION OF NOT MORE THAN 1.28 GALLONS OF WATER PER FLUSH FOR BOTH SINGLE AND DUAL FLUSH TOILETS EFFECTIVE JULY 1, 2011. [CPC 411.2]
- SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GPM AT 80 PSI. [CPC 408.2]
- URINALS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 0.125 GALLONS OF WATER PER FLUSH EFFECTIVE JANUARY 26, 2016. [CPC 412.1.1]
- NON-WATER URINALS (WATERLESS) SHOULD MEET ALL THE REQUIREMENTS OF SECTION 412, INCLUDING PROVIDING WATER DISTRIBUTION AND FIXTURE SUPPLY PIPING. [CPC 412.1.3]
- PLUMBING FIXTURE CLEARANCES FOR FIXTURES THAT ARE NOT REQUIRED TO CONFORM TO ACCESSIBILITY CODES:
- WATER CLOSETS SHALL NOT BE SET CLOSER THAN 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION AND 30" FROM CENTER TO CENTER OF ANY SIMILAR FIXTURE. PROVIDE 24" MINIMUM CLEAR SPACE IN FRONT OF FIXTURE. [CPC 402.5]
- URINALS SHALL NOT BE SET CLOSER THAN 12" FROM THEIR CENTER TO ANY SIDE WALL OR OBSTRUCTION NOR 24" FROM CENTER TO CENTER [CPC 402.5]
- THE FINISHED FLOOR SLOPE AT SHOWER RECEPTOR IS MIN. ¼" AND MAX. ½" PER FOOT. [CPC 408.5]
- IN NO CASE SHALL ANY SHOWER RECEPTOR THRESHOLD BE LESS THAN TWO (2) INCHES OR EXCEEDING NINE (9) INCHES IN DEPTH WHEN MEASURED FROM THE TOP OF THE THRESHOLD TO THE TOP OF THE DRAIN. [CPC 408.5]
- NEW SHOWER COMPARTMENTS SHALL HAVE A FINISHED INTERIOR OF 1,024 SQUARE INCHES (71 SQUARE FEET) AND SHALL BE CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE. THE CLEARANCE SHALL BE MAINTAINED UP TO 10 INCHES OF HEIGHT ABOVE SHOWER DRAIN. SHOWER DOOR TO BE TEMPERED, AND PROVIDE A MIN 22" CLEAR UNOBSTRUCTED OPENING. [CPC 408.6]
- PLUMBING FIXTURES AND FIXTURE FITTINGS FOR PERSONS WITH DISABILITIES SHALL CONFORM TO CBC CHAPTERS 11A OR 11B FOR SPECIFIC ACCESSIBILITY CODES. [CBC 11A OR 11B, 408.6]
- WHERE A FIXTURE IS INSTALLED ON A FLOOR LEVEL THAT IS LOWER THAN THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC OR PRIVATE SEWER (AT BASEMENT), SERVING SUCH DRAINAGE PIPING, SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE OF BACKWATER VALVE PER [CPC 710.1]
- DRAINAGE PIPING SERVING FIXTURES THAT ARE LOCATED BELOW THE CROWN LEVEL OF THE MAIN SEWER (AT BASEMENT) SHALL DISCHARGE INTO AN APPROVED WATER-TIGHT SUMP OR RECEIVING TANK, SO LOCATED AS TO RECEIVE THE SEWAGE OR WASTES BY GRAVITY. [CPC 710.2] WHIRLPOOL/ SPA TUBS
- WHIRLPOOL (SPA) BATHTUBS SHALL HAVE A READILY ACCESSIBLE ACCESS PANEL. [CPC 409.6]
- THE CIRCULATION PUMP SHALL BE LOCATED ABOVE THE CROWN WEIR OF THE TRAP. [CPC 409.6]
- THE PUMP AND THE CIRCULATION PIPING SHALL BE SELF-DRAINING TO MINIMIZE WATER RETENTION IN ACCORDANCE WITH STANDARDS REFERENCED IN TABLE 14-1. [CPC 409.6] BIDETS
- THE WATER SUPPLY TO BIDETS SHALL BE PROTECTED WITH AIR GAP OR VACUUM BREAKER. [CPC 410.2 & 603.3.5]
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM A BIDET IS LIMITED TO 110 DEGREES BY A DEVICE THAT CONFORMS TO ASSE 1070, STANDARD FOR WATER TEMPERATURE LIMITING DEVICES, OR CSA B125.3, STANDARD FOR PLUMBING FITTINGS. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION. [CPC 410.3]

SMOKE & CO ALARMS

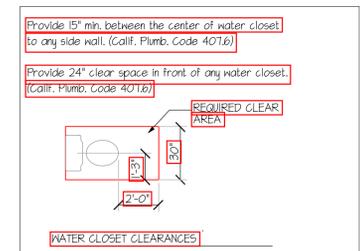
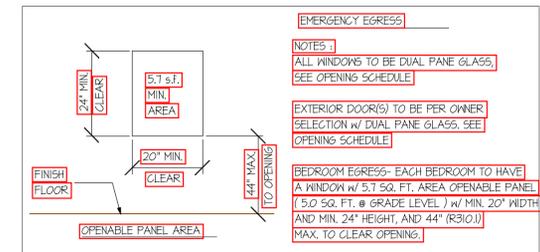
- INTERCONNECTED HARD-WIRED SMOKE ALARM WITH BATTERY BACKUP IN THE FOLLOWING: [R314]
 - a. IN EACH SLEEPING ROOM.
 - b. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
 - c. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
 - d. PROVIDE A NOTE: @SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.
 - e. BATTERY OPERATED OK ONLY WHERE NO ACCESS FOR WIRING IN ATTIC OR CRAWLSPACE.
 - f. FOR BUILDINGS WITH FUEL-BURNING APPLIANCES AND/OR ATTACHED GARAGES, PROVIDE AN APPROVED CARBON MONOXIDE ALARM AT: [R315.1]
 - a. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
 - b. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
 - c. PROVIDE A NOTE: @CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP. [R315.1.3]
 - d. BATTERY OPERATED OK WHERE NO ACCESS FOR WIRING. WINDOWS/DOORS

WINDOWS AND DOORS

- EXTERIOR WINDOWS/DOORS ADDED AND/OR REPLACED AS PART OF THE REMODELING PROJECT SHALL BE CLEARLY IDENTIFIED ON THE PLANS AND SHALL HAVE A FENESTRATION LABEL WITH U-FACTOR AND SOLAR HEAT GAIN COEFFICIENT MEETING THE REQUIREMENTS OF SECTION [CEC 110.6]
- SAFETY GLAZING IS REQUIRED WITHIN 60 INCHES HORIZONTALLY OF THE SHOWER ENCLOSURE AND WITHIN 60 INCHES VERTICALLY OF THE STANDING SURFACE

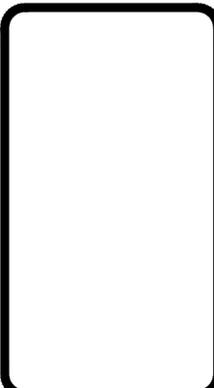
WINDOWS AND DOORS

- ALL LIGHTING ATTACHED TO THE RESIDENCE OR TO OTHER BUILDINGS ON THE SAME LOT MUST BE HIGH EFFICACY, AND MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND ONE OF THE FOLLOWING AUTOMATIC CONTROL TYPES:
 1. PHOTOCONTROL AND MOTION SENSOR.
 2. PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL.
 3. ASTRONOMICAL TIME CLOCK CONTROL THAT AUTOMATICALLY TURNS THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS.
 4. ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) THAT PROVIDES THE FUNCTIONALITY OF AN ASTRONOMICAL TIME CLOCK, DOES NOT HAVE AN OVERRIDE OR BYPASS SWITCH THAT ALLOWS THE LUMINAIRE TO BE ALWAYS ON, AND IS PROGRAMMED TO AUTOMATICALLY TURN THE OUTDOOR LIGHTING OFF DURING DAYLIGHT HOURS. MANUAL ON AND OFF SWITCHES MUST NOT OVERRIDE THE AUTOMATIC CONTROL FUNCTIONS LISTED ABOVE, AND ANY CONTROL THAT OVERRIDES THE AUTOMATIC CONTROLS TO ON MUST AUTOMATICALLY REACTIVATE THOSE CONTROLS WITHIN SIX HOURS.



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R.W.C. LLC
SANTA PAULA CA Lic# 716695
TEL: 805-525-6400

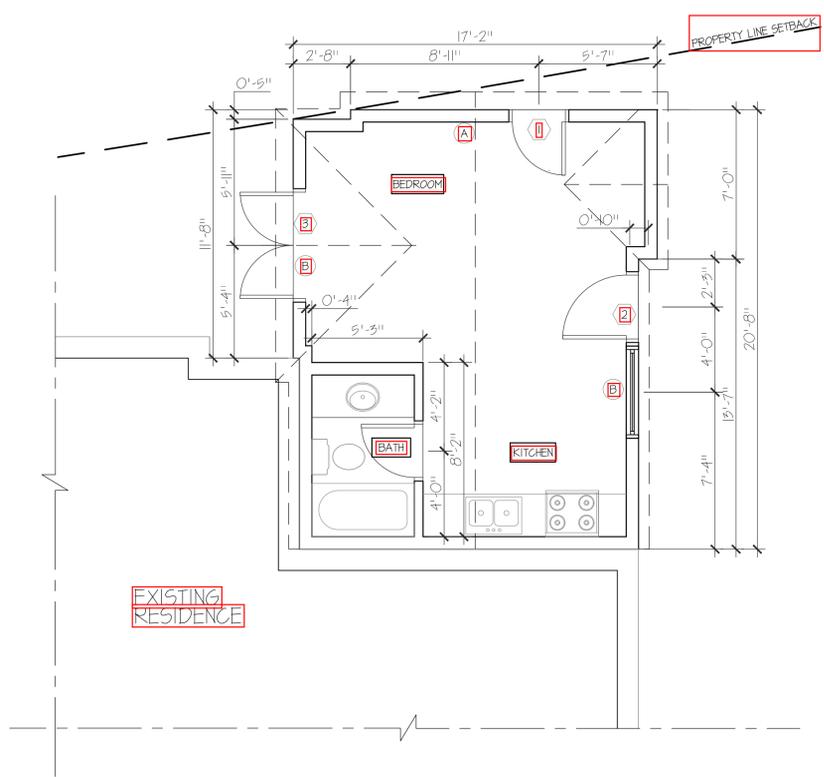
REVISIONS	DATE
PLANNING REV	1-16-20



TIM FINNIGAN FORTUNA
8077 BUENA FORTUNA
CARPINTERIA, CA 93013
APN 004-0-170-410

DRAWN
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DATE 11-8-2020
SCALE AS NOTED
JOB NO. RINCON
SHEET

AN-1



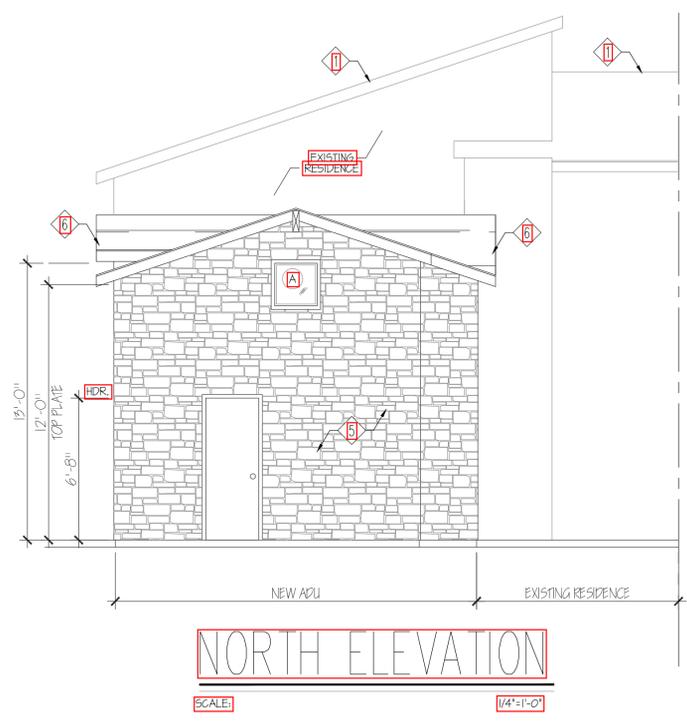
FLOOR PLAN
SCALE: 1/4"=1'-0"



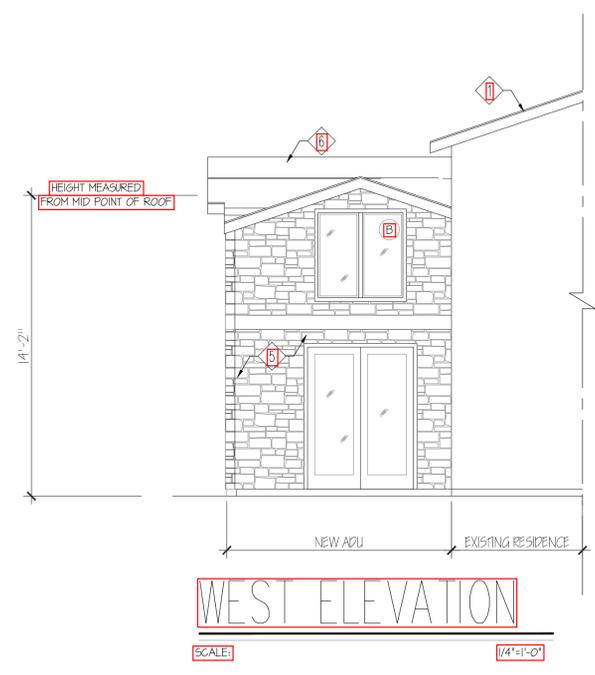
WALL LEGEND	
[Line style]	DWG EXTERIOR & PLUMBING WALL

DOOR SCHEDULE						
SYM.	SIZE	TYPE	THK.	REMARKS	SHGC	U
(1)	2'-6" x 6'-8"	SOLID	1-3/4"	MFR & HARDWARE PER OWNER		
(2)	5'-0" x 6'-8"	SOLID	1-3/4"	MFR & HARDWARE PER OWNER		
(3)	5'-0" x 6'-8"	DBL DOORS		MFR & HARDWARE PER OWNER, TEMP'D		

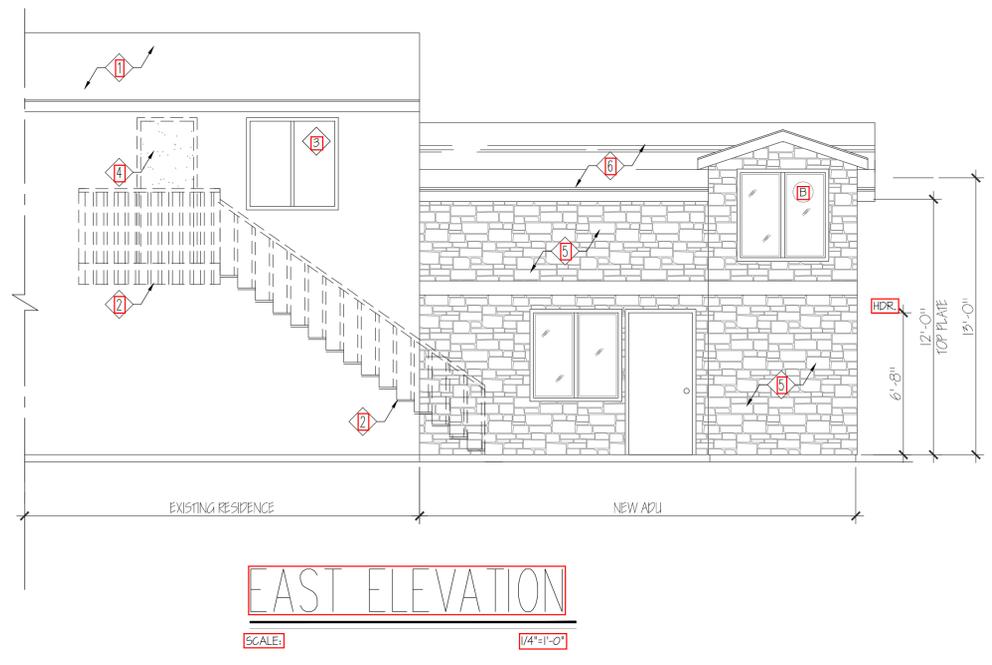
WINDOW SCHEDULE						
SYM.	SIZE	TYPE	GLASS	REMARKS	SHGC	U
(A)	2'-0" x 2'-0"	FIXED	DUAL	MFR AND HARDWARE, PER OWNER, TEMP'D		
(B)	4'-0" x 4'-0"	SLIDER	DUAL	MFR AND HARDWARE, PER OWNER, TEMP'D		



NORTH ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"



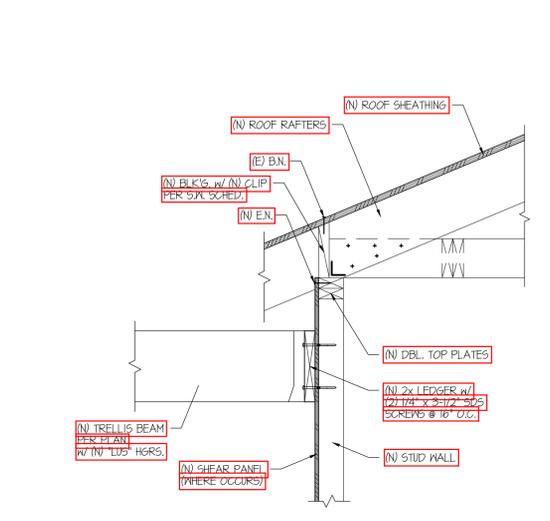
EAST ELEVATION
SCALE: 1/4"=1'-0"

- NOTES**
- (1) = (E) ROOF TO REMAIN
 - (2) = DEMO STAIRS TO MAIN RESIDENCE
 - (3) = (E) WINDOWS AND DOOR(S) TO REMAIN
 - (4) = FRAME IN DOOR OPENING w/ 2x STUDS, EXTERIOR FINISH TO MATCH EXISTING RESIDENCE
 - (5) = EXTERIOR FINISH TO MATCH EXISTING RESIDENCE
 - (6) = NEW ROOF OVER SHARK SKIN UNDERLAYMENT, COLOR AND MATERIAL TO MATCH

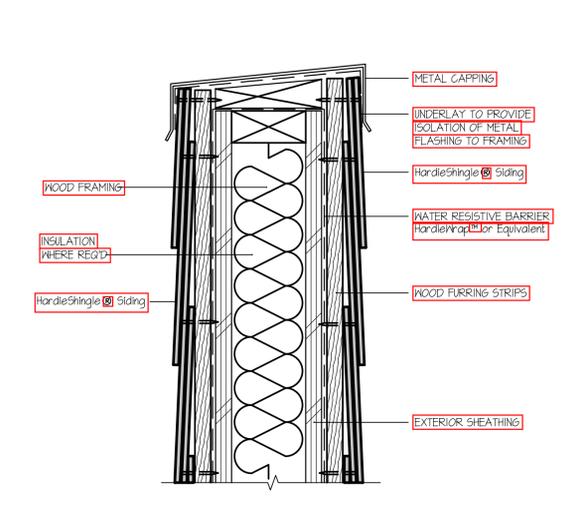
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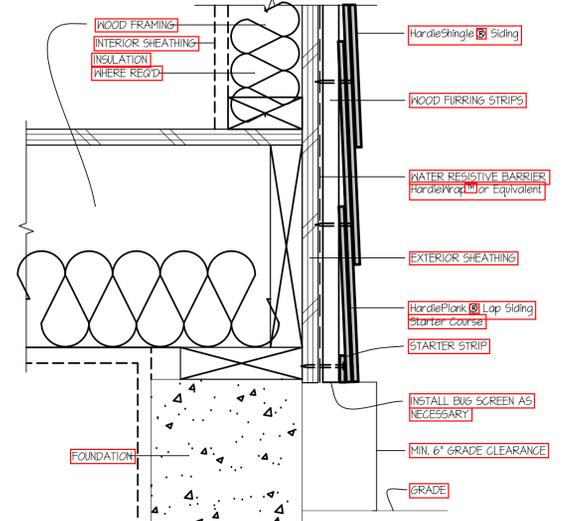
DRAWN
CHECKED W.L.
DATE 11-8-2020
SCALE 1/4" = 1'-0"
JOB NO. RINCEN
SHEET



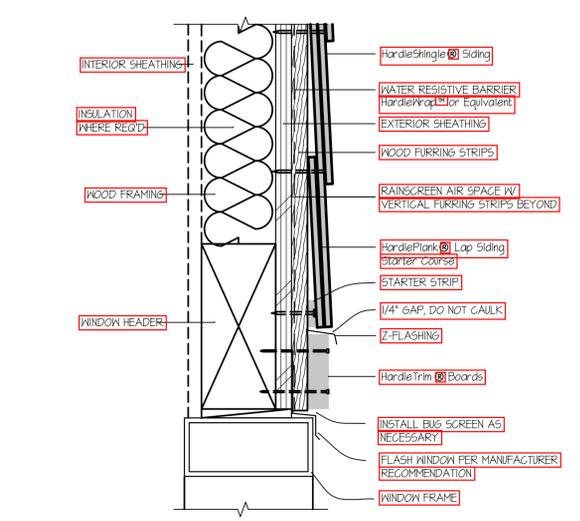
12 LEDGER DETAIL SCALE: NTS



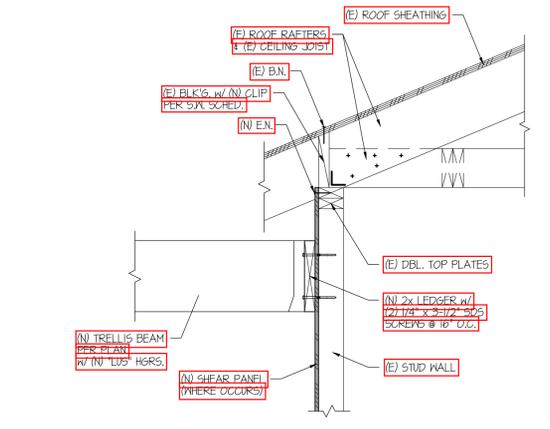
9 PARAPET - RAINSCREEN SCALE: 3/4"-1'-0"



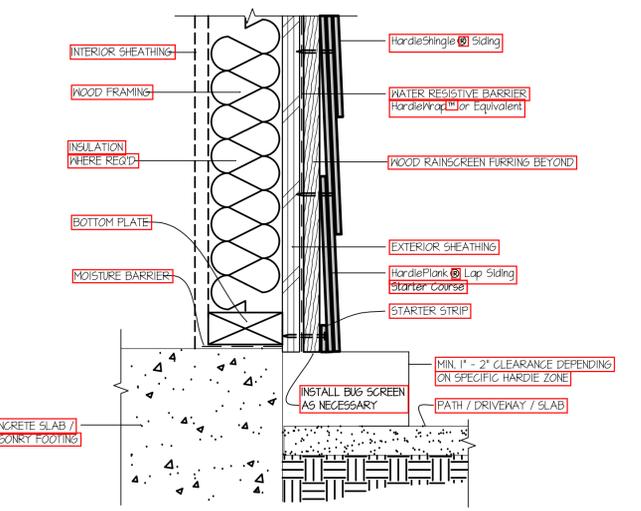
6 GRADE CLEARANCE - RAINSCREEN SCALE: 3/4"-1'-0"



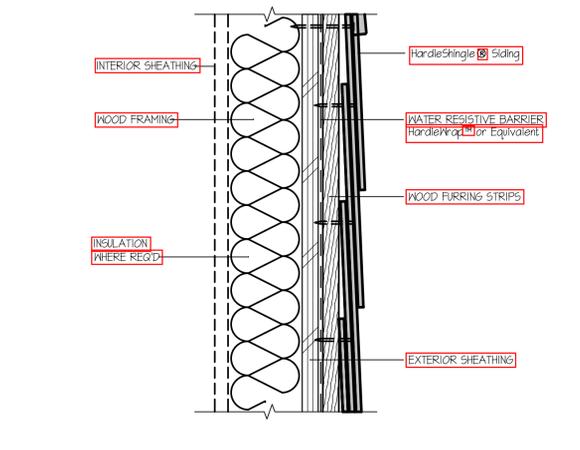
3 WINDOW/DOOR HEAD - RAINSCREEN SCALE: 3/4"-1'-0"



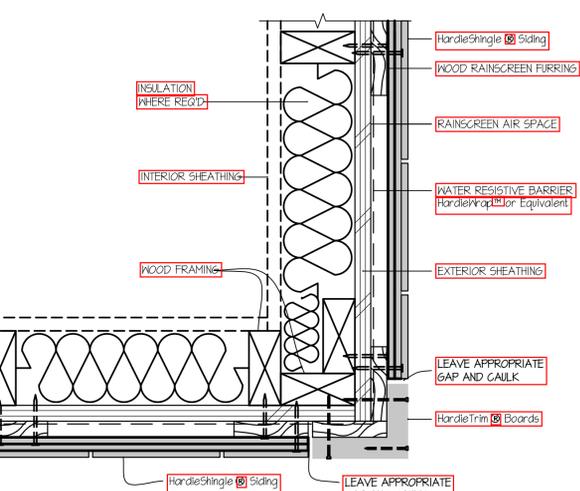
11 LEDGER DETAIL SCALE: NTS



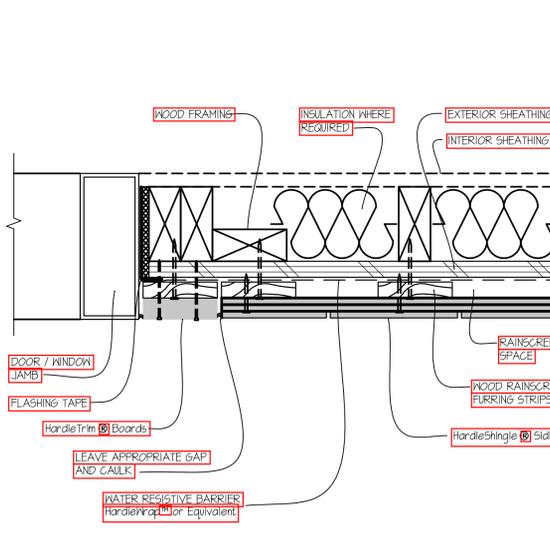
8 HARDSCAPE CLEARANCES, RAINSCREEN, DECKS, PORCHES, PATIOS, WALKWAYS, ROOFS, ETC. SCALE: 1/2"-1'-0"



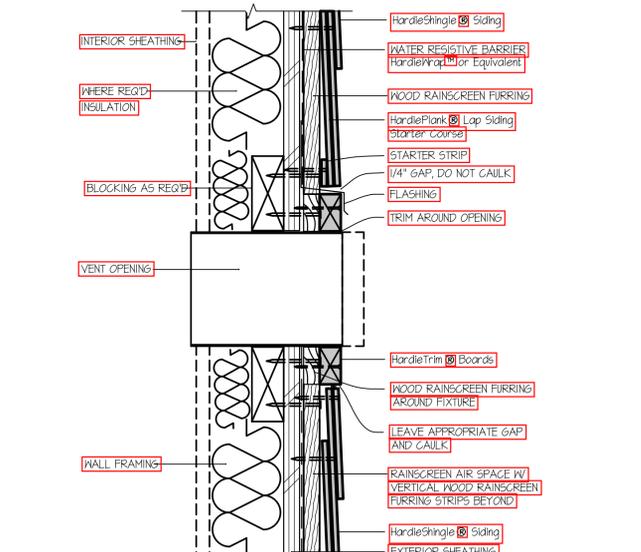
5 HORIZONTAL LAP VIEW - RAINSCREEN SCALE: 3/4"-1'-0"



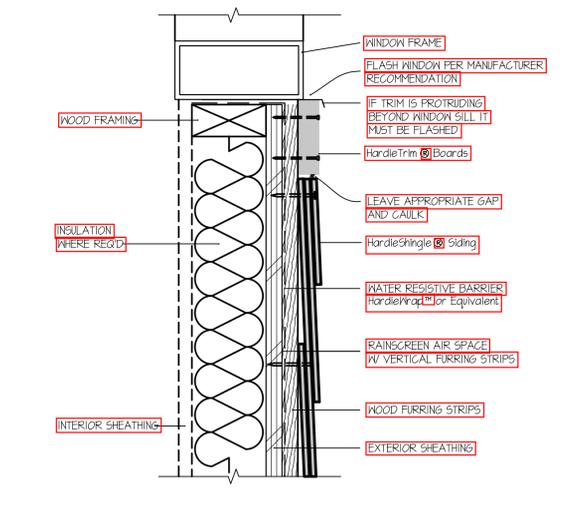
2 OUTSIDE CORNER - RAINSCREEN SCALE: 3/4"-1'-0"



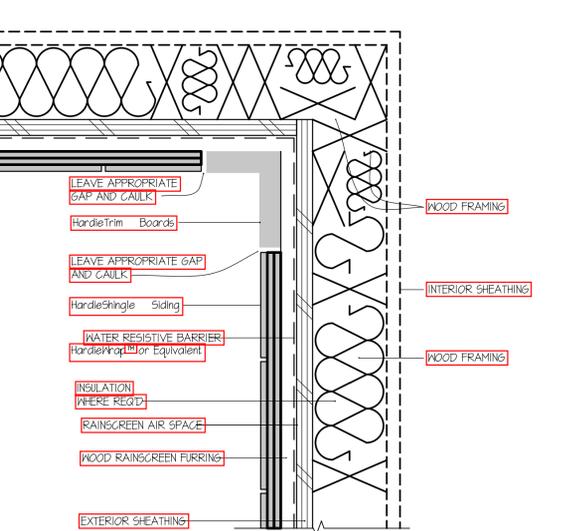
10 DOOR / WINDOW JAMB - RAINSCREEN SCALE: 3/4"-1'-0"



7 FIXTURE PENETRATION - RAINSCREEN SCALE: 3/4"-1'-0"



4 WINDOW SILL - RAINSCREEN SCALE: 3/4"-1'-0"



1 INSIDE CORNER - RAINSCREEN SCALE: 3/4"-1'-0"

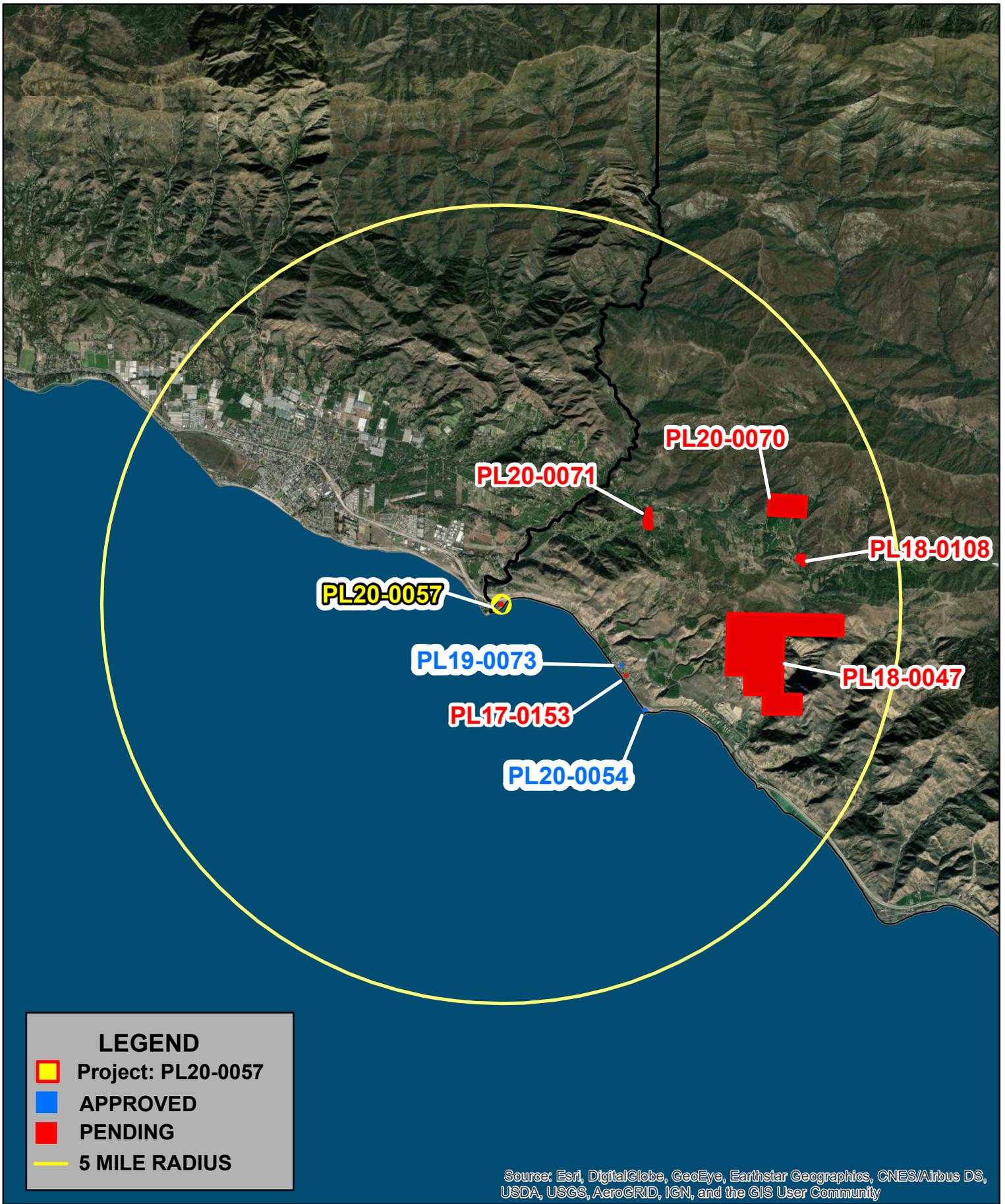
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A-2



LEGEND

- Project: PL20-0057
- APPROVED
- PENDING
- 5 MILE RADIUS

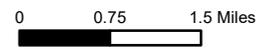
Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



Ventura County, California
 Resource Management Agency
 GIS Development & Mapping Services
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County of Ventura
 Mitigated Negative Declaration
 PL20-0057
 Attachment 4 – Pending and Recently Approved
 Projects List



Disclaimer: This Map was created by the Ventura County Resource Management Agency, Mapping Services - GIS which is designed and operated solely for the convenience of the County and related public agencies. The County does not warrant the accuracy of this map and no decision involving a risk of economic loss or physical injury should be made in reliance thereon.



Attachment 5 - Works Cited
Coastal Planned Development Case No. PL20-0057

Ventura County Initial Study Assessment Guidelines, April 26, 2011

Ventura County Coastal Zoning Ordinance, December 15, 2020

Project Plans, prepared by Robert William Company, LLC, dated November 6, 2020
(revised December 2, 2020)

Pending and Approved Projects in Unincorporated Ventura County, County of Ventura
Resource Management Agency GIS Department, dated December 21, 2020

Casitas Municipal Water District Will Serve Letter, dated June 16, 2020

Final Environmental Impact Report for the Carpinteria Sanitary District's South Coast
Beach Communities Septic to Sewer Project, prepared by Padre and Associates, 2003

Mitigation monitoring and Reporting Program for Coastal Planned Development Permit
No. LU10-0001, December 9, 2010

Formal Notification of Determination that a Project Application is Complete and
Notification of Native American Consultation Opportunity to Julie Tumamait- Senslie of
the Barbareno-Ventureno Mission Indians for Coastal Planned Development Permit
Case No. PL20-0057, dated January 7, 2021

Watershed Protection District, Advanced Planning Floodplain, Nathaniel Summerville,
July 7, 2020

Watershed Protection District, Planning and Regulatory Division, Nathaniel Summerville
July 7, 2020

Ventura County Public Works Agency, Surface Water Quality Section, Ewelina
Mutkowska, July 7, 2020

Ventura County Agricultural Commissioner's Office, Alec Thille, June 30, 2020

Integrated Waste Management Division, Tobie Mitchell, June 29, 2020

Ventura County Environmental Health Division, Ramesh Bassiri, June 29, 2020

Ventura County Fire Protection District, Ruben Luna, June 30, 2020

Ventura County Public Works Agency, Development and Inspection Services Division,
Jim O'Tousa, July 21, 2020

Ventura County Public Works Agency, Development and Inspection Services Division,
Jim O'Tousa, July 21, 2020

Ventura County Watershed Protection District, Groundwater Section, James Maxwell,
July 7, 2020

Ventura County Public Works Agency Roads and Transportation Department, Darren
Arrieta, June 25, 2020

Ventura County Air Pollution Control District, Nicole Collazo, July 9, 2020

Ventura County Planning GIS data layers, 2021

Ventura County 2040 General Plan October 15, 2020