



LURIN - COLE

RIVERSIDE, CALIFORNIA

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Diversified Pacific Communities
10621 Civic Center Drive
Rancho Cucamonga, CA 91730

LURIN LAND
Riverside, CA # 2019-0789

Plot Date: 06.23.2020

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ARCHITECTURE

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PLAN 5B

PLAN 1A

PLAN 4C

PLAN 2B

PLAN 3A

PLAN 5C



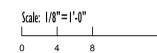
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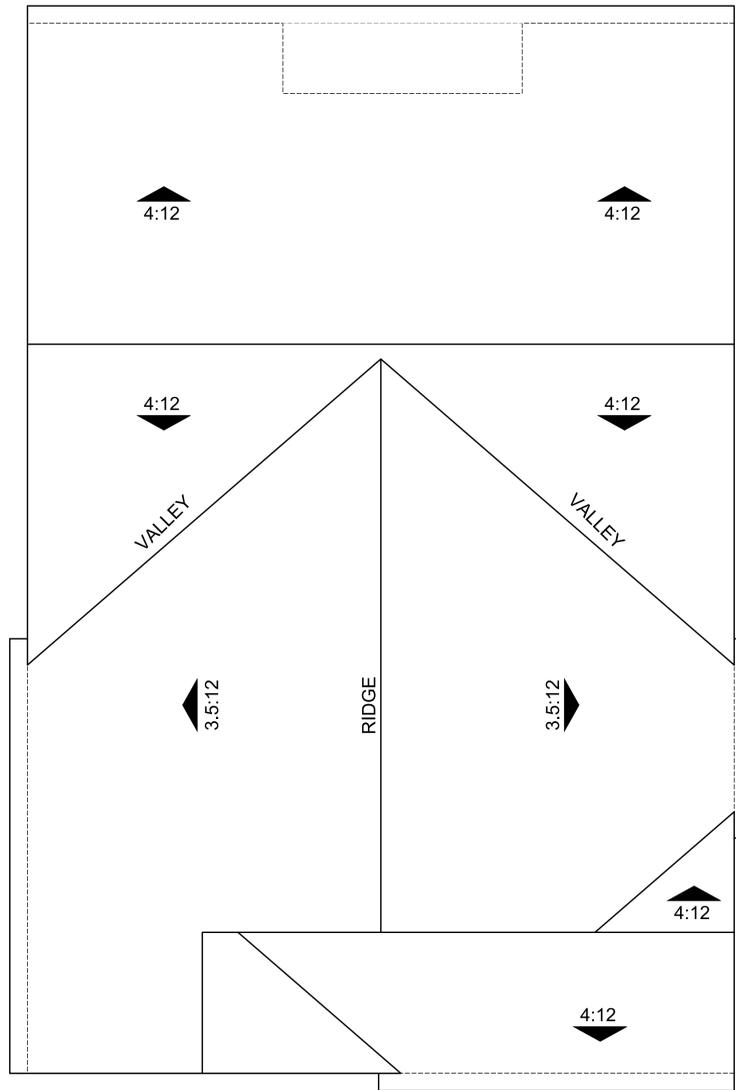
LURIN LAND
 Riverside, CA #2019-0789

Plot Date: 06.23.2020

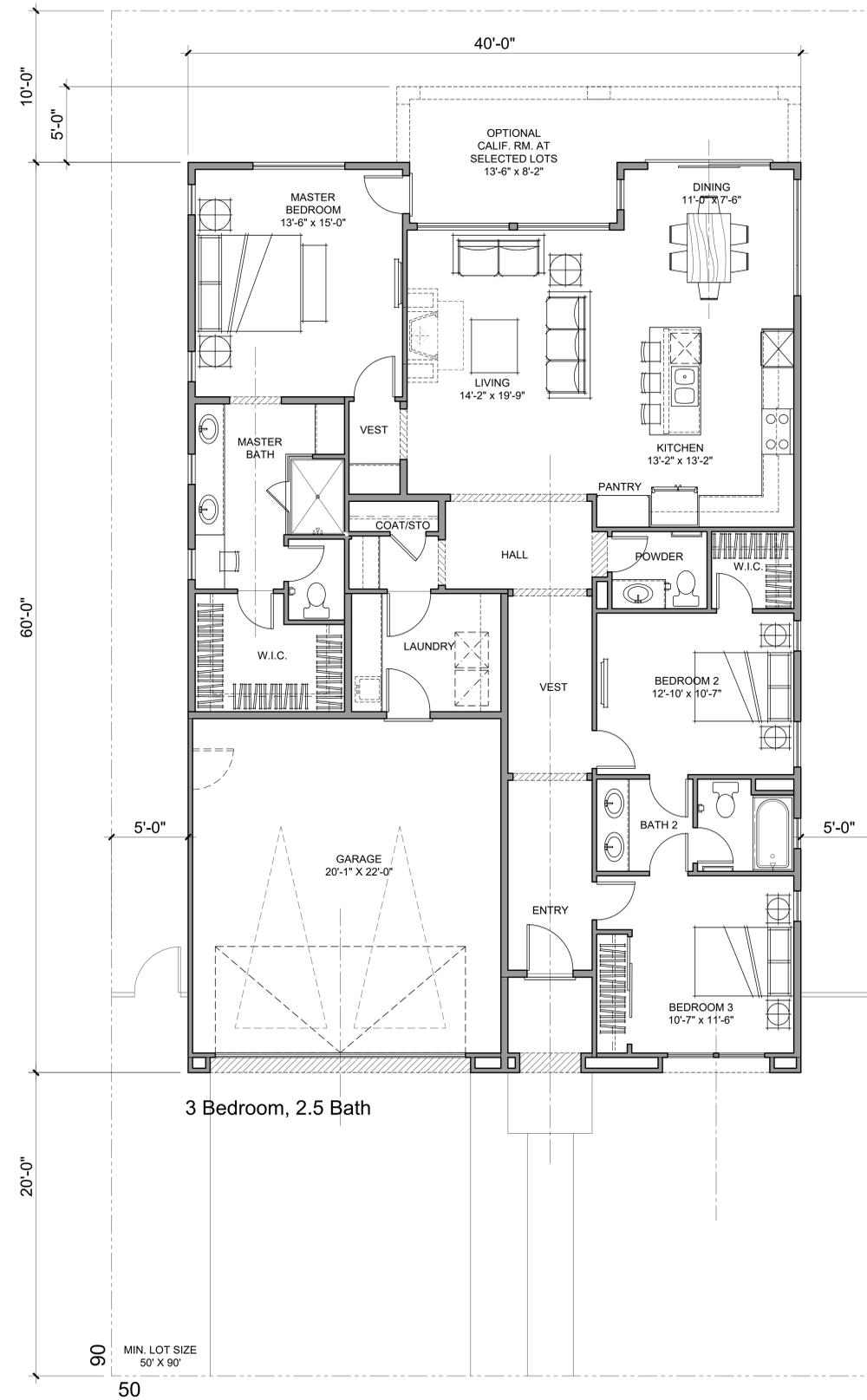


STREET SCENE
 NORTH OF OPEN SPACE VIEWING SOUTH

AI.0



ROOF PLAN (Spanish Santa Barbara - A type)
 OVERHANG : 12" Eave ; 0" Rake
 ROOF PITCH : 3.5:12 & 4:12



3 Bedroom, 2.5 Bath

P1 - GROSS SF	
TOTAL LIVING	1818 SQ. FT.
GARAGE	456 SQ. FT.



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Diversified Pacific Communities
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LURIN LAND
 Riverside, CA # 2019-0789

Plot Date: 06.18.2020



PLAN I
SINGLE STORY

A2.0

MATERIAL LEGEND

- 1 Stucco, Light Sand Finish (20/30)
- 2 Concrete "S" Profile Roof Tile
- 3 Stucco over Foam Eave
- 4 Stucco Sill Trim
- 5 Stucco over Foam Surround

- 6 Stucco Recess
- 7 Recessed Faux Diamond Gable Vent
- 8 Tile Paver Cap at (Low Wall) Baranca
- 9 Vinyl Windows
- 10 Exposed Truss Tails at Eaves
- 11 Decorative Fiber Cement Shutter Panel

- 12 Stucco over Foam Column
- 13 Stucco Arched Soffit
- 14 Stucco over Foam Corbel
- 15 Stucco Battered Wall
- 16 Fiberglass Entry Doors
- 17 Decorative Ext. Lights & Raised Address

- 18 Metal Sectional Garage Door
- 19 Optional Man Door



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

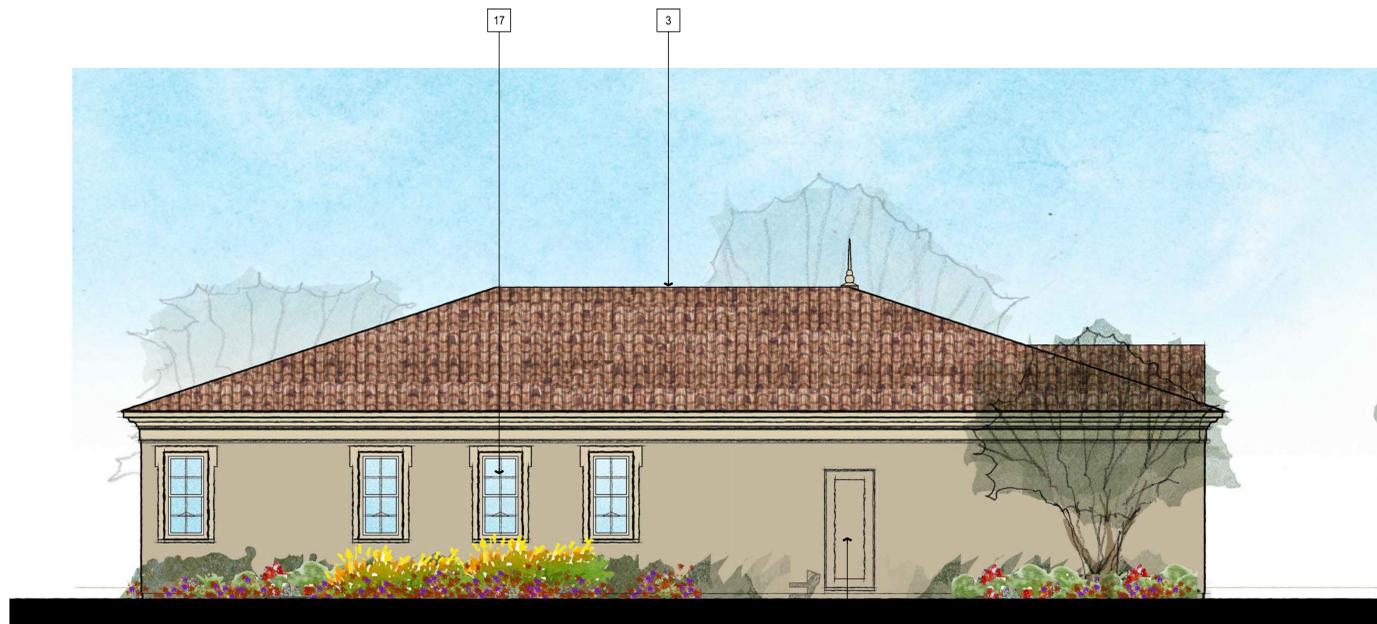
MATERIAL LEGEND

- 1 Stucco, Light Sand Finish (20/30)
- 2 Concrete "S" Profile Roof Tile
- 3 Barrel Concrete Roof Tiles at Ridges
- 4 Precast Concrete Roof Finial
- 5 Oval Shape Stucco over Foam Gable End

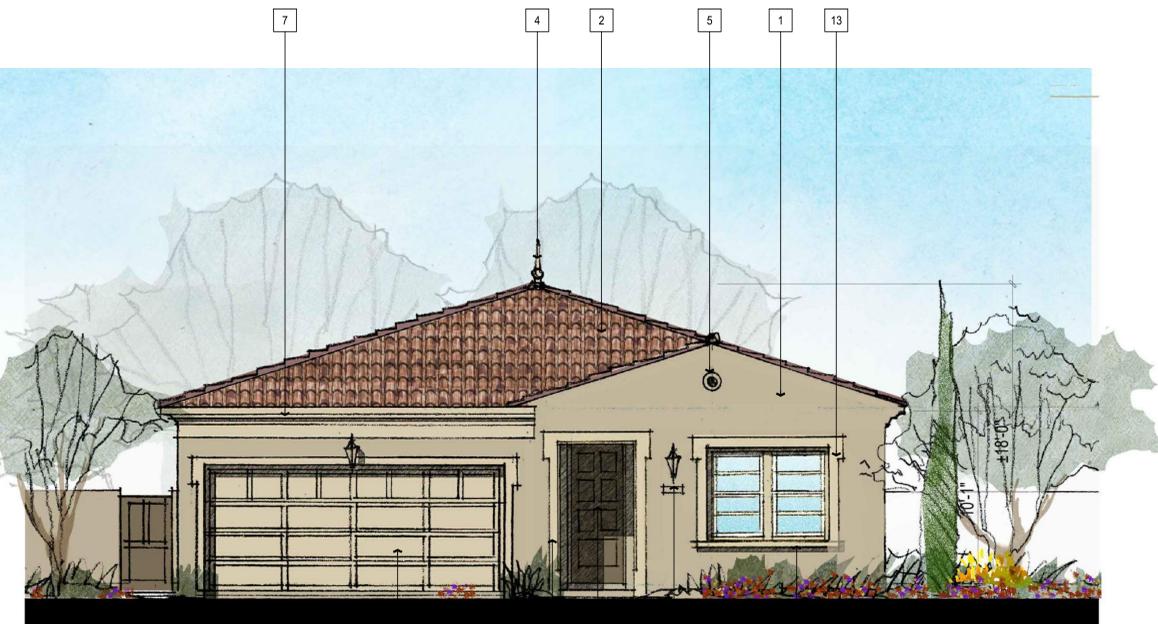
- 6 Circular Shape Stucco / Foam Gable Trim
- 7 Stucco / Foam Eave
- 8 Stucco / Foam Gable Pediment
- 9 Stucco / Foam Entry Porch Surround
- 10 Stucco / Foam Column
- 11 Stucco Arch

- 12 Stucco Column Base
- 13 Stucco / Foam Window Trim Surround
- 14 Stucco over Foam Window Sill
- 15 Stucco over Foam Pot Shelf Trim
- 16 Stucco Recess /Reveal (Where Occurs)
- 17 Vinyl Windows with Muntins

- 18 Tile Paver Cap at (Low Wall) Pot Shelf
- 19 Fiberglass Entry Door
- 20 Decorative Ext. Lights & Raised Address Sign
- 21 Metal Sectional Garage Door
- 22 Optional Man Door



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



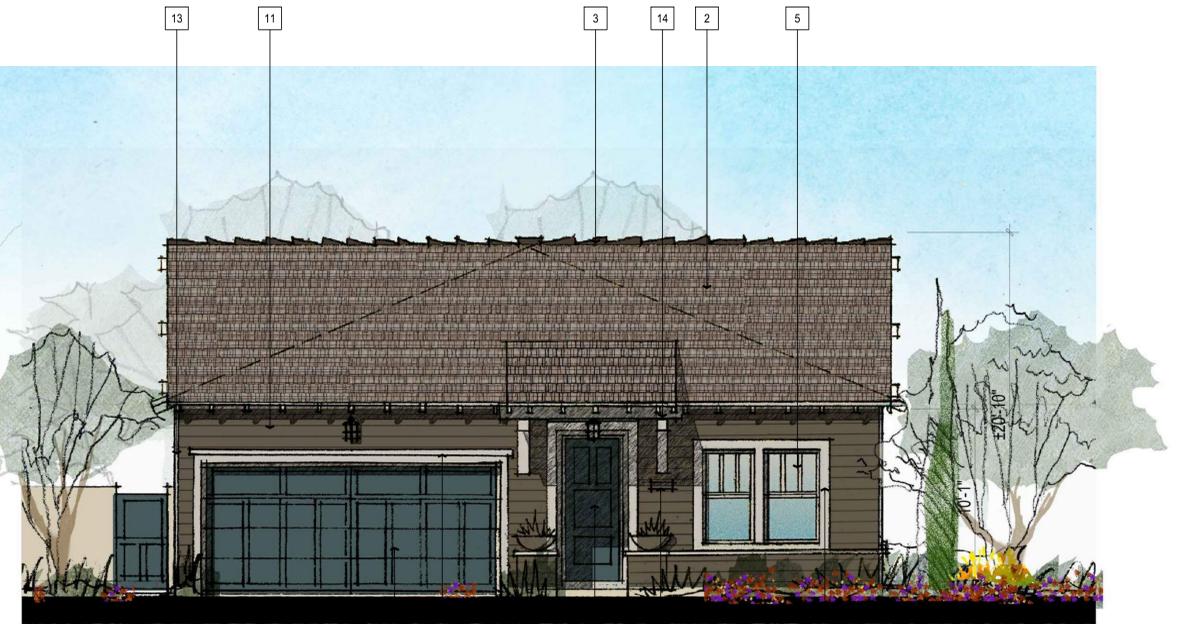
REAR ELEVATION

MATERIAL LEGEND

- | | | | |
|---|--------------------------------|--|--------------------------------|
| 1 Stucco, Light Sand Finish (20/30) | 6 2x6 Wood Barge Board | 12 2x12 o/ 2x4 Vertical Siding | 18 Metal Sectional Garage Door |
| 2 Flat Concrete Shingle Roof (No Rake Tile) | 7 Fiber Cement Square Columns | 13 2x3 Wood Siding End Caps | 19 Optional Man Door |
| 3 Barrel Concrete Tiles at Hip and Ridge | 8 Fiber Cement Top o/ Low Wall | 14 6x8 Canopy Wood Angel Bracket w/ 4x6 Beam | |
| 4 6x8 Wood Outlooker | 9 2x6 Window Trim Surround | 15 Fiberglass Entry Doors | |
| 5 Vinyl Windows w/ Decorative Muntins | 10 2x4 Window Sill | 16 Decorative Exterior Lights & Raised Address | |
| | 11 2x10 Horizontal Wood Siding | 17 2x4 o/ 2x6 head Trim over Garage Door | |



LEFT ELEVATION



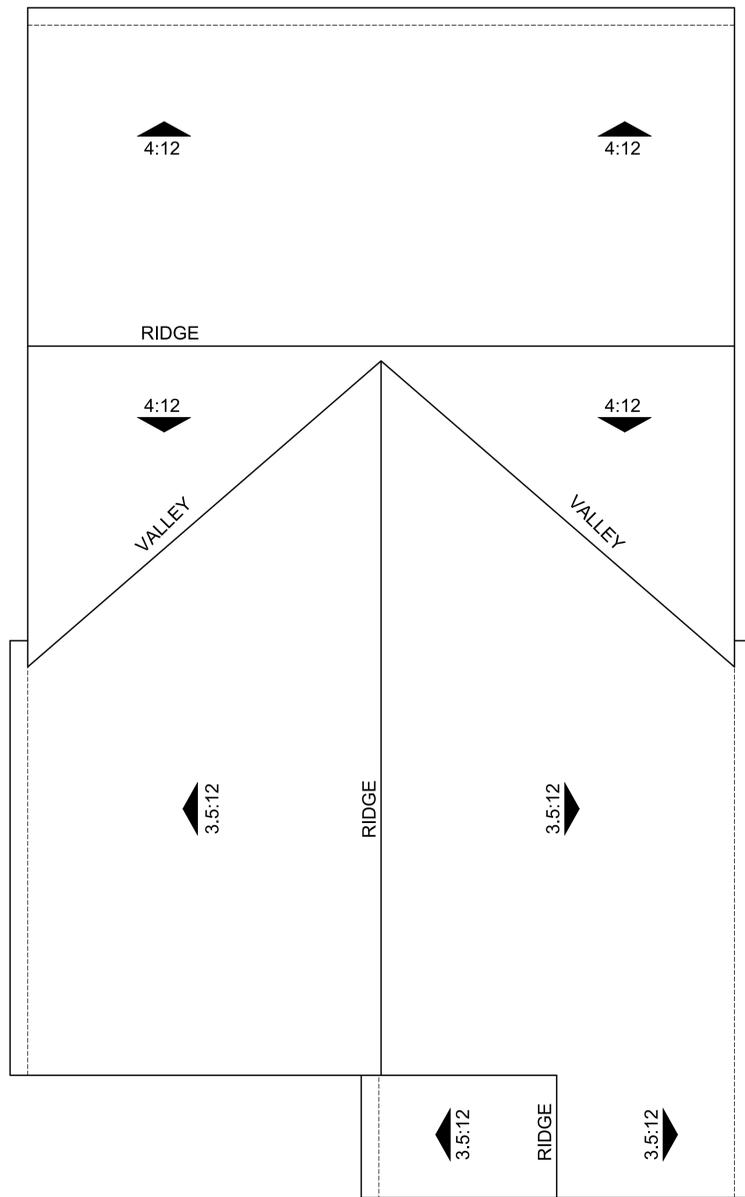
FRONT ELEVATION



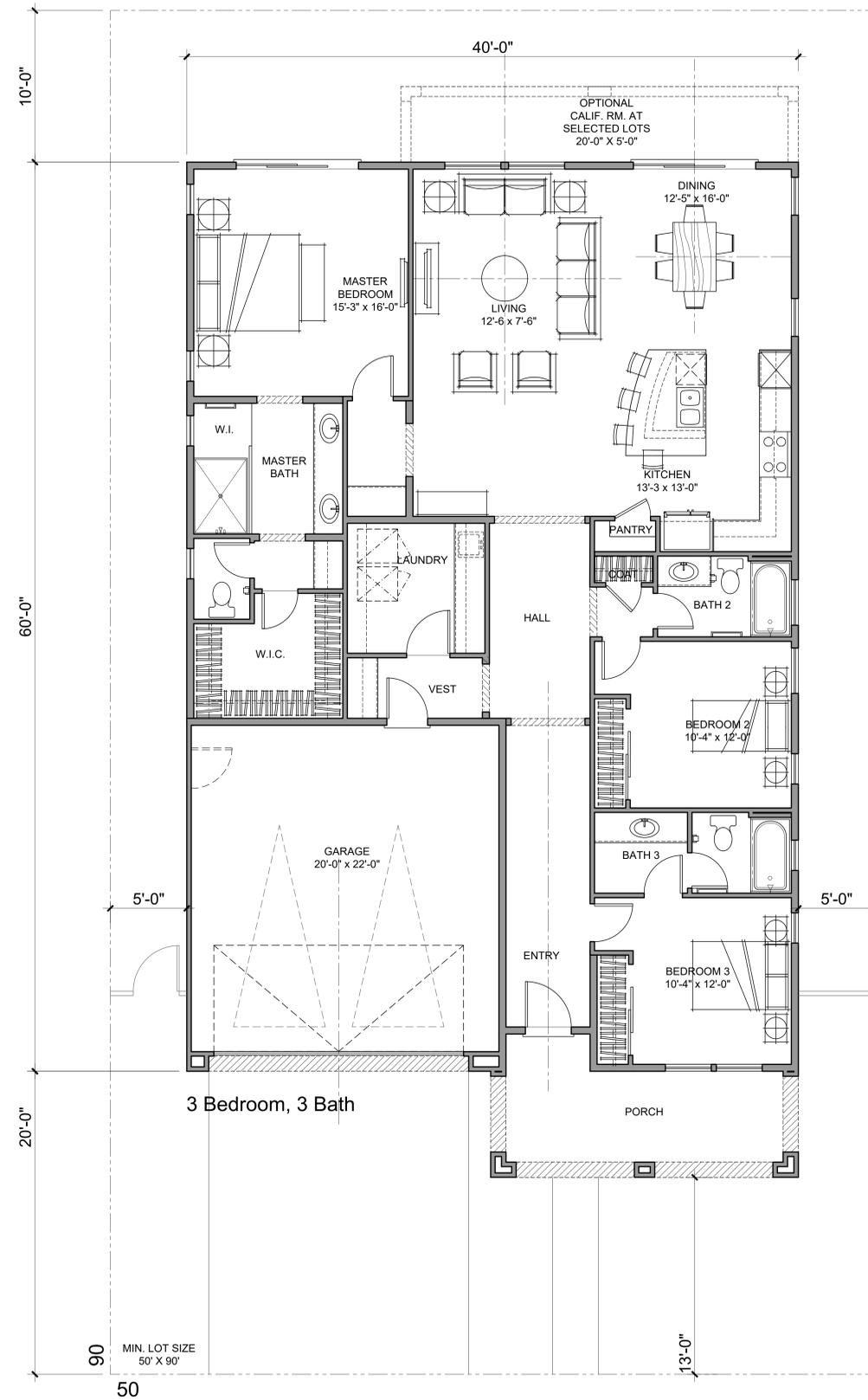
RIGHT ELEVATION



REAR ELEVATION



ROOF PLAN (Spanish Santa Barbara - A type)
 OVERHANG : 12" Eave ; 0" Rake
 ROOF PITCH : 3.5:12 & 4:12



P2 - GROSS SF	
TOTAL LIVING	1919 SQ. FT.
GARAGE	446 SQ. FT.

MATERIAL LEGEND

- 1 Stucco, Light Sand Finish (20/30)
- 2 Concrete "S" Profile Roof Tile
- 3 Stucco over Foam Eave
- 4 Stucco Sill Trim
- 5 Stucco over Foam Surround

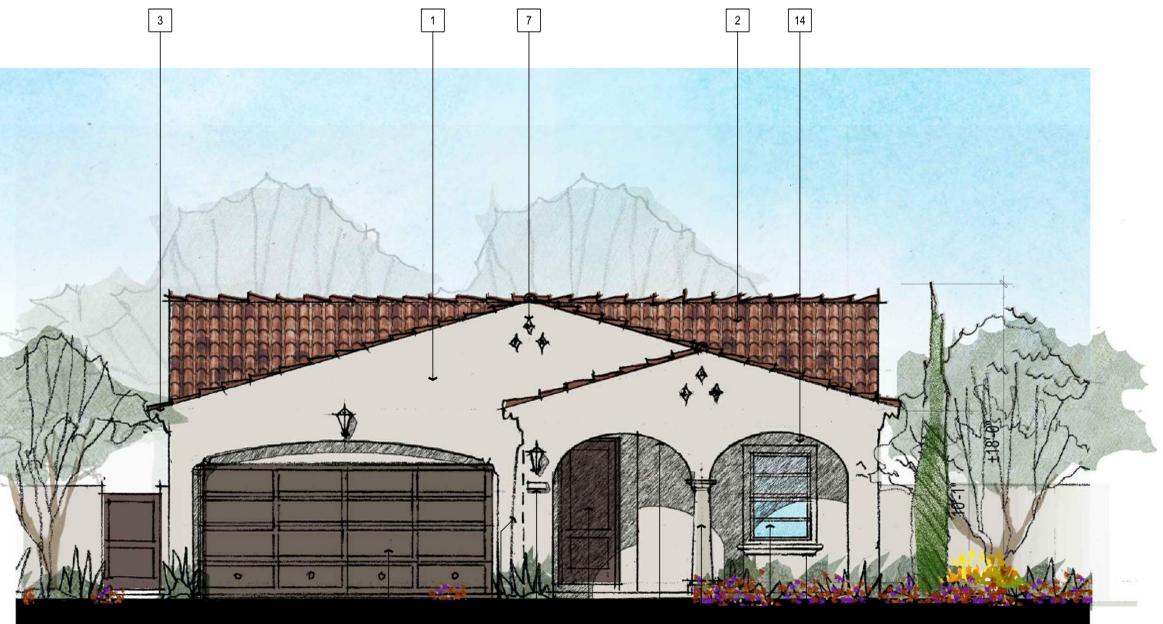
- 6 Stucco Recess
- 7 Recessed Faux Diamond Gable Vent
- 8 Tile Paver Cap at (Low Wall) Baranca
- 9 Vinyl Windows
- 10 Exposed Truss Tails at Eaves
- 11 Decorative Fiber Cement Shutter Panel

- 12 Stucco over Foam Column
- 13 Stucco Arched Soffit
- 14 Stucco over Foam Corbel
- 15 Stucco Battered Wall
- 16 Fiberglass Entry Doors
- 17 Decorative Ext. Lights & Raised Address

- 18 Metal Sectional Garage Door
- 19 Optional Man Door



LEFT ELEVATION



FRONT ELEVATION

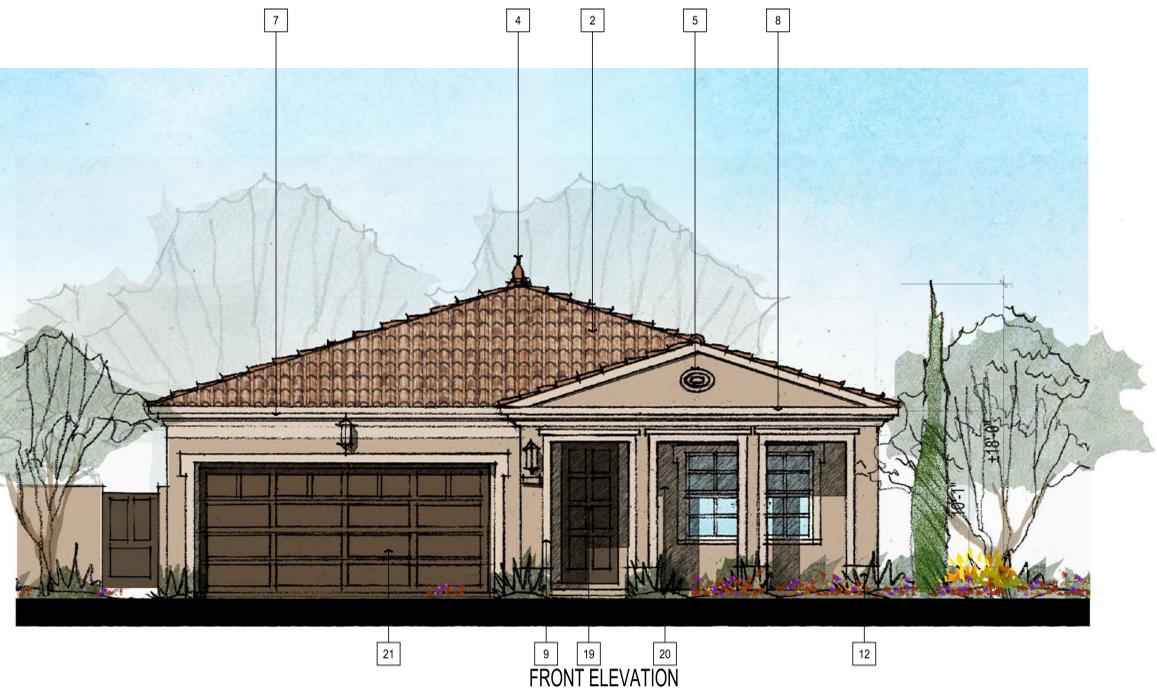


RIGHT ELEVATION

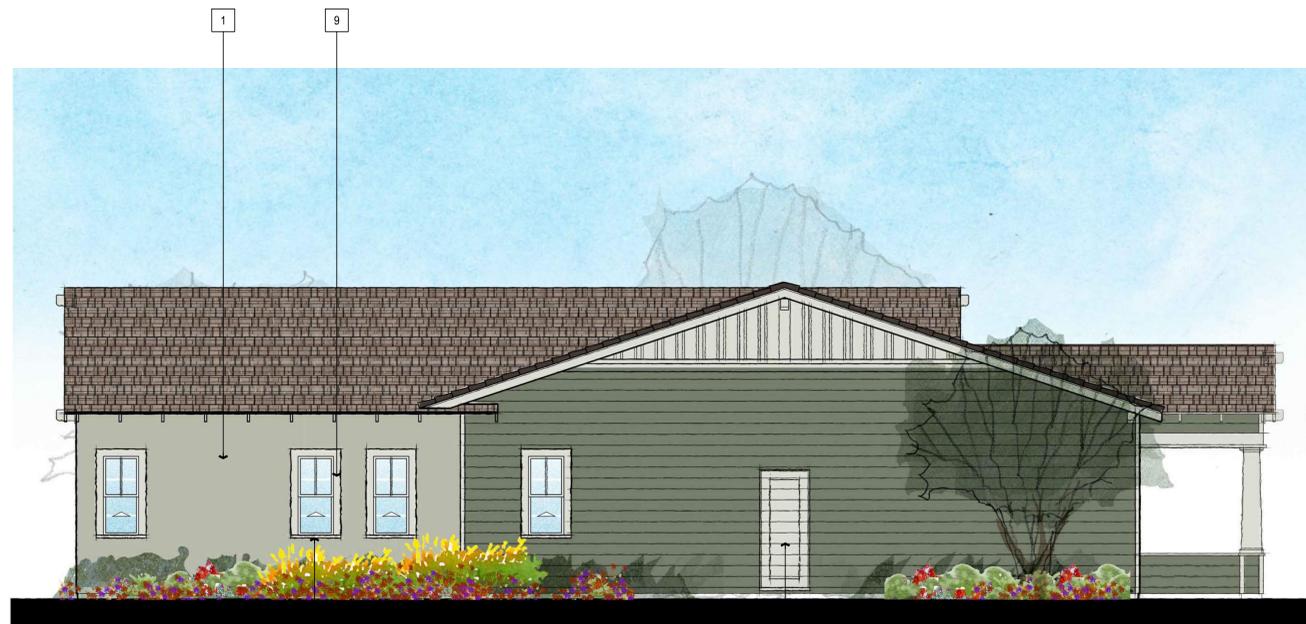


REAR ELEVATION

- MATERIAL LEGEND**
- 1 Stucco, Light Sand Finish (20/30)
 - 2 Concrete "S" Profile Roof Tile
 - 3 Barrel Concrete Roof Tiles at Ridges
 - 4 Precast Concrete Roof Finial
 - 5 Oval Shape Stucco over Foam Gable End
 - 6 Circular Shape Stucco/ Foam Gable Trim
 - 7 Stucco/ Foam Eave
 - 8 Stucco/ Foam Gable Pediment
 - 9 Stucco/ Foam Entry Porch Surround
 - 10 Stucco/ Foam Column
 - 11 Stucco Arch
 - 12 Stucco Column Base
 - 13 Stucco/ Foam Window Trim Surround
 - 14 Stucco over Foam Window Sill
 - 15 Stucco over Foam Pot Shelf Trim
 - 16 Stucco Recess /Reveal (Where Occurs)
 - 17 Vinyl Windows with Muntins
 - 18 Tile Paver Cap at (Low Wall) Pot Shelf
 - 19 Fiberglass Entry Door
 - 20 Decorative Ext. Lights & Raised Address Sign
 - 21 Metal Sectional Garage Door
 - 22 Optional Man Door



- MATERIAL LEGEND**
- 1 Stucco, Light Sand Finish (20/30)
 - 2 Flat Concrete Shingle Roof (No Rake Tile)
 - 3 Barrel Concrete Tiles at Hip and Ridge
 - 4 6x8 Wood Outlooker
 - 5 Vinyl Windows w/ Decorative Muntins
 - 6 2x6 Wood Barge Board
 - 7 Fiber Cement Square Columns
 - 8 Fiber Cement Top o/ Low Wall
 - 9 2x6 Window Trim Surround
 - 10 2x4 Window Sill
 - 11 2x10 Horizontal Wood Siding
 - 12 2x12 o/ 2x4 Vertical Siding
 - 13 2x3 Wood Siding End Caps
 - 14 6x8 Canopy Wood Angel Bracket w/ 4x6 Beam
 - 15 Fiberglass Entry Doors
 - 16 Decorative Exterior Lights & Raised Address
 - 17 2x4 o/ 2x6 head Trim over Garage Door
 - 18 Metal Sectional Garage Door
 - 19 Optional Man Door



LEFT ELEVATION



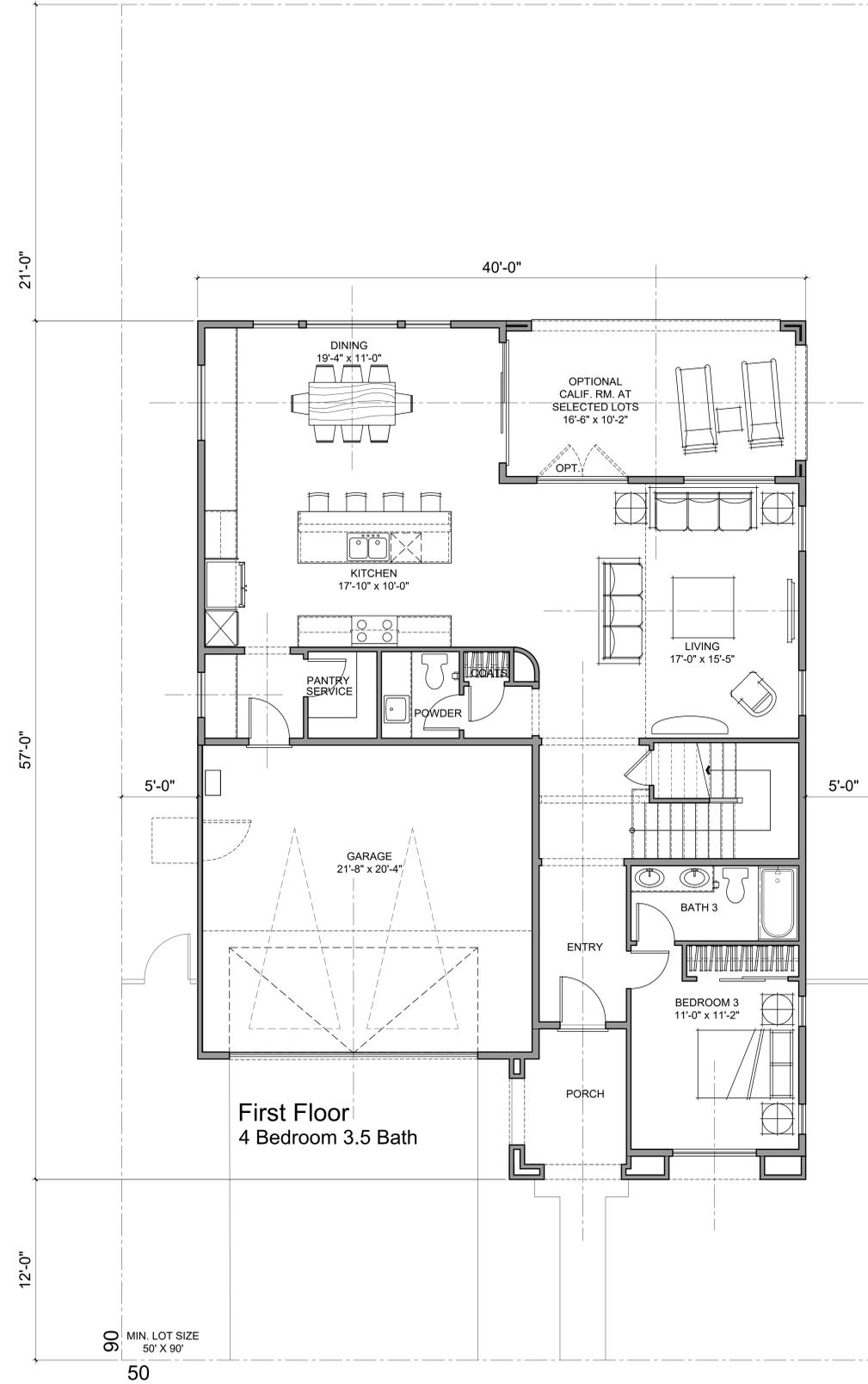
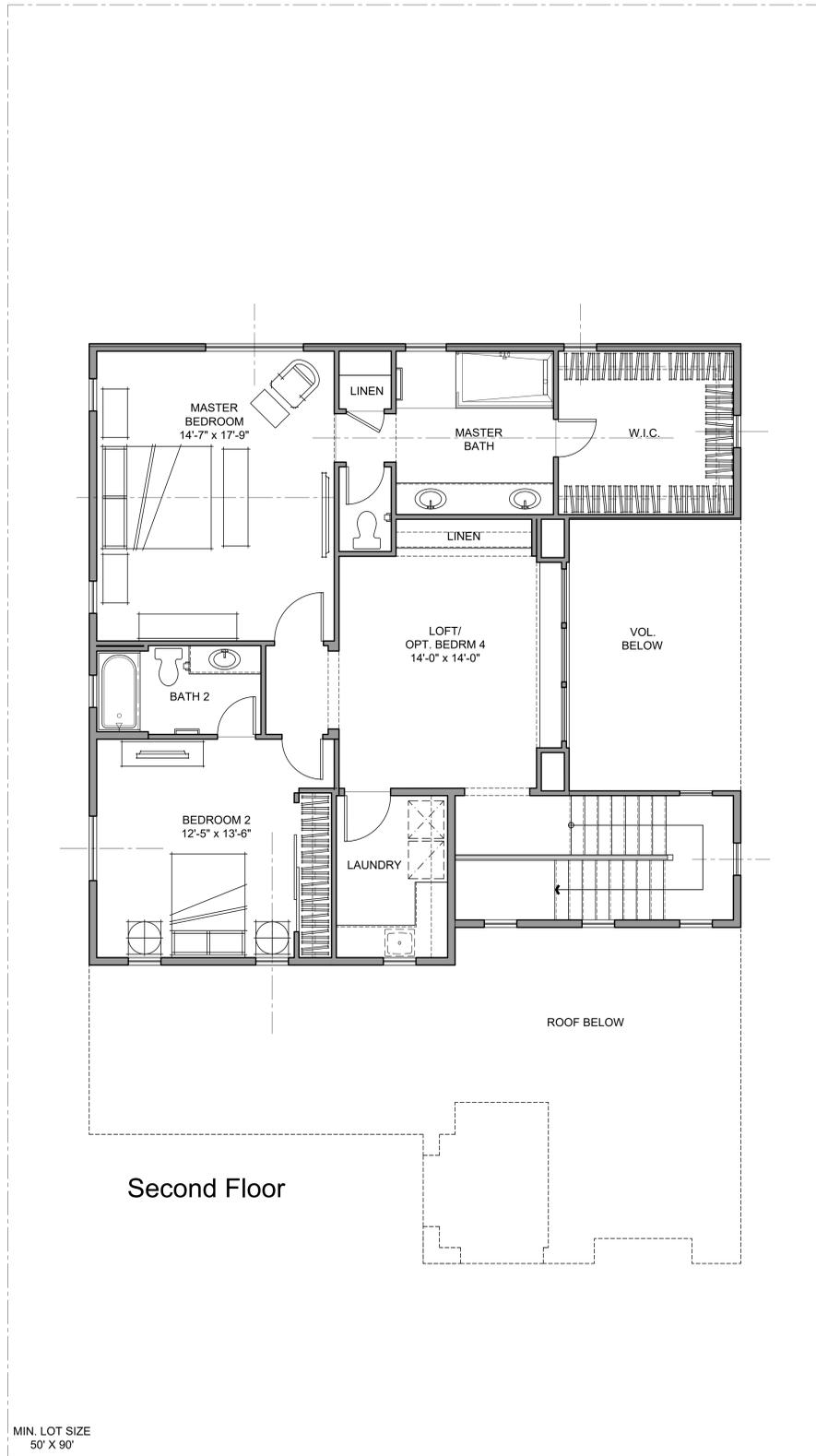
FRONT ELEVATION



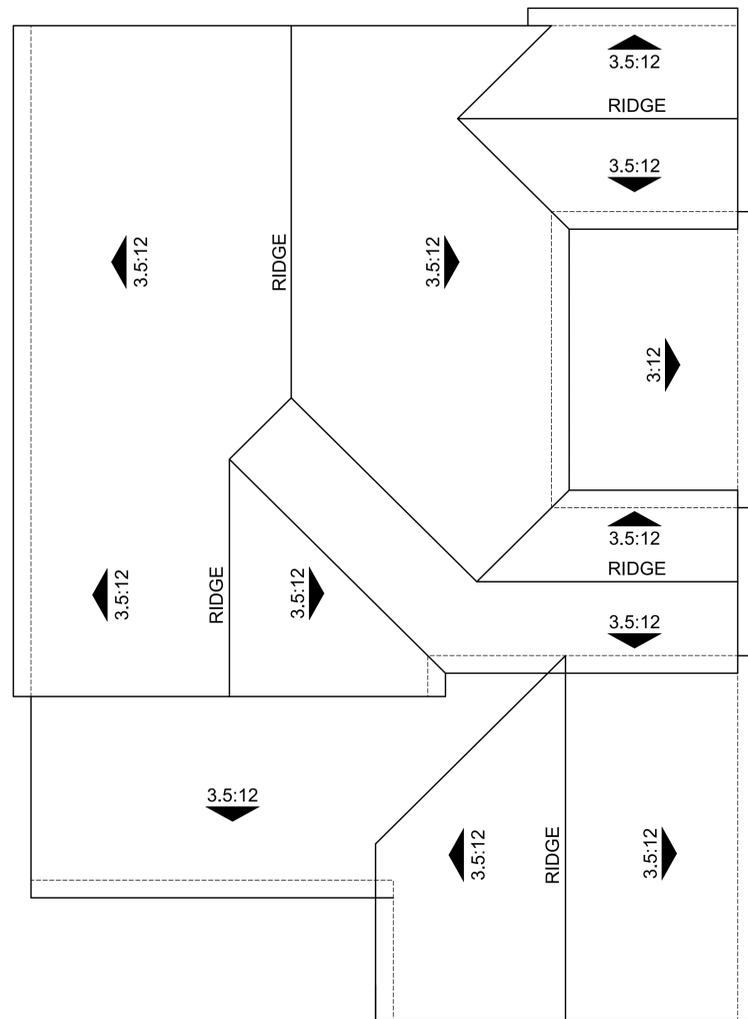
RIGHT ELEVATION



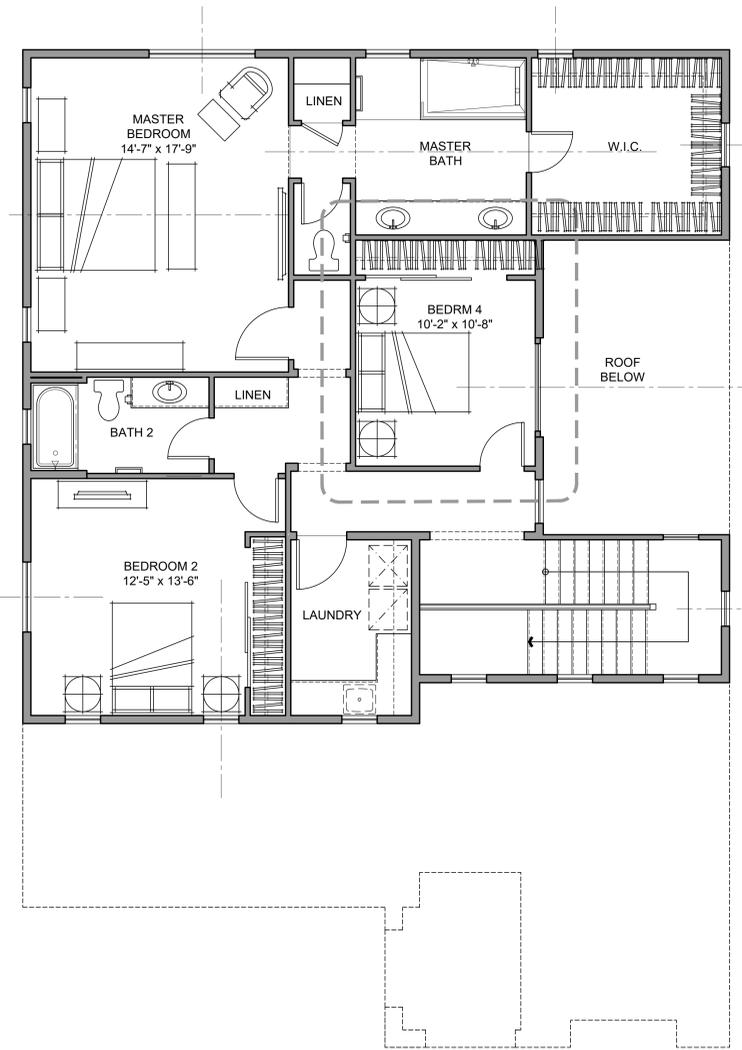
REAR ELEVATION



P3 - GROSS SF	
1ST FLOOR	1362 SQ. FT.
2ND FLOOR	1194 SQ. FT.
TOTAL LIVING	2556 SQ. FT.
GARAGE	441 SQ. FT.



ROOF PLAN (Spanish Santa Barbara - A type)
 OVERHANG : 12" Eave ; 0" Rake
 ROOF PITCH : 3:12 & 3.5:12



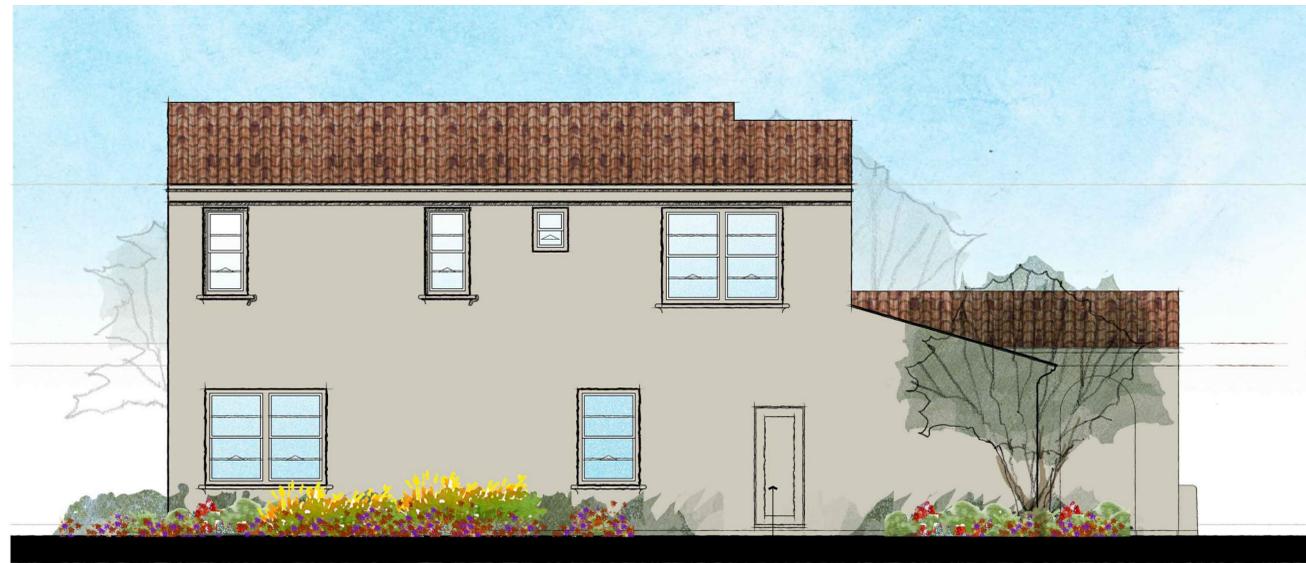
MATERIAL LEGEND

- 1 Stucco, Light Sand Finish (20/30)
- 2 Concrete "S" Profile Roof Tile
- 3 Stucco over Foam Eave
- 4 Stucco Sill Trim
- 5 Stucco over Foam Surround

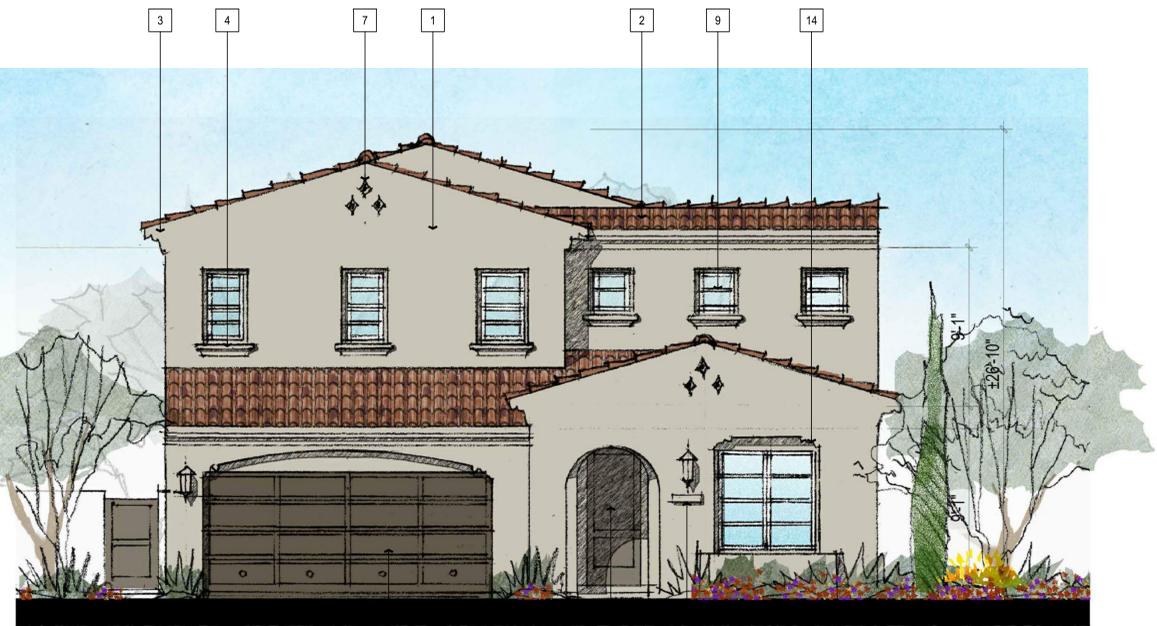
- 6 Stucco Recess
- 7 Recessed Faux Diamond Gable Vent
- 8 Tile Paver Cap at (Low Wall) Baranca
- 9 Vinyl Windows
- 10 Exposed Truss Tails at Eaves
- 11 Decorative Fiber Cement Shutter Panel

- 12 Stucco over Foam Column
- 13 Stucco Arched Soffit
- 14 Stucco over Foam Corbel
- 15 Stucco Battered Wall
- 16 Fiberglass Entry Doors
- 17 Decorative Ext. Lights & Raised Address

- 18 Metal Sectional Garage Door
- 19 Optional Man Door



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

ENHANCED FEATURES AT ENHANCE LOCATIONS

- ① Stucco over Foam Surround
- ② Stucco over Foam Window Sill Trim
- ③ Decorative Shutter Per Style
- ④ 1x6 Window Trim Surround
- ⑤ Stucco Recess
- ⑥ Decorative Stucco Scalloped Shelf
- ⑦ Added Decorative Stucco Corbel

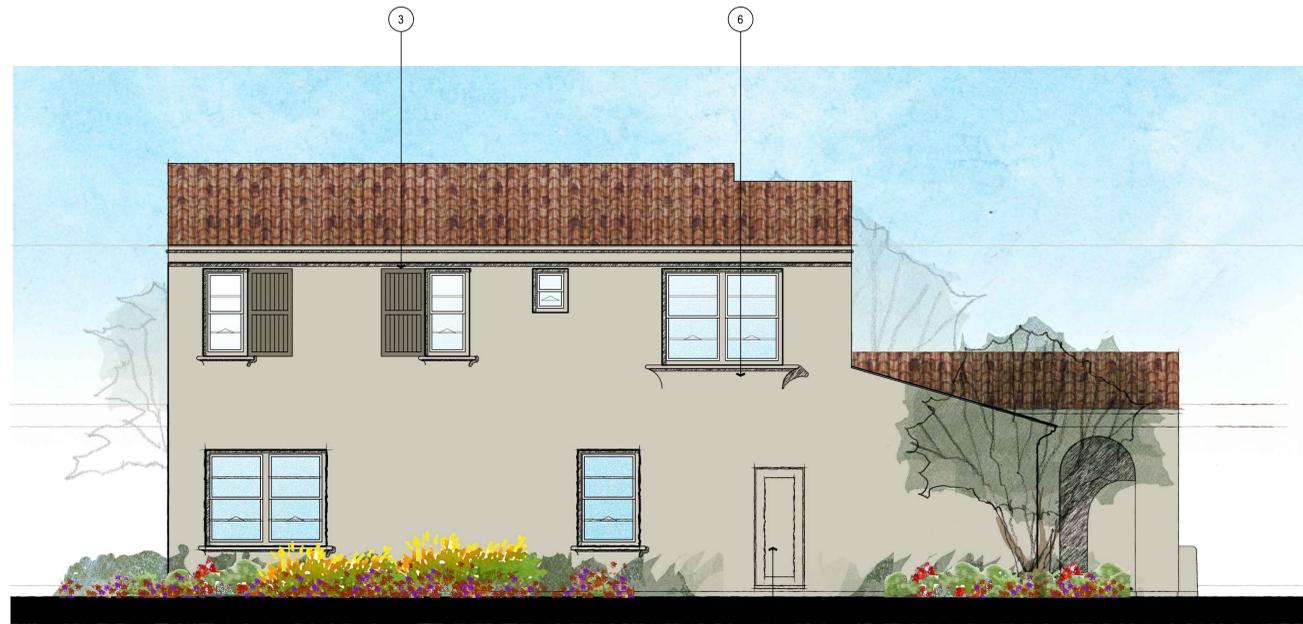
MATERIAL LEGEND

- ① Stucco, Light Sand Finish (20/30)
- ② Concrete "S" Profile Roof Tile
- ③ Stucco over Foam Eave
- ④ Stucco Sill Trim
- ⑤ Stucco over Foam Surround

- ⑥ Stucco Recess
- ⑦ Recessed Faux Diamond Gable Vent
- ⑧ Tile Paver Cap at (Low Wall) Baranca
- ⑨ Vinyl Windows
- ⑩ Exposed Truss Tails at Eaves
- ⑪ Decorative Fiber Cement Shutter Panel

- ⑫ Stucco over Foam Column
- ⑬ Stucco Arched Soffit
- ⑭ Stucco over Foam Corbel
- ⑮ Stucco Battered Wall
- ⑯ Fiberglass Entry Doors
- ⑰ Decorative Ext. Lights & Raised Address

- ⑱ Metal Sectional Garage Door
- ⑲ Optional Man Door



LEFT ELEVATION



FRONT ELEVATION



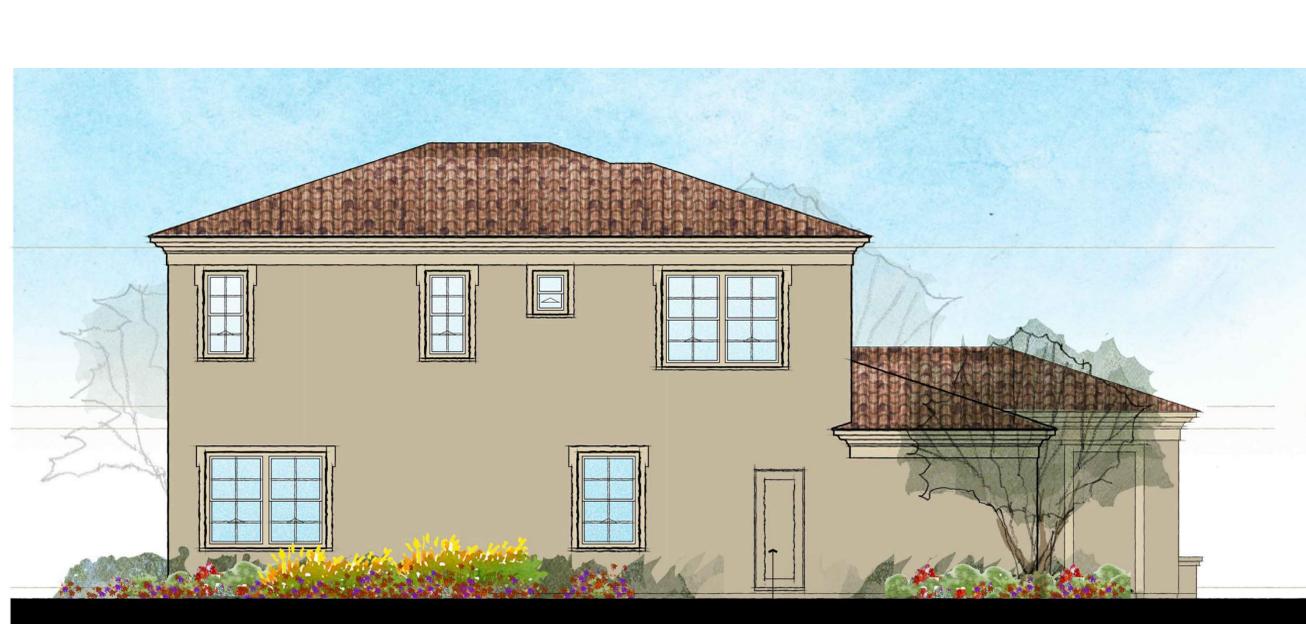
RIGHT ELEVATION



REAR ELEVATION

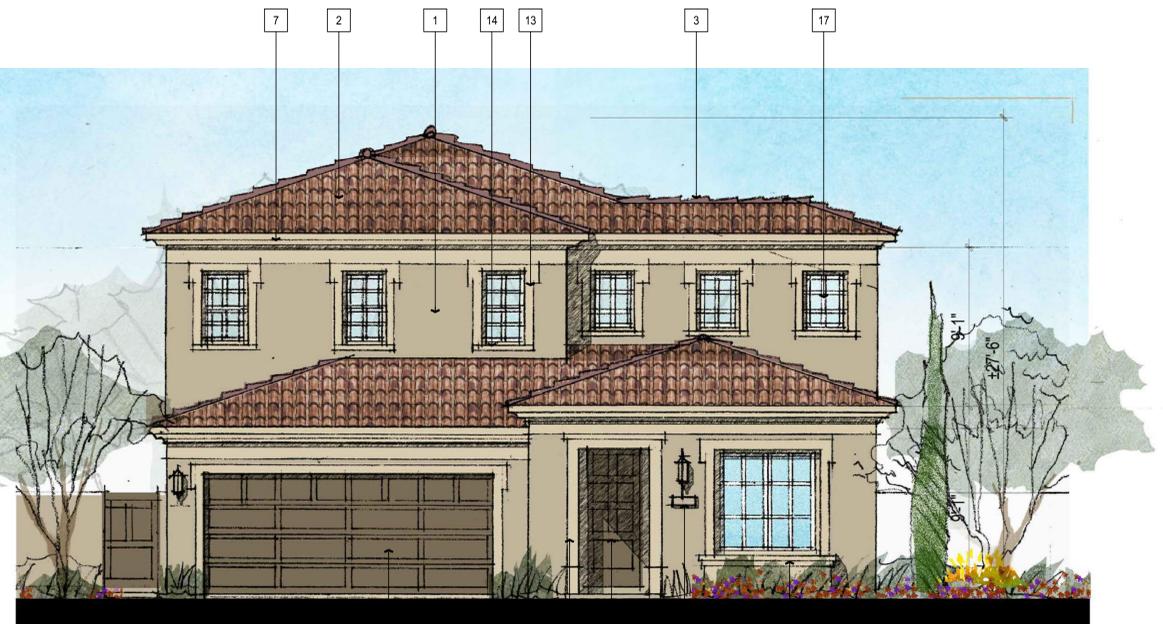
MATERIAL LEGEND

- | | | | |
|---|---|---|---|
| 1 Stucco, Light Sand Finish (20/30) | 6 Circular Shape Stucco / Foam Gable Trim | 12 Stucco Column Base | 18 Tile Paver Cap at (Low Wall) Pot Shelf |
| 2 Concrete "S" Profile Roof Tile | 7 Stucco / Foam Eave | 13 Stucco / Foam Window Trim Surround | 19 Fiberglass Entry Door |
| 3 Barrel Concrete Roof Tiles at Ridges | 8 Stucco / Foam Gable Pediment | 14 Stucco over Foam Window Sill | 20 Decorative Ext. Lights & Raised Address Sign |
| 4 Precast Concrete Roof Finial | 9 Stucco / Foam Entry Porch Surround | 15 Stucco over Foam Pot Shelf Trim | 21 Metal Sectional Garage Door |
| 5 Oval Shape Stucco over Foam Gable End | 10 Stucco / Foam Column | 16 Stucco Recess /Reveal (Where Occurs) | 22 Optional Man Door |
| | 11 Stucco Arch | 17 Vinyl Windows with Muntins | |



LEFT ELEVATION

22



FRONT ELEVATION

21 9 19 20 18



RIGHT ELEVATION



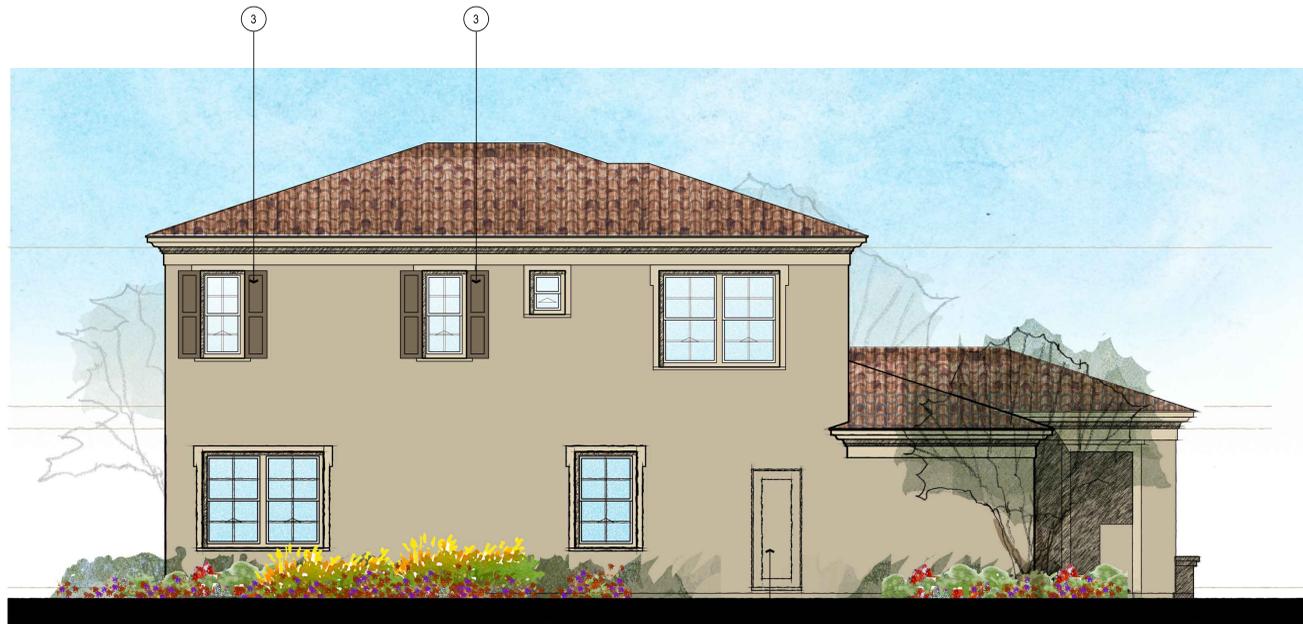
REAR ELEVATION

ENHANCED FEATURES AT ENHANCE LOCATIONS

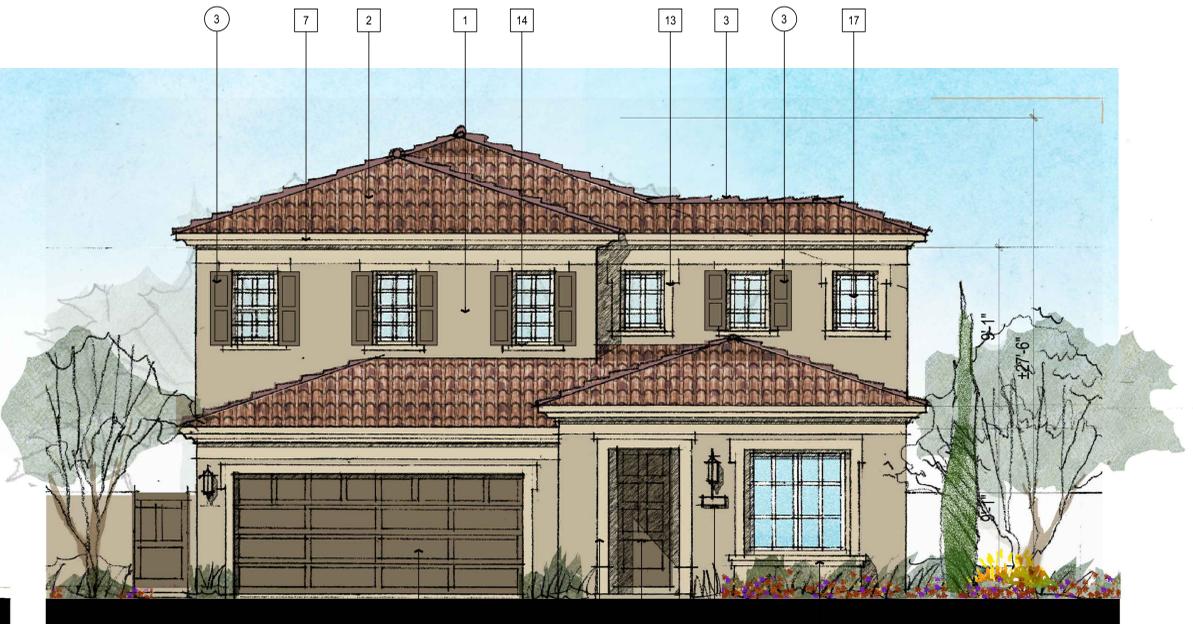
- ① Stucco over Foam Surround
- ② Stucco over Foam Window Sill Trim
- ③ Decorative Shutter Per Style
- ④ 1x6 Window Trim Surround
- ⑤ Stucco Recess
- ⑥ Decorative Stucco Shelf

MATERIAL LEGEND

- ① Stucco, Light Sand Finish (20/30)
- ② Concrete "S" Profile Roof Tile
- ③ Barrel Concrete Roof Tiles at Ridges
- ④ Precast Concrete Roof Finial
- ⑤ Oval Shape Stucco over Foam Gable End
- ⑥ Circular Shape Stucco / Foam Gable Trim
- ⑦ Stucco / Foam Eave
- ⑧ Stucco / Foam Gable Pediment
- ⑨ Stucco / Foam Entry Porch Surround
- ⑩ Stucco / Foam Column
- ⑪ Stucco Arch
- ⑫ Stucco Column Base
- ⑬ Stucco / Foam Window Trim Surround
- ⑭ Stucco over Foam Window Sill
- ⑮ Stucco over Foam Pot Shelf Trim
- ⑯ Stucco Recess /Reveal (Where Occurs)
- ⑰ Vinyl Windows with Muntins
- ⑱ Tile Paver Cap at (Low Wall) Pot Shelf
- ⑲ Fiberglass Entry Door
- ⑳ Decorative Ext. Lights & Raised Address Sign
- ㉑ Metal Sectional Garage Door
- ㉒ Optional Man Door



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

MATERIAL LEGEND

- | | | | |
|---|--------------------------------|--|--------------------------------|
| 1 Stucco, Light Sand Finish (20/30) | 6 2x6 Wood Barge Board | 12 2x12 o/ 2x4 Vertical Siding | 18 Metal Sectional Garage Door |
| 2 Flat Concrete Shingle Roof (No Rake Tile) | 7 Fiber Cement Square Columns | 13 2x3 Wood Siding End Caps | 19 Optional Man Door |
| 3 Barrel Concrete Tiles at Hip and Ridge | 8 Fiber Cement Top o/ Low Wall | 14 6x8 Canopy Wood Angel Bracket w/ 4x6 Beam | |
| 4 6x8 Wood Outlooker | 9 2x6 Window Trim Surround | 15 Fiberglass Entry Doors | |
| 5 Vinyl Windows w/ Decorative Muntins | 10 2x4 Window Sill | 16 Decorative Exterior Lights & Raised Address | |
| | 11 2x10 Horizontal Wood Siding | 17 2x4 o/ 2x6 head Trim over Garage Door | |



LEFT ELEVATION

19



FRONT ELEVATION

18

17

16

7



RIGHT ELEVATION



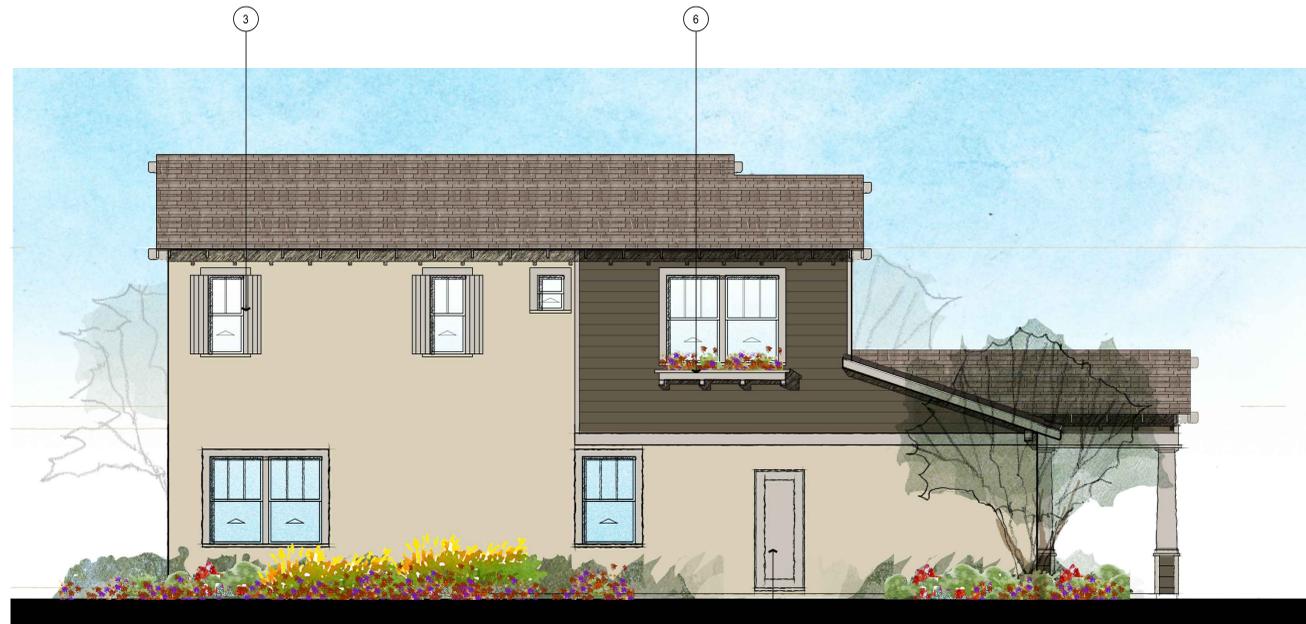
REAR ELEVATION

ENHANCED FEATURES AT ENHANCE LOCATIONS

- 1 Stucco over Foam Surround
- 2 Stucco over Foam Window Sill Trim
- 3 Decorative Shutter Per Style
- 4 1:6 Window Trim Surround
- 5 Stucco Recess
- 6 Decorative Planter Box

MATERIAL LEGEND

- | | | | |
|---|---------------------------------|--|--------------------------------|
| 1 Stucco, Light Sand Finish (20/30) | 7 Fiber Cement Square Columns | 12 2:12 or 2:4 Vertical Siding | 18 Metal Sectional Garage Door |
| 2 Flat Concrete Shingle Roof (No Rafters) | 8 Fiber Cement Top of Load Wall | 13 2:3 Wood Siding End Caps | 19 Optional Man Door |
| 3 Barrel Concrete Tiles at Hip and Ridge | 9 2:6 Window Trim Surround | 14 6:8 Canopy Wood Angle Bracket / 4:6 Beam | |
| 4 6:8 Wood Outlooker | 10 2:4 Window Sill | 15 Fiberglass Entry Doors | |
| 5 Vinyl Windows / Decorative Muntins | 11 2:10 Horizontal Wood Siding | 16 Decorative Exterior Lights & Raised Address | |
| | | 17 2:4 or 2:6 head Trim over Garage Door | |



LEFT ELEVATION



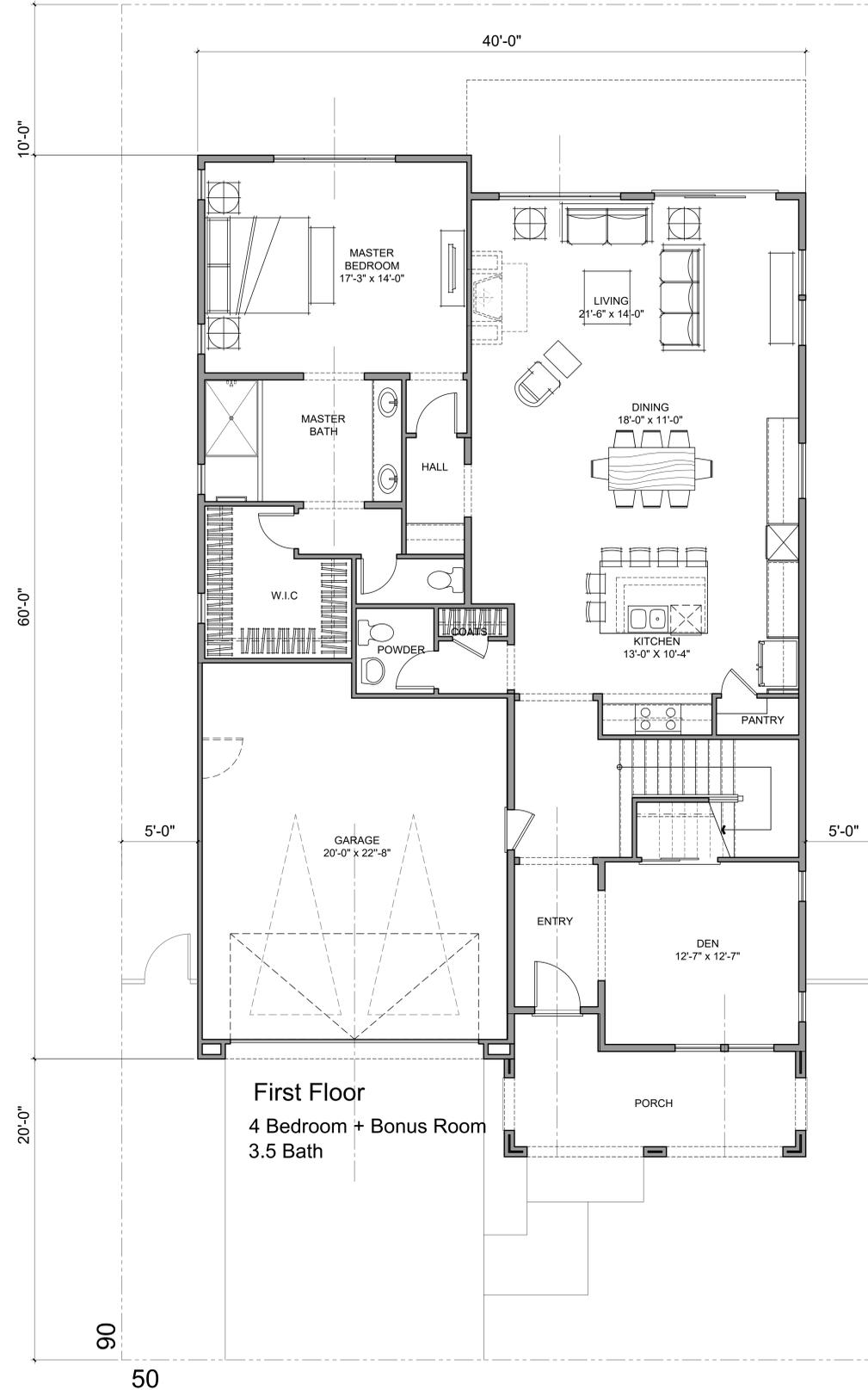
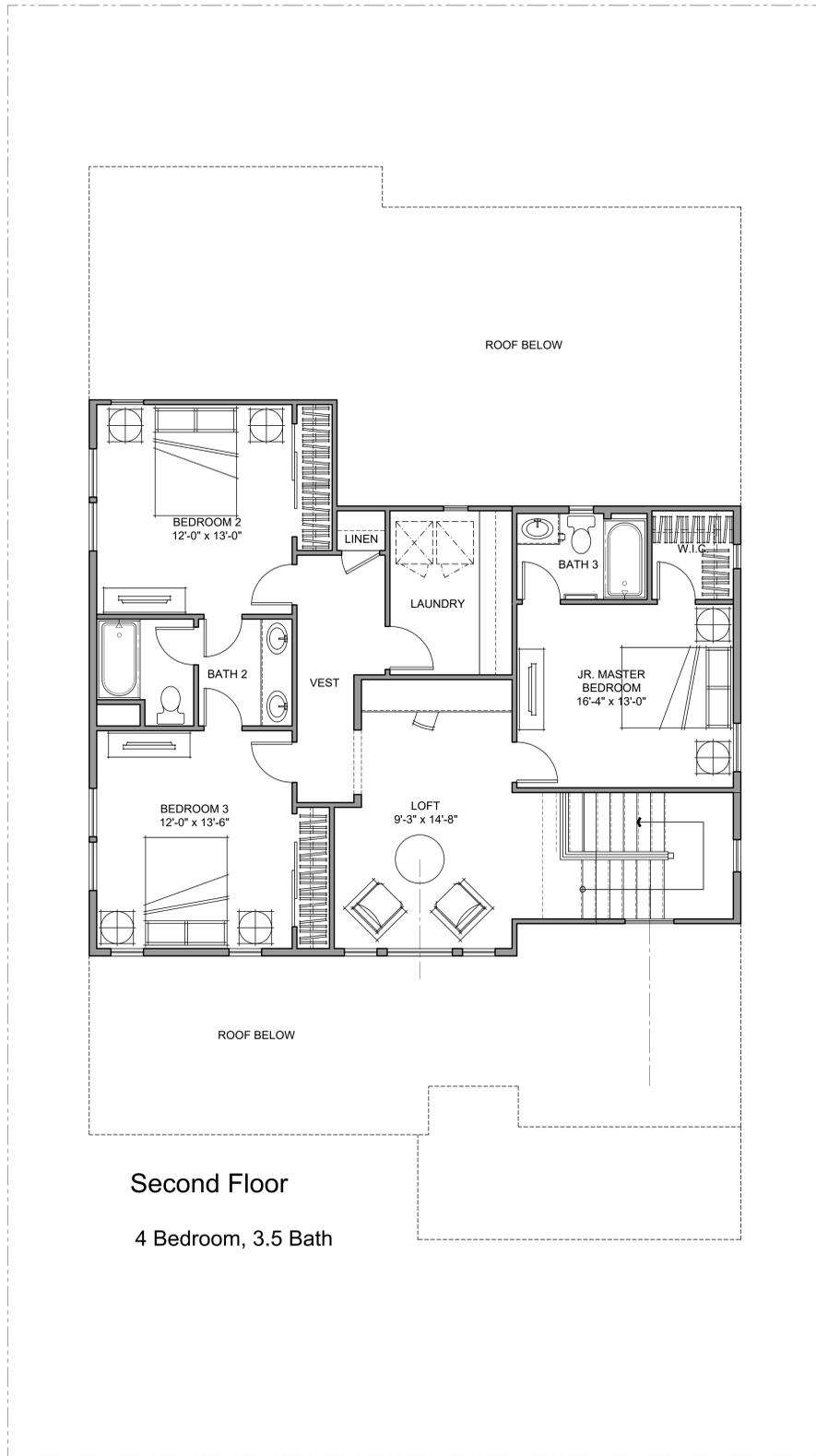
FRONT ELEVATION



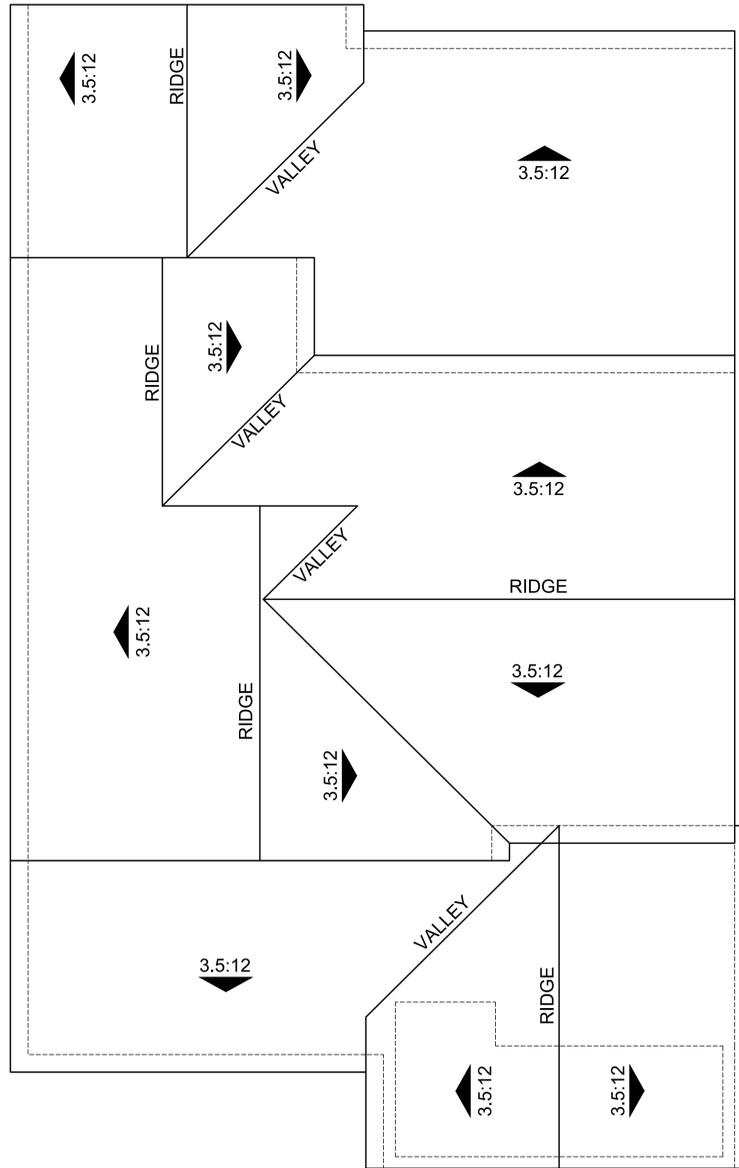
RIGHT ELEVATION



REAR ELEVATION



P4 - GROSS SF	
1ST FLOOR	1809 SQ. FT.
2ND FLOOR	1113 SQ. FT.
TOTAL LIVING	2922 SQ. FT.
GARAGE	477 SQ. FT.



ROOF PLAN (Spanish Santa Barbara - A type)
 OVERHANG : 12" Eave ; 0" Rake
 ROOF PITCH : 3.5:12

MATERIAL LEGEND

- 1 Stucco, Light Sand Finish (20/30)
- 2 Concrete "S" Profile Roof Tile
- 3 Stucco over Foam Eave
- 4 Stucco Sill Trim
- 5 Stucco over Foam Surround

- 6 Stucco Recess
- 7 Recessed Faux Diamond Gable Vent
- 8 Tile Paver Cap at (Low Wall) Baranca
- 9 Vinyl Windows
- 10 Exposed Truss Tails at Eaves
- 11 Decorative Fiber Cement Shutter Panel

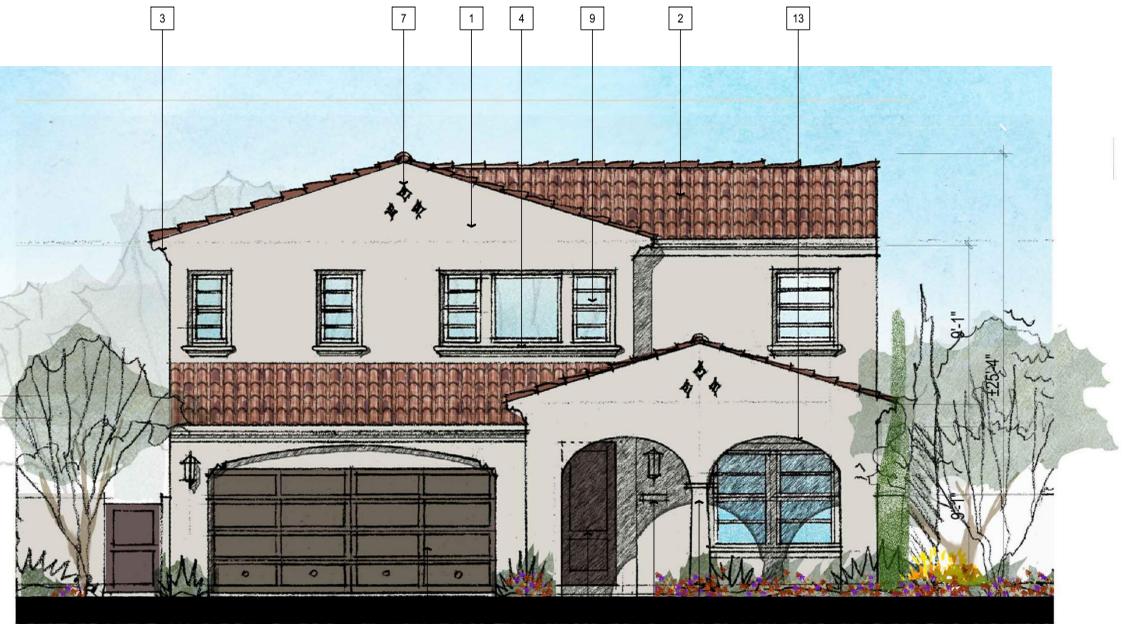
- 12 Stucco over Foam Column
- 13 Stucco Arched Soffit
- 14 Stucco over Foam Corbel
- 15 Stucco Battered Wall
- 16 Fiberglass Entry Doors
- 17 Decorative Ext. Lights & Raised Address

- 18 Metal Sectional Garage Door
- 19 Optional Man Door



LEFT ELEVATION

19



FRONT ELEVATION

18

16

17

12



RIGHT ELEVATION



REAR ELEVATION

ENHANCED FEATURES AT ENHANCE LOCATIONS

- ① Stucco over Foam Surround
- ② Stucco over Foam Window Sill Trim
- ③ Decorative Shutter Per Style
- ④ 1x6 Window Trim Surround
- ⑤ Stucco Recess

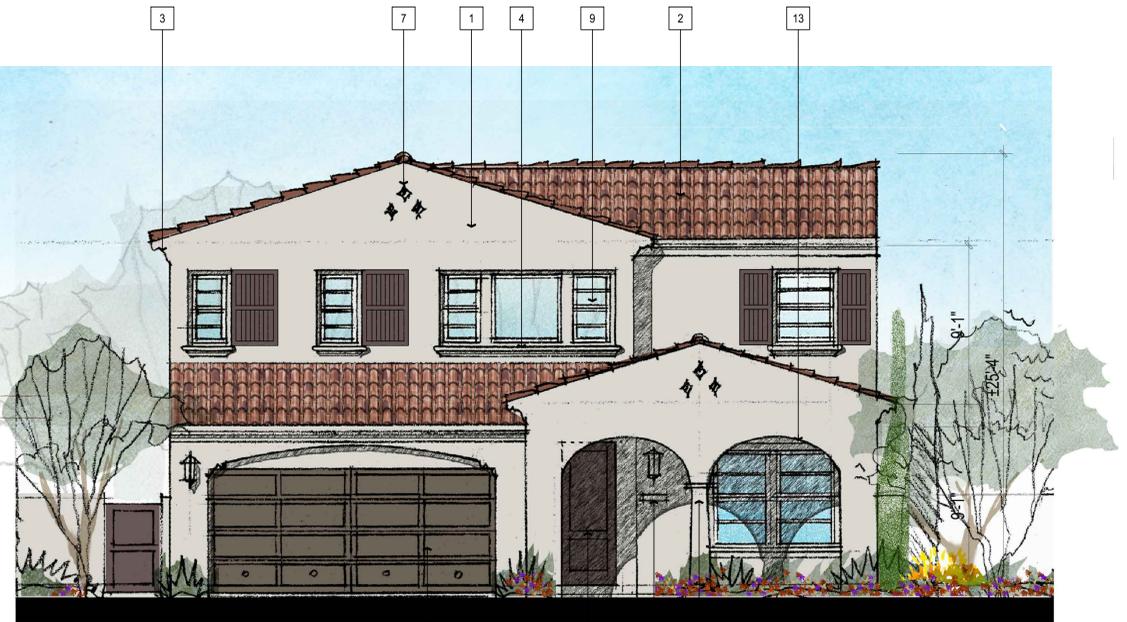
MATERIAL LEGEND

- ① Stucco, Light Sand Finish (20/30)
- ② Concrete "S" Profile Roof Tile
- ③ Stucco over Foam Eave
- ④ Stucco Sill Trim
- ⑤ Stucco over Foam Surround

- ⑥ Stucco Recess
- ⑦ Recessed Faux Diamond Gable Vent
- ⑧ Tile Paver Cap at (Low Wall) Baranca
- ⑨ Vinyl Windows
- ⑩ Exposed Truss Tails at Eaves
- ⑪ Decorative Fiber Cement Shutter Panel
- ⑫ Stucco over Foam Column
- ⑬ Stucco Arched Soffit
- ⑭ Stucco over Foam Corbel
- ⑮ Stucco Battered Wall
- ⑯ Fiberglass Entry Doors
- ⑰ Decorative Ext. Lights & Raised Address
- ⑱ Metal Sectional Garage Door
- ⑲ Optional Man Door



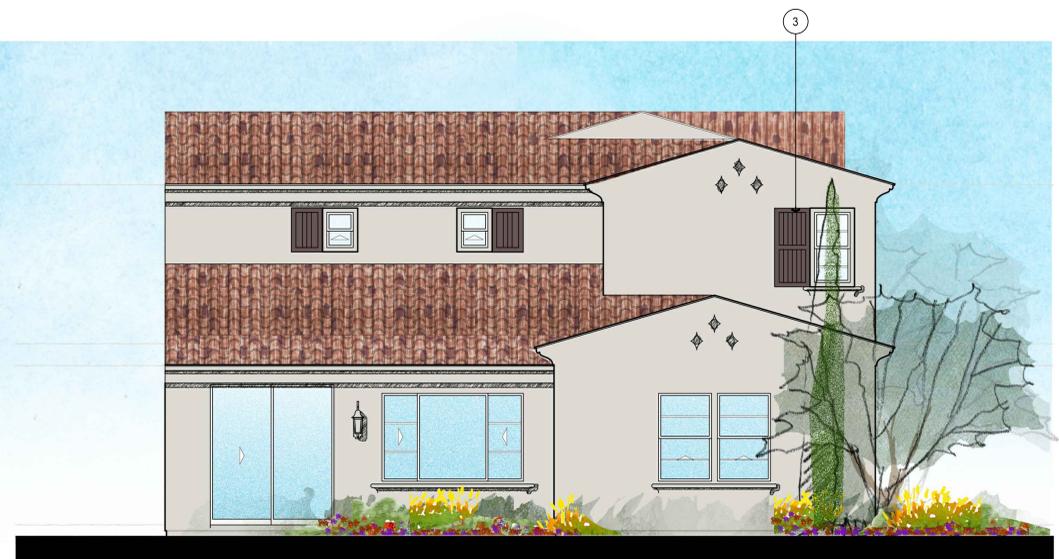
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

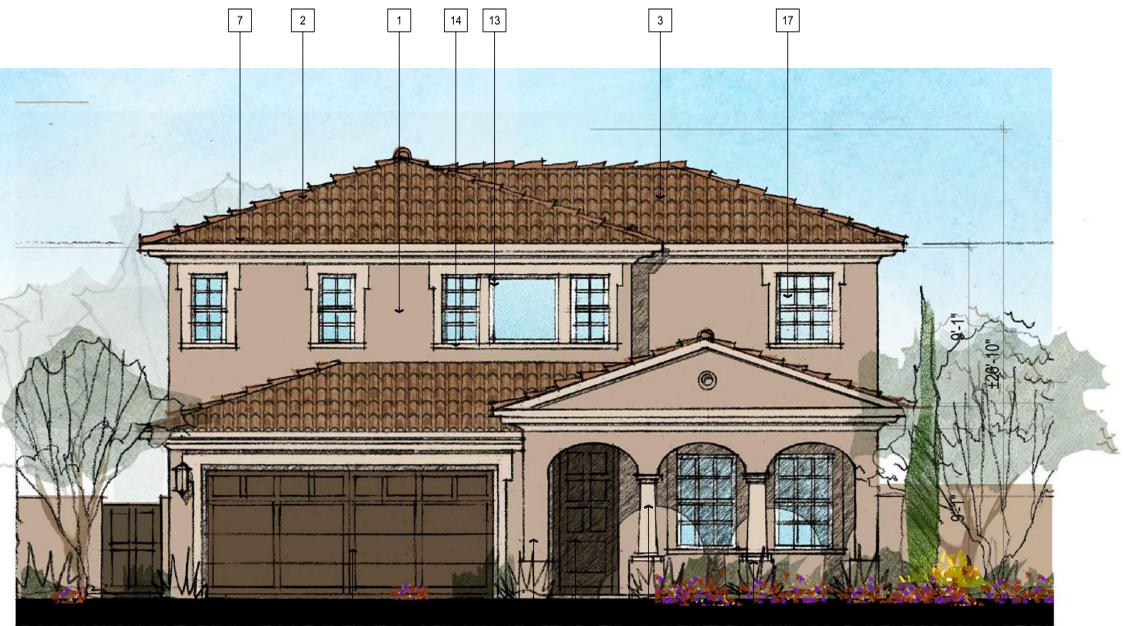
MATERIAL LEGEND

- | | | | |
|---|--|---|---|
| 1 Stucco, Light Sand Finish (20/30) | 6 Circular Shape Stucco o/ Foam Gable Trim | 12 Stucco Column Base | 18 Tile Paver Cap at (Low Wall) Pot Shelf |
| 2 Concrete "S" Profile Roof Tile | 7 Stucco o/ Foam Eave | 13 Stucco o/ Foam Window Trim Surround | 19 Fiberglass Entry Door |
| 3 Barrel Concrete Roof Tiles at Ridges | 8 Stucco o/ Foam Gable Pediment | 14 Stucco over Foam Window Sill | 20 Decorative Ext. Lights & Raised Address Sign |
| 4 Precast Concrete Roof Finial | 9 Stucco o/ Foam Entry Porch Surround | 15 Stucco over Foam Pot Shelf Trim | 21 Metal Sectional Garage Door |
| 5 Oval Shape Stucco over Foam Gable End | 10 Stucco o/ Foam Column | 16 Stucco Recess /Reveal (Where Occurs) | 22 Optional Man Door |
| | 11 Stucco Arch | 17 Vinyl Windows with Muntins | |



LEFT ELEVATION

22



FRONT ELEVATION

21

9

19

20

18



RIGHT ELEVATION



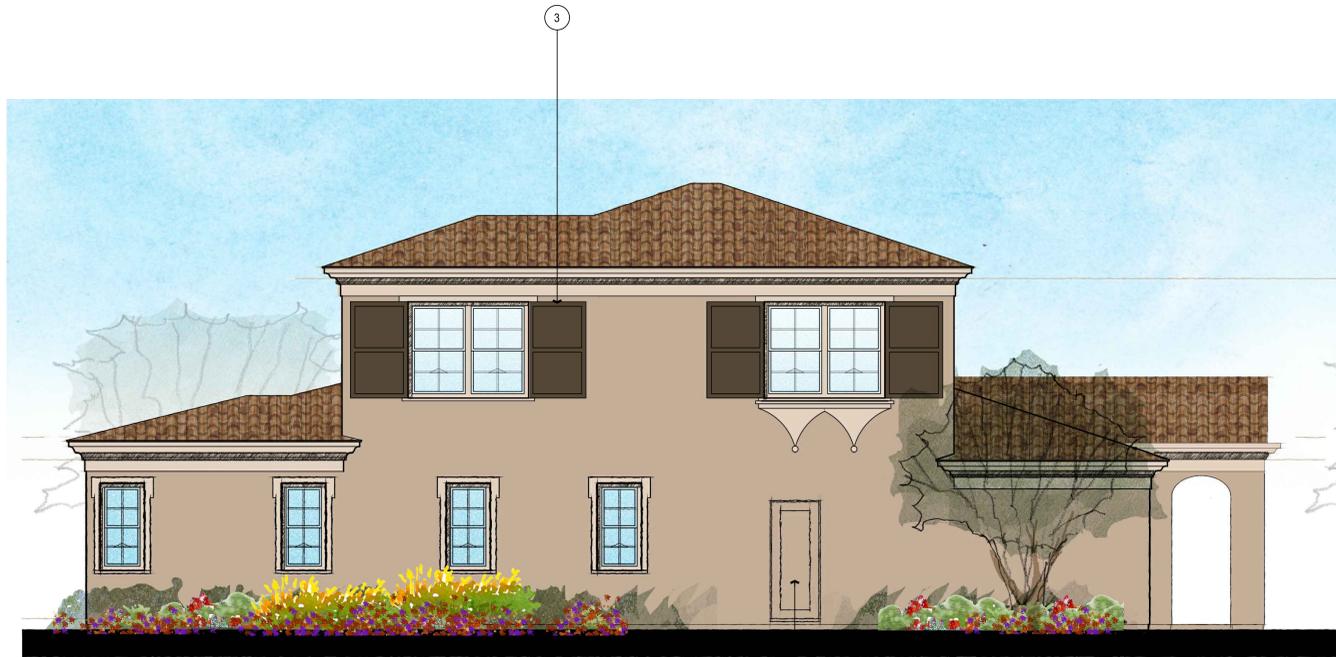
REAR ELEVATION

ENHANCED FEATURES AT ENHANCE LOCATIONS

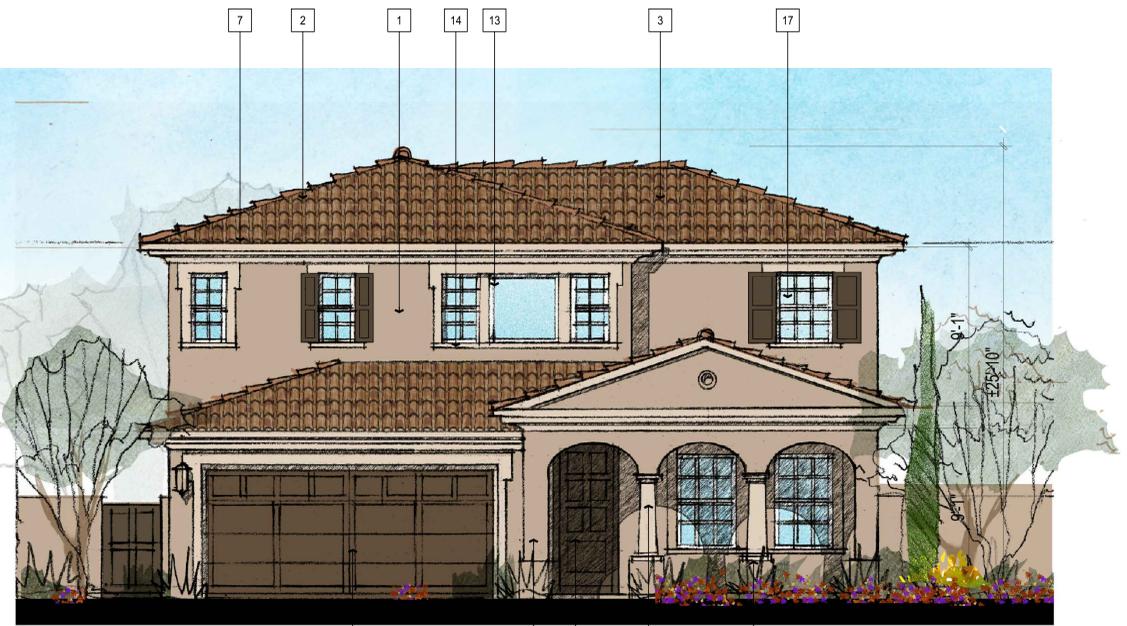
- ① Stucco over Foam Surround
- ② Stucco over Foam Window Sill Trim
- ③ Decorative Shutter Per Style
- ④ 1x6 Window Trim Surround
- ⑤ Stucco Recess

MATERIAL LEGEND

- ① Stucco, Light Sand Finish (20/30)
- ② Concrete "S" Profile Roof Tile
- ③ Barrel Concrete Roof Tiles at Ridges
- ④ Precast Concrete Roof Finial
- ⑤ Oval Shape Stucco over Foam Gable End
- ⑥ Circular Shape Stucco o/ Foam Gable Trim
- ⑦ Stucco o/ Foam Eave
- ⑧ Stucco o/ Foam Gable Pediment
- ⑨ Stucco o/ Foam Entry Porch Surround
- ⑩ Stucco o/ Foam Column
- ⑪ Stucco Arch
- ⑫ Stucco Column Base
- ⑬ Stucco o/ Foam Window Trim Surround
- ⑭ Stucco over Foam Window Sill
- ⑮ Stucco over Foam Pot Shelf Trim
- ⑯ Stucco Recess /Reveal (Where Occurs)
- ⑰ Vinyl Windows with Muntins
- ⑱ Tile Paver Cap at (Low Wall) Pot Shelf
- ⑲ Fiberglass Entry Door
- ⑳ Decorative Ext. Lights & Raised Address Sign
- ㉑ Metal Sectional Garage Door
- ㉒ Optional Man Door



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

MATERIAL LEGEND

- | | | | |
|---|--------------------------------|--|--------------------------------|
| 1 Stucco, Light Sand Finish (20/30) | 6 2x6 Wood Barge Board | 12 2x12 o/ 2x4 Vertical Siding | 18 Metal Sectional Garage Door |
| 2 Flat Concrete Shingle Roof (No Rake Tile) | 7 Fiber Cement Square Columns | 13 2x3 Wood Siding End Caps | 19 Optional Man Door |
| 3 Barrel Concrete Tiles at Hip and Ridge | 8 Fiber Cement Top o/ Low Wall | 14 6x8 Canopy Wood Angel Bracket w/ 4x6 Beam | |
| 4 6x8 Wood Outlooker | 9 2x6 Window Trim Surround | 15 Fiberglass Entry Doors | |
| 5 Vinyl Windows w/ Decorative Muntins | 10 2x4 Window Sill | 16 Decorative Exterior Lights & Raised Address | |
| | 11 2x10 Horizontal Wood Siding | 17 2x4 o/ 2x6 head Trim over Garage Door | |



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

ENHANCED FEATURES AT ENHANCE LOCATIONS

- ① Stucco over Foam Surround
- ② Stucco over Foam Window Sill Trim
- ③ Decorative Shutter Per Style
- ④ 1x6 Window Trim Surround
- ⑤ Stucco Recess

MATERIAL LEGEND

- ① Stucco, Light Sand Finish (20/30)
- ② Flat Concrete Shingle Roof (No Rake Tile)
- ③ Barrel Concrete Tiles at Hip and Ridge
- ④ 6x8 Wood Outlooker
- ⑤ Vinyl Windows w/ Decorative Muntins
- ⑥ 2x6 Wood Barge Board
- ⑦ Fiber Cement Square Columns
- ⑧ Fiber Cement Top of Low Wall
- ⑨ 2x6 Window Trim Surround
- ⑩ 2x4 Window Sill
- ⑪ 2x10 Horizontal Wood Siding
- ⑫ 2x12 o/ 2x4 Vertical Siding
- ⑬ 2x3 Wood Siding End Caps
- ⑭ 6x8 Canopy Wood Angel Bracket w/ 4x6 Beam
- ⑮ Fiberglass Entry Doors
- ⑯ Decorative Exterior Lights & Raised Address
- ⑰ 2x4 o/ 2x6 head Trim over Garage Door
- ⑱ Metal Sectional Garage Door
- ⑲ Optional Man Door



LEFT ELEVATION



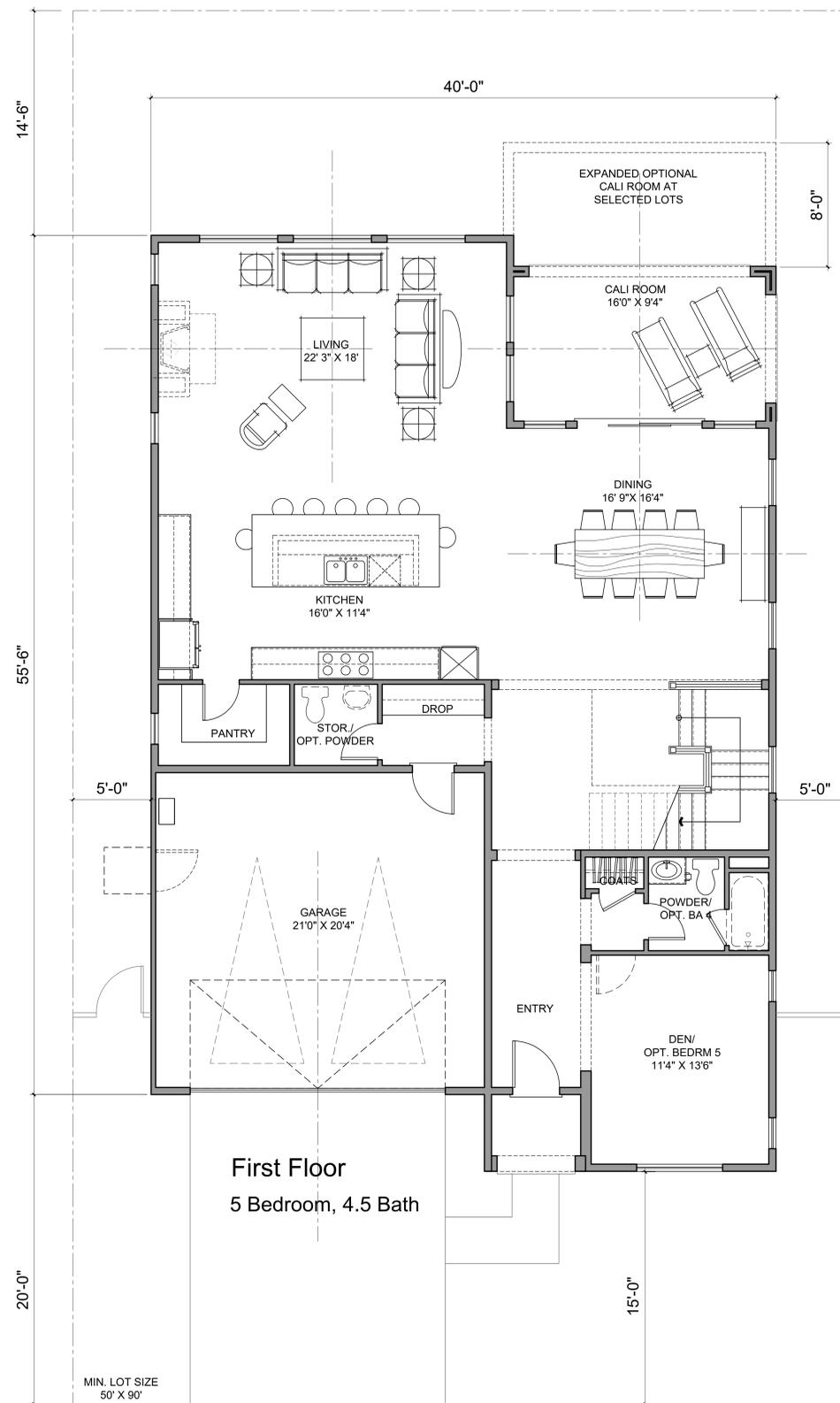
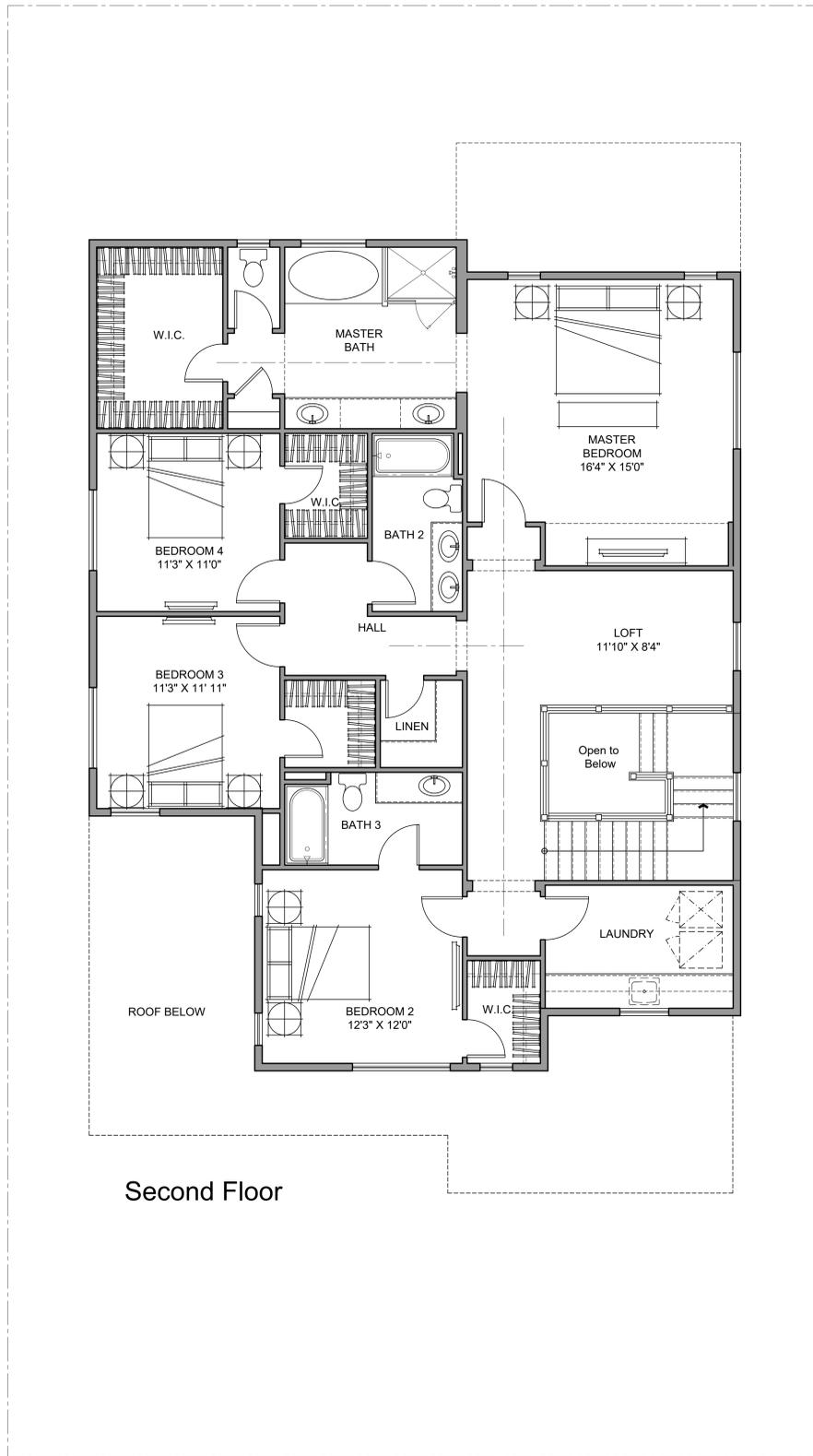
FRONT ELEVATION



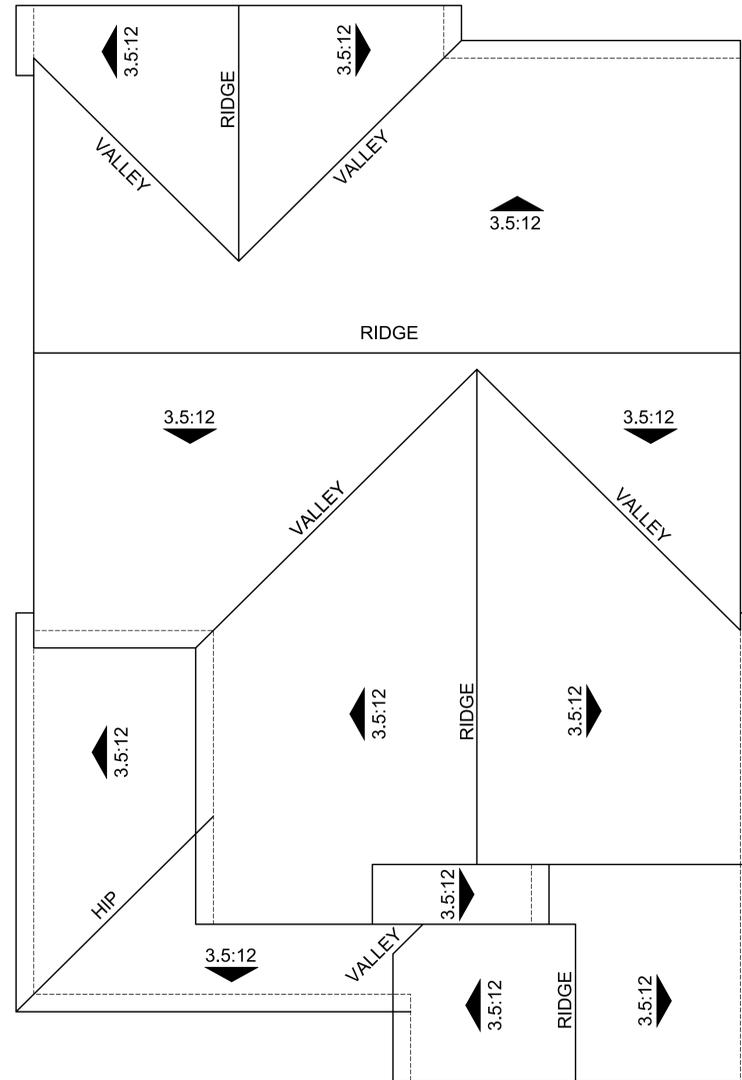
RIGHT ELEVATION



REAR ELEVATION



P5 - GROSS SF	
1ST FLOOR	1637 SQ. FT.
2ND FLOOR	1702 SQ. FT.
TOTAL LIVING	3339 SQ. FT.
GARAGE	444 SQ. FT.



ROOF PLAN (Spanish Santa Barbara - A type)
 OVERHANG : 12" Eave ; 0" Rake
 ROOF PITCH : 3.5:12

MATERIAL LEGEND

- 1 Stucco, Light Sand Finish (20/30)
- 2 Concrete "S" Profile Roof Tile
- 3 Stucco over Foam Eave
- 4 Stucco Sill Trim
- 5 Stucco over Foam Surround

- 6 Stucco Recess
- 7 Recessed Faux Diamond Gable Vent
- 8 Tile Paver Cap at (Low Wall) Baranca
- 9 Vinyl Windows
- 10 Exposed Truss Tails at Eaves
- 11 Decorative Fiber Cement Shutter Panel

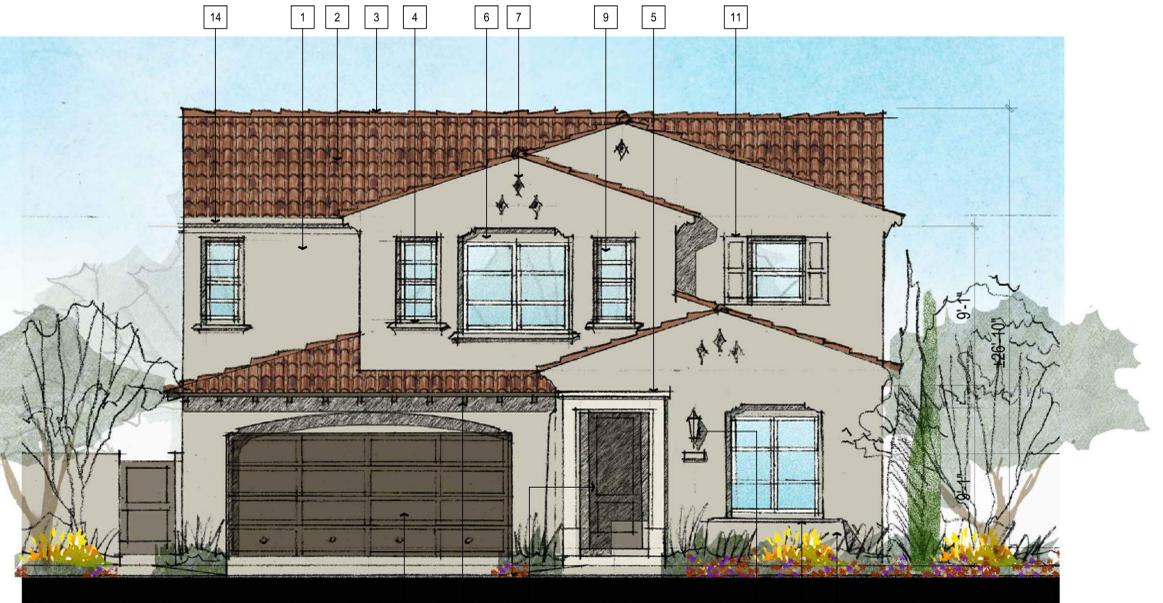
- 12 Stucco over Foam Column
- 13 Stucco Arched Soffit
- 14 Stucco over Foam Corbel
- 15 Stucco Battered Wall
- 16 Fiberglass Entry Doors
- 17 Decorative Ext. Lights & Raised Address

- 18 Metal Sectional Garage Door
- 19 Optional Man Door



LEFT ELEVATION

19



FRONT ELEVATION

18 10 16 17 8 15



RIGHT ELEVATION



REAR ELEVATION

ENHANCED FEATURES AT ENHANCE LOCATIONS

- ① Stucco over Foam Surround
- ② Stucco over Foam Window Sill Trim
- ③ Decorative Shutter Per Style
- ④ 1x6 Window Trim Surround
- ⑤ Stucco Recess

MATERIAL LEGEND

- ① Stucco, Light Sand Finish (20/30)
- ② Concrete "S" Profile Roof Tile
- ③ Stucco over Foam Eave
- ④ Stucco Sill Trim
- ⑤ Stucco over Foam Surround

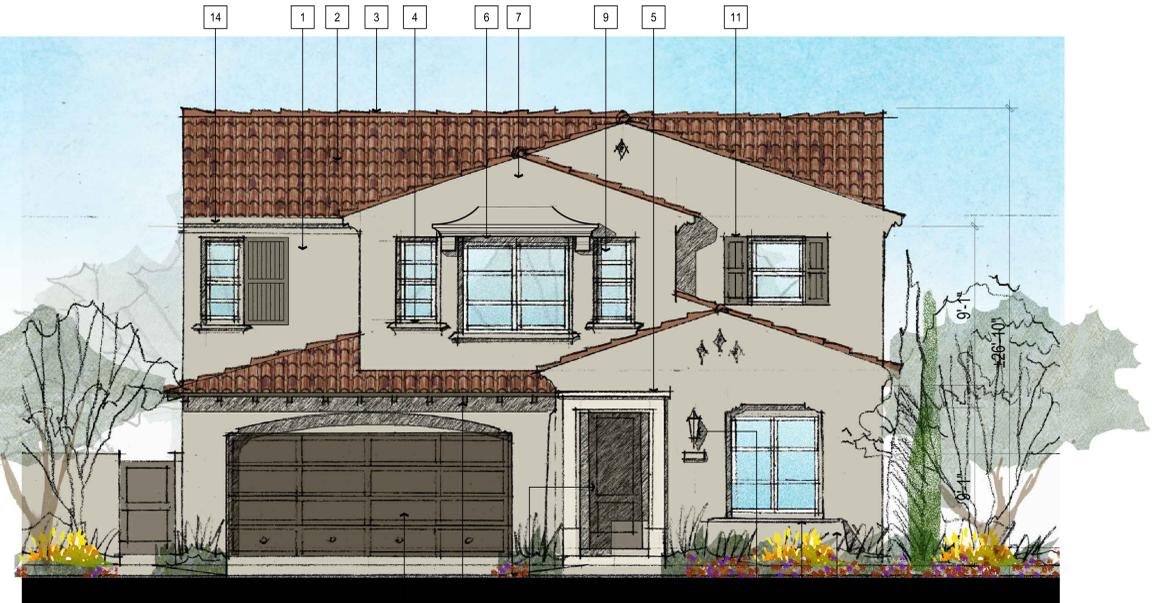
- ⑥ Stucco Recess
- ⑦ Recessed Faux Diamond Gable Vent
- ⑧ Tile Paver Cap at (Low Wall) Baranca
- ⑨ Vinyl Windows
- ⑩ Exposed Truss Tails at Eaves
- ⑪ Decorative Fiber Cement Shutter Panel

- ⑫ Stucco over Foam Column
- ⑬ Stucco Arched Soffit
- ⑭ Stucco over Foam Corbel
- ⑮ Stucco Battered Wall
- ⑯ Fiberglass Entry Doors
- ⑰ Decorative Ext. Lights & Raised Address

- ⑱ Metal Sectional Garage Door
- ⑲ Optional Man Door



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



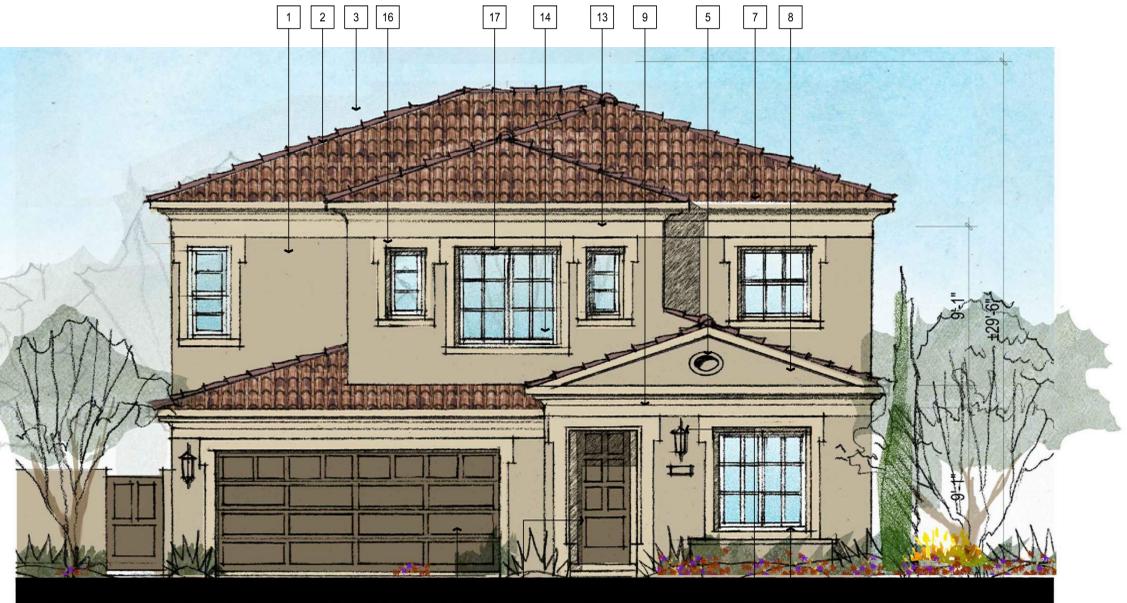
REAR ELEVATION

MATERIAL LEGEND

- | | | | |
|---|---|---|---|
| 1 Stucco, Light Sand Finish (20/30) | 6 Circular Shape Stucco / Foam Gable Trim | 12 Stucco Column Base | 18 Tile Paver Cap at (Low Wall) Pot Shelf |
| 2 Concrete "S" Profile Roof Tile | 7 Stucco / Foam Eave | 13 Stucco / Foam Window Trim Surround | 19 Fiberglass Entry Door |
| 3 Barrel Concrete Roof Tiles at Ridges | 8 Stucco / Foam Gable Pediment | 14 Stucco over Foam Window Sill | 20 Decorative Ext. Lights & Raised Address Sign |
| 4 Precast Concrete Roof Finial | 9 Stucco / Foam Entry Porch Surround | 15 Stucco over Foam Pot Shelf Trim | 21 Metal Sectional Garage Door |
| 5 Oval Shape Stucco over Foam Gable End | 10 Stucco / Foam Column | 16 Stucco Recess /Reveal (Where Occurs) | 22 Optional Man Door |
| | 11 Stucco Arch | 17 Vinyl Windows with Muntins | |



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



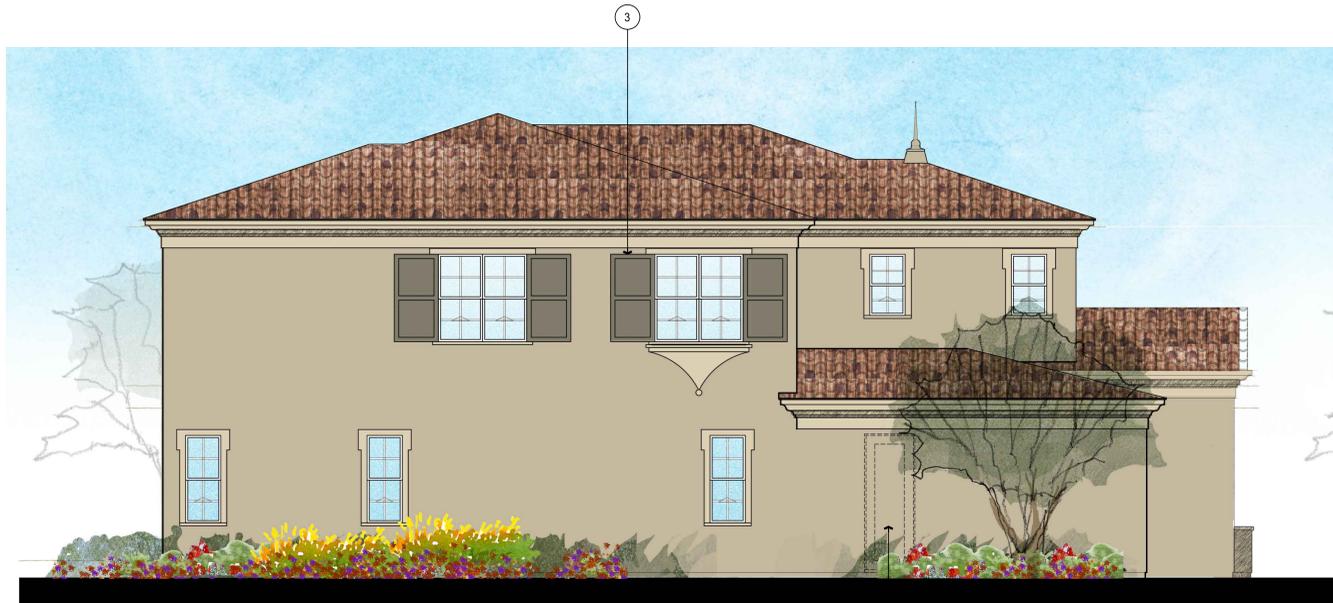
REAR ELEVATION

ENHANCED FEATURES AT ENHANCE LOCATIONS

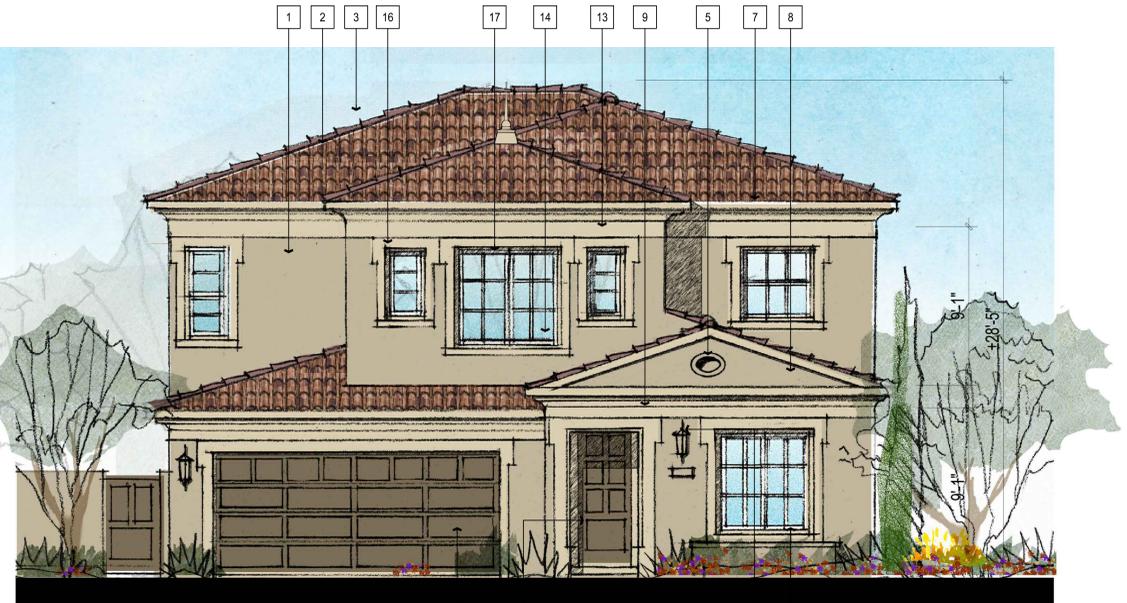
- ① Stucco over Foam Surround
- ② Stucco over Foam Window Sill Trim
- ③ Decorative Shutter Per Style
- ④ 1x6 Window Trim Surround
- ⑤ Stucco Recess

MATERIAL LEGEND

- ① Stucco, Light Sand Finish (20/30)
- ② Concrete "S" Profile Roof Tile
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- ④ Precast Concrete Roof Finial
- ⑤ Oval Shape Stucco over Foam Gable End
- ⑥ Circular Shape Stucco / Foam Gable Trim
- ⑦ Stucco / Foam Eave
- ⑧ Stucco / Foam Gable Pediment
- ⑨ Stucco / Foam Entry Porch Surround
- ⑩ Stucco / Foam Column
- ⑪ Stucco Arch
- ⑫ Stucco Column Base
- ⑬ Stucco / Foam Window Trim Surround
- ⑭ Stucco over Foam Window Sill
- ⑮ Stucco over Foam Pot Shelf Trim
- ⑯ Stucco Recess /Reveal (Where Occurs)
- ⑰ Vinyl Windows with Muntins
- ⑱ Tile Paver Cap at (Low Wall) Pot Shelf
- ⑲ Fiberglass Entry Door
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- ㉑ Metal Sectional Garage Door
- ㉒ Optional Man Door



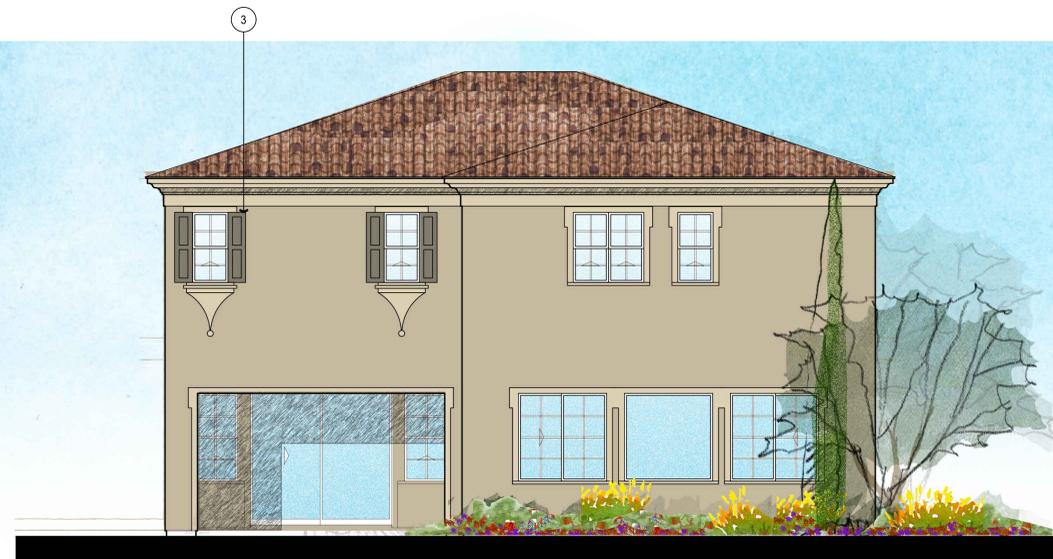
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION

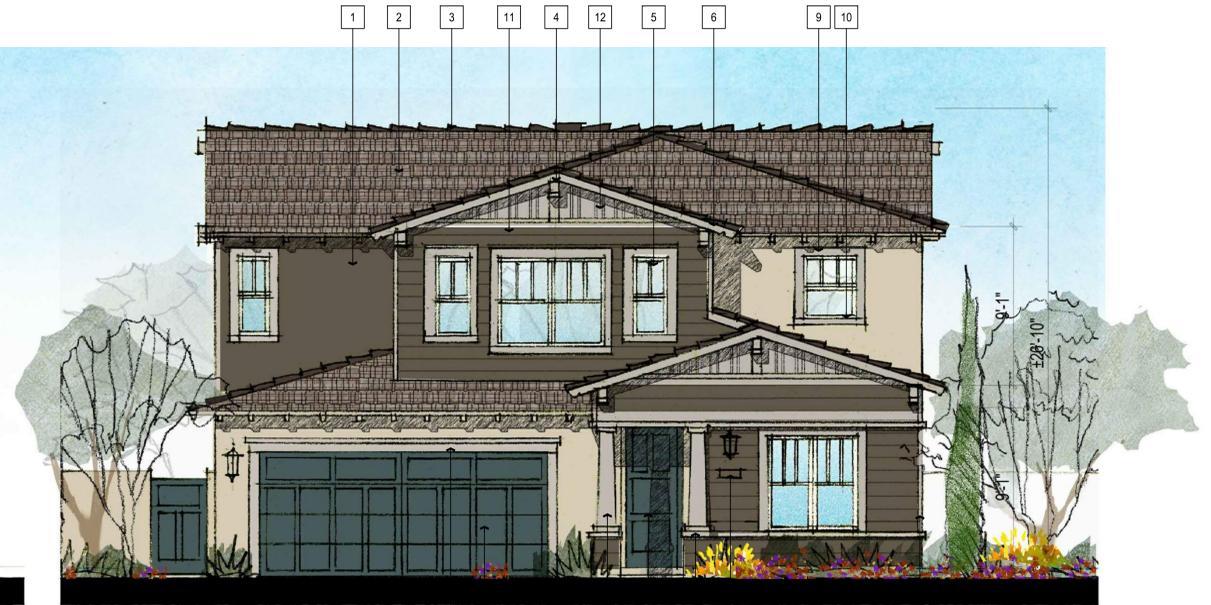


REAR ELEVATION

- MATERIAL LEGEND**
- | | | | |
|---|--------------------------------|--|--------------------------------|
| 1 Stucco, Light Sand Finish (20/30) | 6 2x6 Wood Barge Board | 12 2x12 o/ 2x4 Vertical Siding | 18 Metal Sectional Garage Door |
| 2 Flat Concrete Shingle Roof (No Rake Tile) | 7 Fiber Cement Square Columns | 13 2x3 Wood Siding End Caps | 19 Optional Man Door |
| 3 Barrel Concrete Tiles at Hip and Ridge | 8 Fiber Cement Top o/ Low Wall | 14 6x8 Canopy Wood Angel Bracket w/ 4x6 Beam | |
| 4 6x8 Wood Outlooker | 9 2x6 Window Trim Surround | 15 Fiberglass Entry Doors | |
| 5 Vinyl Windows w/ Decorative Muntins | 10 2x4 Window Sill | 16 Decorative Exterior Lights & Raised Address | |
| | 11 2x10 Horizontal Wood Siding | 17 2x4 o/ 2x6 head Trim over Garage Door | |



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

ENHANCED FEATURES AT ENHANCE LOCATIONS

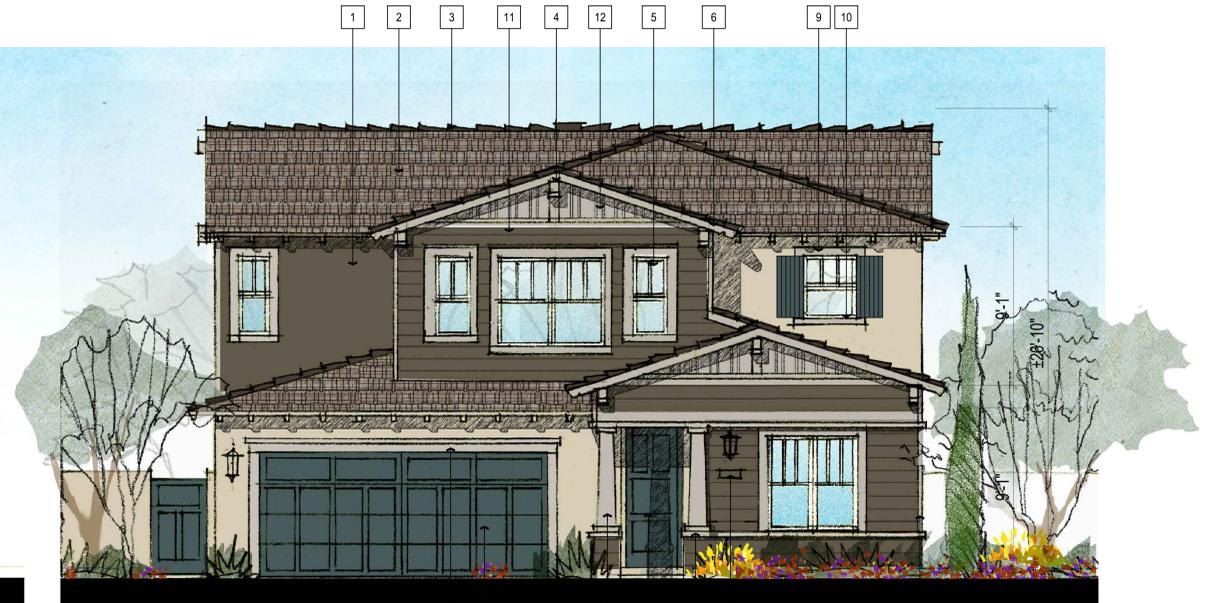
- ① Stucco over Foam Surround
- ② Stucco over Foam Window Sill Trim
- ③ Decorative Shutter Per Style
- ④ 1x6 Window Trim Surround
- ⑤ Stucco Recess

MATERIAL LEGEND

- | | | | |
|---|--------------------------------|---|-------------------------------|
| ① Stucco, Light Sand Finish (20/30) | ⑥ 2x6 Wood Barge Board | ⑫ 2x12 o/ 2x4 Vertical Siding | ⑱ Metal Sectional Garage Door |
| ② Flat Concrete Shingle Roof (No Rake Tile) | ⑦ Fiber Cement Square Columns | ⑬ 2x3 Wood Siding End Caps | ⑲ Optional Man Door |
| ③ Barrel Concrete Tiles at Hip and Ridge | ⑧ Fiber Cement Top o/ Low Wall | ⑭ 6x8 Canopy Wood Angel Bracket w/ 4x6 Beam | |
| ④ 6x8 Wood Outlooker | ⑨ 2x6 Window Trim Surround | ⑮ Fiberglass Entry Doors | |
| ⑤ Vinyl Windows w/ Decorative Muntins | ⑩ 2x4 Window Sill | ⑯ Decorative Exterior Lights & Raised Address | |
| | ⑪ 2x10 Horizontal Wood Siding | ⑰ 2x4 o/ 2x6 head Trim over Garage Door | |



LEFT ELEVATION



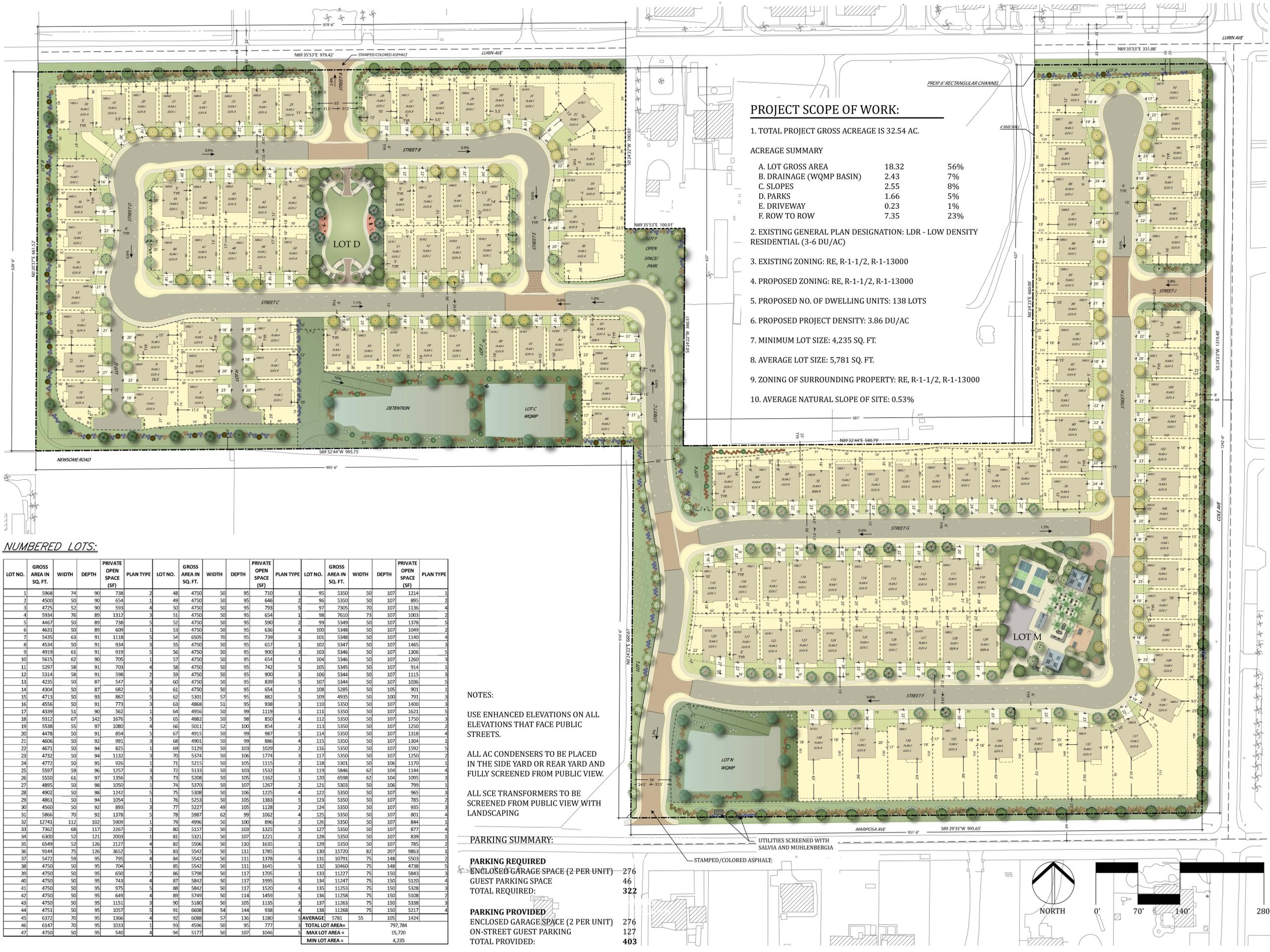
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



PROJECT SCOPE OF WORK:

- TOTAL PROJECT GROSS ACREAGE IS 32.54 AC.
- ACREAGE SUMMARY
- | | | |
|--------------------------|-------|-----|
| A. LOT GROSS AREA | 18.32 | 56% |
| B. DRAINAGE (WQMP BASIN) | 2.43 | 7% |
| C. SLOPES | 2.55 | 8% |
| D. PARKS | 1.66 | 5% |
| E. DRIVEWAY | 0.23 | 1% |
| F. ROW TO ROW | 7.35 | 23% |
- EXISTING GENERAL PLAN DESIGNATION: LDR - LOW DENSITY RESIDENTIAL (3-6 DU/AC)
 - EXISTING ZONING: RE, R-1-1/2, R-1-13000
 - PROPOSED ZONING: RE, R-1-1/2, R-1-13000
 - PROPOSED NO. OF DWELLING UNITS: 138 LOTS
 - PROPOSED PROJECT DENSITY: 3.86 DU/AC
 - MINIMUM LOT SIZE: 4,235 SQ. FT.
 - AVERAGE LOT SIZE: 5,781 SQ. FT.
 - ZONING OF SURROUNDING PROPERTY: RE, R-1-1/2, R-1-13000
 - AVERAGE NATURAL SLOPE OF SITE: 0.53%

NUMBERED LOTS:

LOT NO.	GROSS AREA IN SQ. FT.	WIDTH	DEPTH	PRIVATE OPEN SPACE (SF)	PLAN TYPE	LOT NO.	GROSS AREA IN SQ. FT.	WIDTH	DEPTH	PRIVATE OPEN SPACE (SF)	PLAN TYPE	LOT NO.	GROSS AREA IN SQ. FT.	WIDTH	DEPTH	PRIVATE OPEN SPACE (SF)	PLAN TYPE	
1	5968	74	90	738	2	48	4750	50	95	710	1	95	5350	50	107	1214	1	
2	4500	50	90	654	1	49	4750	50	95	646	2	96	5350	50	107	895	2	
3	4775	52	90	593	4	50	4750	50	95	739	5	97	7265	70	107	1136	4	
4	5934	76	89	1312	3	51	4750	50	95	654	1	98	7610	73	107	1003	2	
5	4467	50	89	738	5	52	4750	50	95	590	2	99	5349	50	107	1378	5	
6	4631	50	89	609	1	53	4750	50	95	636	4	100	5348	50	107	1049	2	
7	5435	63	91	1118	5	54	6505	70	95	739	3	101	5348	50	107	1140	4	
8	4534	50	91	934	3	55	4750	50	95	657	1	102	5347	50	107	1465	3	
9	4919	61	91	919	5	56	4750	50	95	900	3	103	5346	50	107	1306	5	
10	5615	62	90	705	1	57	4750	50	95	654	1	104	5346	50	107	1260	3	
11	5297	58	91	703	4	58	4750	50	95	742	5	105	5345	50	107	914	1	
12	5314	58	91	598	2	59	4750	50	95	900	3	106	5344	50	107	1115	3	
13	4235	50	87	547	3	60	4750	50	95	839	5	107	5344	50	107	1036	5	
14	4304	50	87	682	3	61	4750	50	95	654	1	108	5285	50	105	901	1	
15	4713	50	93	862	5	62	5301	57	95	882	5	109	4935	50	100	791	3	
16	4556	50	91	773	3	63	4868	51	95	938	3	110	5350	50	107	1400	3	
17	4339	51	90	362	1	64	4956	50	99	1119	5	111	5350	50	107	1621	5	
18	3912	67	142	1676	5	65	4882	50	98	850	4	112	5350	50	107	1750	3	
19	5538	55	97	1080	4	66	5011	52	100	854	2	113	5350	50	107	1250	2	
20	4478	50	91	854	5	67	4915	50	99	987	5	114	5350	50	107	1318	4	
21	4606	50	92	991	3	68	4901	50	99	886	4	115	5350	50	107	1304	1	
22	4671	50	94	825	1	69	5129	50	103	1029	2	116	5350	50	107	1592	5	
23	4732	50	94	1132	3	70	5374	50	106	1774	3	117	5350	50	107	1250	2	
24	4772	50	95	926	1	71	5215	50	105	1115	2	118	5301	50	106	1170	1	
25	5597	59	96	1257	3	72	5133	50	103	1532	3	119	5846	62	104	1144	4	
26	5550	61	97	1356	3	73	5208	50	105	1162	1	120	6598	62	104	1095	3	
27	4895	50	98	1050	1	74	5370	50	107	1267	2	121	5303	50	106	799	1	
28	4902	50	98	1242	5	75	5308	50	106	1225	4	122	5350	50	107	965	3	
29	4861	50	94	1054	1	76	5253	50	105	1383	5	123	5350	50	107	785	2	
30	4560	50	92	893	3	77	5227	49	105	1128	2	124	5350	50	107	935	3	
31	5866	70	92	1378	5	78	5987	62	99	1062	4	125	5350	50	107	801	4	
32	1241	112	102	5909	1	79	4096	50	100	896	2	126	5350	50	107	844	4	
33	7262	68	117	2267	2	80	5157	50	109	1235	2	127	5350	50	107	877	4	
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37	5472	59	95	795	4	84	5542	50	111	1378	4	131	10791	75	148	5503	2	
38	4750	50	95	704	1	85	5542	50	111	1645	5	132	10460	75	148	4738	5	
39	4750	50	95	650	2	86	5798	50	117	1705	1	133	11227	75	150	5843	3	
40	4750	50	95	743	4	87	5842	50	117	1995	5	134	11247	75	150	5120	4	
41	4750	50	95	975	5	88	5842	50	117	1520	4	135	11253	75	150	5328	3	
42	4750	50	95	649	4	89	5749	50	114	1459	5	136	11258	75	150	5108	2	
43	4750	50	95	1151	3	90	5180	50	105	1135	3	137	11263	75	150	5338	3	
44	4751	50	95	1057	5	91	6608	54	144	938	4	138	11268	75	150	5217	4	
45	6372	70	95	1366	4	92	6088	57	136	1180	3	AVERAGE	5781	55	105	1424		
46	6147	70	95	1033	1	93	4596	50	95	777	3	TOTAL LOT AREA =				797,784		
47	4750	50	95	540	4	94	5177	50	107	1046	5	MAX LOT AREA =				15,720		
												MIN LOT AREA =					4,235	

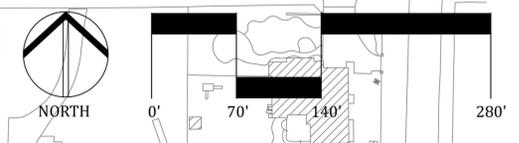
NOTES:

- USE ENHANCED ELEVATIONS ON ALL ELEVATIONS THAT FACE PUBLIC STREETS.
- ALL AC CONDENSERS TO BE PLACED IN THE SIDE YARD OR REAR YARD AND FULLY SCREENED FROM PUBLIC VIEW.
- ALL SCE TRANSFORMERS TO BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING

PARKING SUMMARY:

PARKING REQUIRED	
ENCLOSED GARAGE SPACE (2 PER UNIT)	276
GUEST PARKING SPACE	46
TOTAL REQUIRED:	322
PARKING PROVIDED	
ENCLOSED GARAGE SPACE (2 PER UNIT)	276
ON-STREET GUEST PARKING	127
TOTAL PROVIDED:	403

SITE PLAN
TENTATIVE TRACT MAP NO. 37731
 DIVERSIFIED PACIFIC



BASIS OF BEARINGS:

THE BASIS OF BEARINGS SHOWN HEREON ARE BASED ON THE CITY OF CORONA GPS MONUMENTS NO. 1183 OAK DAM (N: 2254579.060, E: 6152363.939 AND NO. 3039 LINDSON 2 1953 (N: 2249760.701, E: 6154840.535), BEING N 27°12'10" W.

BENCHMARK:

CITY OF RIVERSIDE DESIGNATION: EB-G3
P.K. NAIL AND CITY ENGINEER TAG IN THE TOP OF THE SIDEWALK OVER THE EASTERLY WALL OF A CATCH BASIN ALONG THE SOUTHERLY CURB OF VAN BUREN BLVD AND 700 FEET EASTERLY OF WOOD ROAD.
ELEV: 1644.96' (NAD 88)

LEGAL DESCRIPTION:

PARCEL 1: (APN: 266-140-021, 266-140-022)
LOT 23 OF WOODCREST ACRES, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 11, PAGE 62 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.
PARCEL 2 (APN 266-140-029, 266-140-030)
PARCELS 1 AND 2 OF PARCEL MAP NO. 8704, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 38, PAGE 76 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.
PARCEL 3: (APN 266-140-049, 266-140-050)

THAT PORTION OF THE WEST HALF OF LOT 22 OF WOODCREST ACRES, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 11, PAGE 62 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH A PORTION OF THE WEST HALF OF THE WEST HALF OF THE EAST HALF OF SAID LOT 22, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE NORTHERLY LINE OF SAID LOT 22, DISTANT THEREON SOUTH 88°49'30" WEST, 100.00 FEET FROM THE NORTHEAST CORNER OF THE WEST HALF OF THE WEST HALF OF THE EAST HALF OF SAID LOT 22, SAID POINT ALSO BEING ON THE CENTER LINE OF LURIN AVENUE (30 FEET IN HALF WIDTH); THENCE SOUTHERLY LEAVING SAID NORTHERLY LINE ALONG A LINE PARALLEL TO THE WEST LINE OF THE WEST HALF OF THE WEST HALF OF THE EAST HALF OF SAID LOT 22, 300 FEET; THENCE NORTH 89°49'30" EAST, PARALLEL TO SAID NORTHERLY LINE, 100 FEET TO THE EASTERLY LINE OF SAID WEST HALF OF THE WEST HALF OF THE EAST HALF OF SAID LOT 22; THENCE SOUTHERLY ALONG SAID EASTERLY LINE, 362.05 FEET TO THE SOUTHEAST CORNER OF SAID WEST HALF OF THE WEST HALF OF THE EAST HALF OF SAID LOT 22; THENCE SOUTH 88°47'15" WEST, ALONG THE SOUTHERLY LINE OF SAID LOT 22, 414.95 FEET TO THE SOUTHWEST CORNER OF SAID LOT 22; THENCE NORTH 00°17'00" WEST, ALONG THE WESTERLY LINE OF SAID LOT 22, 662.09 FEET TO THE NORTHWEST CORNER THEREOF, SAID POINT ALSO BEING ON THE CENTER LINE OF SAID LURIN AVENUE; THENCE ALONG SAID NORTHERLY LINE, NORTH 88°49'30" EAST, 314.90 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THE NORTHERLY 33 FEET OF ABOVE DESCRIBED PARCEL.
SAID LAND IS DESCRIBED AND DELINEATED AS LOT A ON THAT CERTAIN "CERTIFICATE OF COMPLIANCE FOR LOT LINE ADJUSTMENT RECORDED DECEMBER 23, 2016 AS INSTRUMENT NO. 2016-0575044 OF OFFICIAL RECORDS.

STATEMENT OF PREPARER

I HEREBY STATE THAT THIS MAP WAS PREPARED UNDER MY SUPERVISION AND THAT THE OWNER OF RECORD HAS KNOWLEDGE OF AND CONSENTS TO THE FILING OF THIS MAP.



DATE _____
MATTHEW L. LANINOVICH, P.E.

EASEMENT NOTES:

- ITEMS SHOWN HEREON WERE PLOTTED FROM RECORD DATA BASED ON SCHEDULE "B" DOCUMENTS FROM THE CHICAGO TITLE, REPORT NO. 00101949-966-S01-RT4, DATED DECEMBER 17, 2018.
PLOTTABLE EASEMENTS ARE INDICATED BY A "△". NON-PLOTTABLE EASEMENTS ARE INDICATED BY A "□".
- △ A 20' EASEMENT FOR A SEWER LINE AND INCIDENTAL PURPOSES IN FAVOR OF THE UNITED STATES OF AMERICA RECORDED NOVEMBER 18, 1943 IN BOOK 603, PAGE 237 O.R. [TO BE RELOCATED WITHIN STREETS A, B, C & E]
 - △ A 20' EASEMENT FOR A SEWER LINE AND INCIDENTAL PURPOSES IN FAVOR OF THE UNITED STATES OF AMERICA RECORDED NOVEMBER 23, 1943 IN BOOK 601, PAGE 554 O.R. [TO BE RELOCATED WITHIN STREET C]
 - △ A 20' EASEMENT FOR A SEWER LINE AND INCIDENTAL PURPOSES IN FAVOR OF THE UNITED STATES OF AMERICA RECORDED FEBRUARY 11, 1944 IN BOOK 612, PAGE 334 O.R. [TO BE RELOCATED WITHIN MARIPOSA AVE. & STREET C]

ENGINEER:

KWC ENGINEERS
1880 COMPTON AVENUE
CORONA, CA 92881-3370
(951) 734-2130
CONTACT: MATTHEW LANINOVICH, P.E.

OWNER/DEVELOPER:

LURIN LAND 1, LLC
10621 CIVIC CENTER DRIVE
RANCHO CUCAMONGA, CA 91730
CONTACT: NOLAN LEGGIO

PROPERTY OWNERSHIP INFO:

APNS: 266-140-029, 266-140-030, 266-140-049, 266-140-050, 266-140-022, 266-140-021

PROJECT SCOPE OF WORK:

- TOTAL PROJECT GROSS ACREAGE IS 32.54 AC.
- ACREAGE SUMMARY
ITEM ACREAGE PERCENT
A. LOT GROSS AREA 18.32 56%
B. DRAINAGE (WQMP BASIN) 2.43 7%
C. SLOPES 2.55 8%
D. PARKS 1.66 5%
E. DRIVEWAY 0.23 1%
F. ROW TO ROW 7.35 23%
- EXISTING GENERAL PLAN DESIGNATION: LDR- LOW DENSITY RESIDENTIAL (3-6 DU/AC)
- EXISTING ZONING: RE, R-1-1/2, R-1-13000
- PROPOSED ZONING: RE, R-1-1/2, R-1-13000
- PROPOSED NO. OF DWELLING UNITS: 138 LOTS.
- PROPOSED PROJECT DENSITY: 3.86 DU/AC.
- MINIMUM LOT SIZE: 4,235 SQ. FT.
- AVERAGE LOT SIZE: 5,781 SQ. FT.
- ZONING OF SURROUNDING PROPERTY: R-1-13000
- AVERAGE NATURAL SLOPE OF SITE: 0.53%

UTILITY NOTES:

- SEWER & WATER: WESTERN MUNICIPAL WATER DISTRICT
GAS: SOCAL GAS
ELECTRICITY: SOUTHERN CALIFORNIA EDISON
SCHOOL DISTRICT: RIVERSIDE UNIFIED SCHOOL DISTRICT

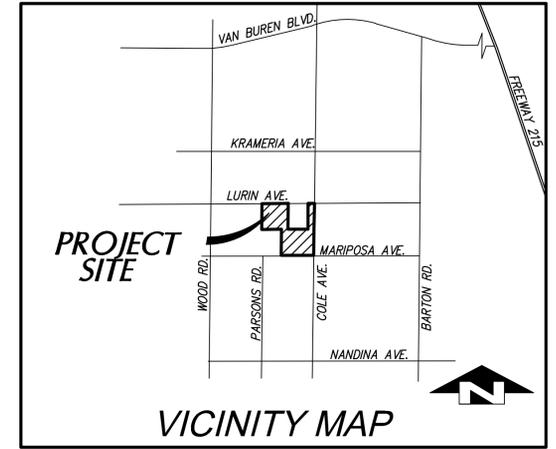
SETBACK INFORMATION:

RE, RR & R-1-1/2 Ac.		R-1 zones (Except R-1-1/2)
Setbacks From Project Perimeters		
Same as base zone. The setback shall be fully landscaped and no fences or walls shall be permitted to encroach into the setback.		
Adjacent to Public Street	25 ft.	20 ft.
Adjacent to Perimeter Property Lines	25 ft.	20 ft.
Setbacks Within Project Boundaries (May be modified in conjunction with the PRD):		
Front Yard Setback	15 ft.	10 ft.
Side Yard Setback	5 ft.	5 ft.
Rear Yard Setback	15 ft.	10 ft.
Single-Family Residential Base Zones Building Setbacks Adjacent to Public Street		
RE	R-1-1/2 Acre	R-1-13000
A. Front	30 ft.	30 ft.
B. Side	25 ft.	20 ft.
C. Rear	30 ft.	35 ft.

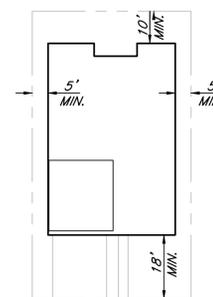
TRACT MAP NO. 37731

NUMBERED LOTS:

LOT NO.	GROSS AREA IN SQ. FT.	WIDTH	DEPTH	PLAN TYPE	LOT NO.	GROSS AREA IN SQ. FT.	WIDTH	DEPTH	PLAN TYPE	LOT NO.	GROSS AREA IN SQ. FT.	WIDTH	DEPTH	PLAN TYPE	
1	5968	74	90	2	48	4750	50	95	1	95	5350	50	107	1	
2	4500	50	90	1	49	4750	50	95	2	96	5350	50	107	2	
3	4725	52	90	4	50	4750	50	95	5	97	7305	70	107	4	
4	5934	76	89	3	51	4750	50	95	1	98	7610	73	107	2	
5	4467	50	89	5	52	4750	50	95	2	99	5349	50	107	5	
6	4631	50	89	1	53	4750	50	95	4	100	5348	50	107	2	
7	5435	63	91	5	54	6505	70	95	3	101	5348	50	107	4	
8	4534	50	91	3	55	4750	50	95	1	102	5347	50	107	3	
9	4919	61	91	5	56	4750	50	95	3	103	5346	50	107	5	
10	5615	62	90	1	57	4750	50	95	1	104	5346	50	107	3	
11	5297	58	91	4	58	4750	50	95	5	105	5345	50	107	1	
12	5314	58	91	2	59	4750	50	95	3	106	5344	50	107	3	
13	4235	50	87	3	60	4750	50	95	5	107	5344	50	107	5	
14	4304	50	87	3	61	4750	50	95	1	108	5285	50	105	1	
15	4713	50	93	5	62	5301	57	95	5	109	4935	50	100	3	
16	4556	50	91	3	63	4868	51	95	3	110	5350	50	107	3	
17	4339	51	90	1	64	4956	50	99	5	111	5350	50	107	5	
18	9312	67	142	5	65	4882	50	98	4	112	5350	50	107	3	
19	5538	55	97	4	66	5011	52	100	2	113	5350	50	107	2	
20	4478	50	91	5	67	4915	50	99	5	114	5350	50	107	4	
21	4606	50	92	3	68	4901	50	99	4	115	5350	50	107	1	
22	4671	50	94	1	69	5129	50	103	2	116	5350	50	107	5	
23	4732	50	94	3	70	5374	50	106	3	117	5350	50	107	2	
24	4772	50	95	1	71	5215	50	105	2	118	5301	50	106	1	
25	5597	59	96	3	72	5133	50	103	3	119	5846	62	104	4	
26	5550	61	97	3	73	5208	50	105	1	120	6598	62	104	3	
27	4895	50	98	1	74	5370	50	107	2	121	5303	50	106	1	
28	4902	50	98	5	75	5308	50	106	4	122	5350	50	107	3	
29	4861	50	94	1	76	5253	50	105	5	123	5350	50	107	2	
30	4560	50	92	3	77	5227	49	105	2	124	5350	50	107	3	
31	5866	70	92	5	78	5987	62	99	4	125	5350	50	107	4	
32	12741	112	102	1	79	4996	50	100	2	126	5350	50	107	1	
33	7362	68	117	2	80	5157	50	103	5	127	5350	50	107	4	
34	6300	52	121	1	81	5321	50	107	2	128	5350	50	107	1	
35	6549	52	126	4	82	5506	50	110	2	129	5350	50	107	2	
36	9144	75	126	5	83	5542	50	111	5	130	15720	82	207	1	
37	5472	59	95	4	84	5542	50	111	4	131	10791	75	148	2	
38	4750	50	95	1	85	5542	50	111	5	132	10460	75	148	5	
39	4750	50	95	2	86	5798	50	117	1	133	11227	75	150	3	
40	4750	50	95	4	87	5842	50	117	5	134	11247	75	150	4	
41	4750	50	95	5	88	5842	50	117	4	135	11253	75	150	3	
42	4750	50	95	4	89	5749	50	114	5	136	11258	75	150	2	
43	4750	50	95	3	90	5180	50	105	3	137	11263	75	150	3	
44	4751	50	95	5	91	6608	54	144	4	138	11268	75	150	4	
45	6372	70	95	4	92	6088	57	136	5	AVERAGE	5781	55	105		
46	6147	70	95	1	93	4596	50	95	3	TOTAL LOT AREA =			797,784		
47	4750	50	95	4	94	5177	50	107	5	MIN LOT AREA =			15,720		
														4,235	



TYPICAL LOT SETBACKS



PARK/OPEN SPACE

LOT	AREA IN SQ. FT.
LOT "D"	23,378
LOT "E"	13,282
LOT "M"	35,727
TOTAL	72,387
PARK AREA REQ. (LOTS X 500 SQFT)	69,000

LETTERED LOTS:

LOT NO.	GROSS AREA (SQFT.)	DESCRIPTION
A	5,308	SLOPE
B	45,160	SLOPE
C	66,150	WQMP BASIN
D	23,378	PARK/OPEN SPACE
E	865	SLOPE
F	13,282	PARK/OPEN SPACE
G	5,177	DRIVEWAY
H	4,853	DRIVEWAY
J	1,800	DRAINAGE AREA
K	15,839	SLOPE
L	15,615	SLOPE
M	35,727	PARK/OPEN SPACE
N	37,711	WQMP BASIN
O	20,012	SLOPE
P	8,487	SLOPE
TOTAL LOT AREA =	240,607	
MAX LOT AREA =	64,008	
MIN LOT AREA =	866	

LURIN LAND PRD

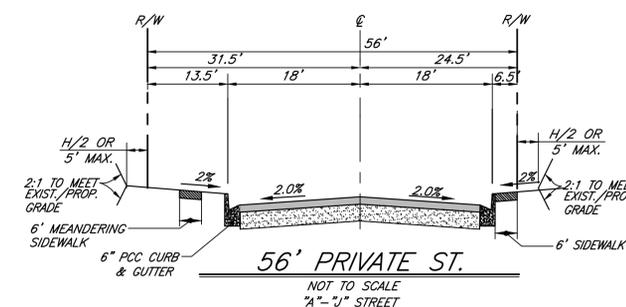
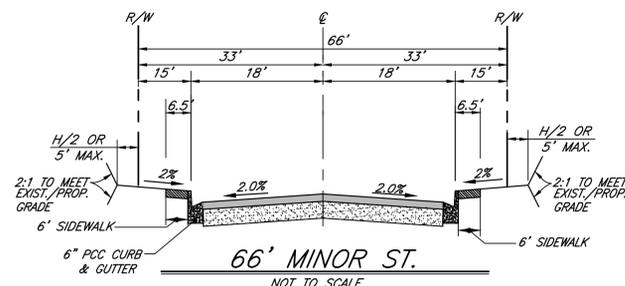
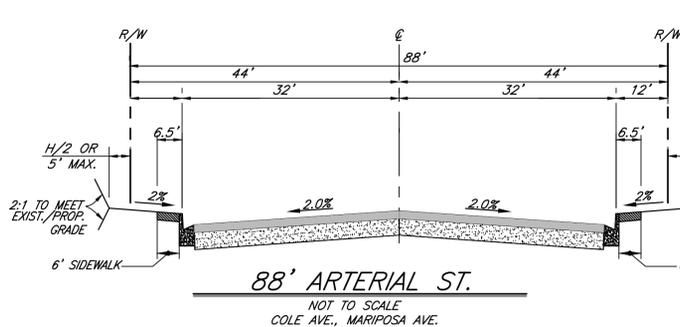
Lurin Land PRD (Superior Design)

TR 37731		Acres
		32.54
Units/AC	Zoning	Percentage
5.3	13000	59%
3.3	1/2 Acre	22%
3.3	1 Acre	19%
Total Lots		145.57

Lurin Land PRD (Benchmark Design)

TTM 37731		Acres
		32.54
Units/AC	Zoning	Percentage
4.8	13000	59%
3	1/2 Acre	22%
3	1 Acre	19%
Total Lots Allowed		131.96

* NOTE: ACREAGE NUMBER EXCLUDES THE RIGHT OF WAYS OF LURIN AVE., COLE AVE., AND MARIPOSA AVE.



TENTATIVE TRACT MAP NO. 37731

TRACT MAP CITY OF RIVERSIDE

PREPARED FOR:

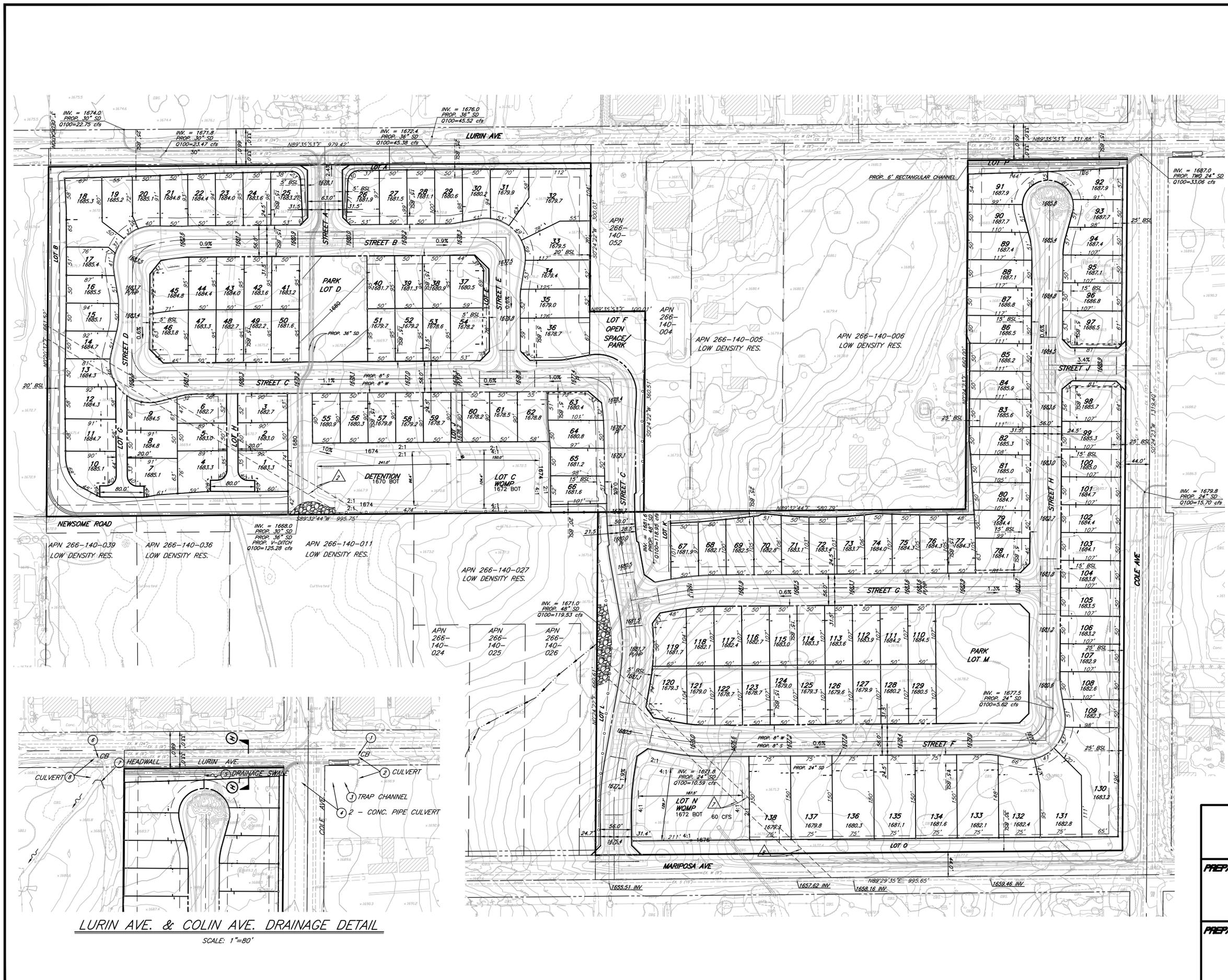
LURIN LAND, LLC
10621 CIVIC CENTER DRIVE
RANCHO CUCAMONGA, CA 91730

PREPARED BY:

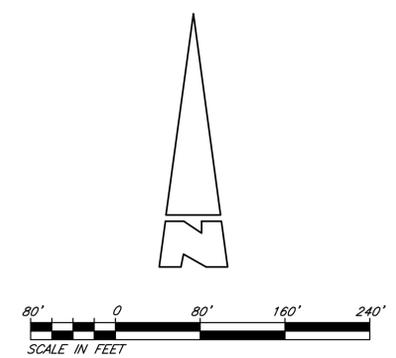


SHEET 1 OF 2 SHEETS

CIVIL ENGINEERS • PLANNERS • SURVEYORS
1880 COMPTON AVENUE, SUITE 100 CORONA, CA 92881-3378 951-734-2130



- LEGEND:**
- - - BUILDING SETBACK LINE (BSL)
 - - - EXISTING EASEMENTS
 - 1200 = EXISTING CONTOUR ELEVATION
 - 1200 = PROPOSED SURFACE ELEVATION
 - 1378.3 = PROPOSED PAD ELEVATION
 - ELEV. = ELEVATION
 - FG = FINISH GRADE
 - FL = FLOWLINE
 - FS = FINISHED SURFACE
 - D.G. = DECOMPOSED GRANITE
 - L = LENGTH
 - W = WIDTH
 - MIN. = MINIMUM
 - PL = PROPERTY LINE
 - R/W = RIGHT OF WAY
 - GB = GRADE BREAK
 - SW = SIDEWALK
 - TC = TOP OF CURB
 - 45 = LOT NUMBER
 - TOE OF SLOPE
 - TOP OF SLOPE
 - DAYLIGHT LINE



TTM DATE IDENTIFIER	
DATE OF LATEST CHANGE TO THIS MAP	BY: AC
DATE OF THIS PLAN	04/15/20

TENTATIVE TRACT MAP NO. 37731
TRACT MAP
CITY OF RIVERSIDE

PREPARED FOR:
 LURIN LAND, LLC
 10621 CIVIC CENTER DRIVE
 RANCHO CUCAMONGA, CA 91730

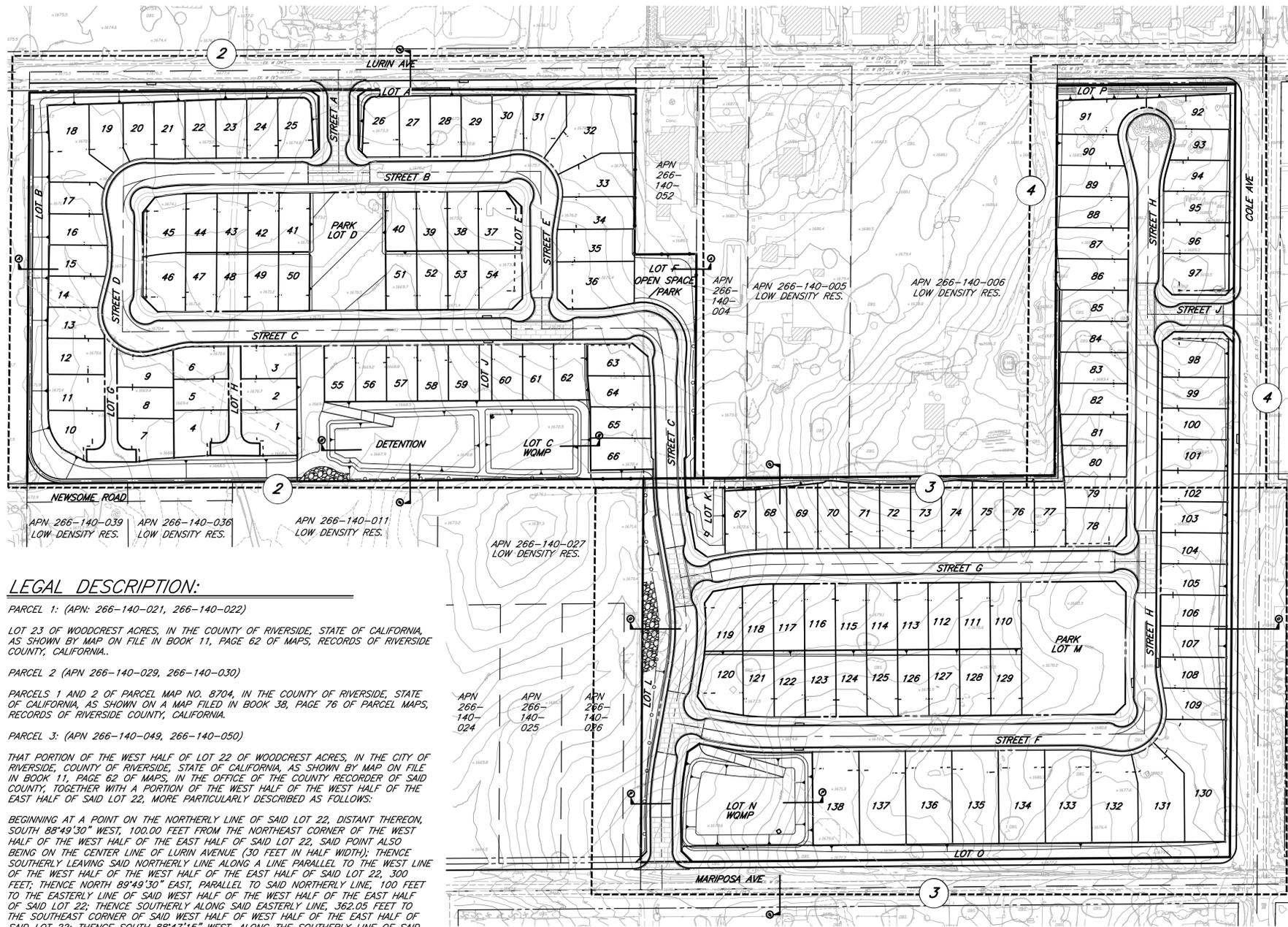
PREPARED BY:
KWC ENGINEERS
CIVIL ENGINEERS • PLANNERS • SURVEYORS
 1880 COMPTON AVENUE, SUITE 100 CORONA, CA 92881-3378 951-734-2130

SHEET
 2 OF 2
 SHEETS

LURIN AVE. & COLIN AVE. DRAINAGE DETAIL
 SCALE: 1"=80'

J.N. 17.1711.2 R:\17\1711\PRELIM\MAPS\COMPILED PLANS\COLE\1711 COLE TENT TRACT MAP.dwg 05/04/20 10:09am

PRELIMINARY GRADING PLAN

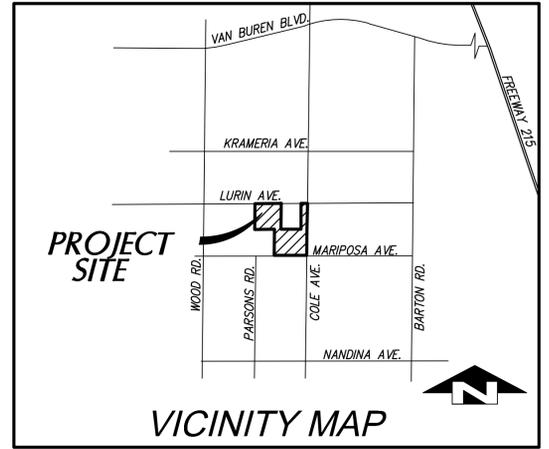


PROJECT SCOPE OF WORK:

- TOTAL PROJECT GROSS ACREAGE IS 32.54 AC.
- | ACREAGE SUMMARY | AGREAGE | PERCENT |
|--------------------------|---------|---------|
| A. LOT GROSS AREA | 18.32 | 56% |
| B. DRAINAGE (WQMP BASIN) | 2.43 | 7% |
| C. SLOPES | 2.55 | 8% |
| D. PARKS | 1.66 | 5% |
| E. DRIVEWAY | 0.23 | 1% |
| F. ROW TO ROW | 7.35 | 23% |
- EXISTING GENERAL PLAN DESIGNATION: LDR- LOW DENSITY RESIDENTIAL (3-6 DU/AC)
 - EXISTING ZONING: RE, R-1-1/2, R-1-13000
 - PROPOSED ZONING: RE, R-1-1/2, R-1-13000
 - PROPOSED NO. OF DWELLING UNITS: 138 LOTS.
 - PROPOSED PROJECT DENSITY: 3.86 DU/AC.
 - MINIMUM LOT SIZE: 4,235 SQ. FT.
 - AVERAGE LOT SIZE: 5,781 SQ. FT.
 - ZONING OF SURROUNDING PROPERTY: R-1-13000
 - AVERAGE NATURAL SLOPE OF SITE: 0.53%

EARTHWORK QUANTITIES:

CUT: 14,089 CY FILL: 266,000 CY NET: 251,911 CY (F)
THE QUANTITY SHOWN ABOVE IS FOR DISCUSSION PURPOSES ONLY.



ENGINEER:

KWC ENGINEERS
1880 COMPTON AVENUE
CORONA, CA 92881-3370
(951) 734-2130
CONTACT: MATTHEW LANINOVICH, P.E.

OWNER/DEVELOPER:

LURIN LAND 1, LLC
10621 CIVIC CENTER DRIVE
RANCHO CUCAMONGA, CA 91730
CONTACT: NOLAN LEGGIO

PROPERTY OWNERSHIP INFO:

APNS: 266-140-029, 266-140-030, 266-140-049,
266-140-050, 266-140-022, 266-140-021

UTILITY NOTES:

- SEWER & WATER: WESTERN MUNICIPAL WATER DISTRICT
- GAS: SOCAL GAS
- ELECTRICITY: SOUTHERN CALIFORNIA EDISON
- SCHOOL DISTRICT: RIVERSIDE UNIFIED SCHOOL DISTRICT

LEGAL DESCRIPTION:

PARCEL 1: (APN: 266-140-021, 266-140-022)
LOT 23 OF WOODCREST ACRES, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 11, PAGE 62 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

PARCEL 2 (APN 266-140-029, 266-140-030)
PARCELS 1 AND 2 OF PARCEL MAP NO. 8704, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN ON A MAP FILED IN BOOK 38, PAGE 76 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

PARCEL 3: (APN 266-140-049, 266-140-050)
THAT PORTION OF THE WEST HALF OF LOT 22 OF WOODCREST ACRES, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 11, PAGE 62 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH A PORTION OF THE WEST HALF OF THE WEST HALF OF THE EAST HALF OF SAID LOT 22, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE NORTHERLY LINE OF SAID LOT 22, DISTANT THEREON, SOUTH 88°49'30" WEST, 100.00 FEET FROM THE NORTHEAST CORNER OF THE WEST HALF OF THE WEST HALF OF THE EAST HALF OF SAID LOT 22, SAID POINT ALSO BEING ON THE CENTER LINE OF LURIN AVENUE (30 FEET IN HALF WIDTH); THENCE SOUTHERLY LEAVING SAID NORTHERLY LINE ALONG A LINE PARALLEL TO THE WEST LINE OF THE WEST HALF OF THE WEST HALF OF THE EAST HALF OF SAID LOT 22, 300 FEET; THENCE NORTH 89°49'30" EAST, PARALLEL TO SAID NORTHERLY LINE, 100 FEET TO THE EASTERLY LINE OF SAID WEST HALF OF THE WEST HALF OF THE EAST HALF OF SAID LOT 22; THENCE SOUTHERLY ALONG SAID EASTERLY LINE, 362.05 FEET TO THE SOUTHEAST CORNER OF SAID WEST HALF OF THE EAST HALF OF SAID LOT 22; THENCE SOUTH 88°47'15" WEST, ALONG THE SOUTHERLY LINE OF SAID LOT 22, 414.95 FEET TO THE SOUTHWEST CORNER OF SAID LOT 22; THENCE NORTH 00°17'00" WEST, ALONG THE WESTERLY LINE OF SAID LOT 22, 662.09 FEET TO THE NORTHWEST CORNER THEREOF, SAID POINT ALSO BEING ON THE CENTER LINE OF SAID LURIN AVENUE; THENCE ALONG SAID NORTHERLY LINE, NORTH 88°49'30" EAST, 314.90 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THE NORTHERLY 33 FEET OF ABOVE DESCRIBED PARCEL.
SAID LAND IS DESCRIBED AND DELINEATED AS LOT A ON THAT CERTAIN "CERTIFICATE OF COMPLIANCE FOR LOT LINE ADJUSTMENT RECORDED DECEMBER 23, 2016 AS INSTRUMENT NO. 2016-0575044 OF OFFICIAL RECORDS.

STATEMENT OF PREPARER

I HEREBY STATE THAT THIS MAP WAS PREPARED UNDER MY SUPERVISION AND THAT THE OWNER OF RECORD HAS KNOWLEDGE OF AND CONSENTS TO THE FILING OF THIS MAP.



MATTHEW L. LANINOVICH, P.E. DATE _____

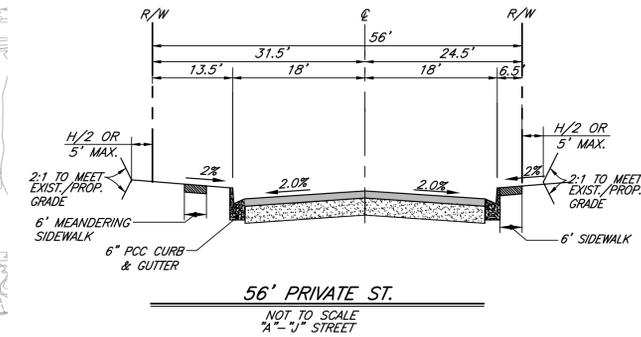
BASIS OF BEARINGS:

THE BASIS OF BEARINGS SHOWN HEREON ARE BASED ON THE CITY OF CORONA GPS MONUMENTS NO. 1183 OAK DAM (N: 2254579.060, E: 6152363.939 AND NO. 3039 LINDSON 2 1953 (N: 2249760.701, E: 6154840.535), BEING N 27°12'10" W.

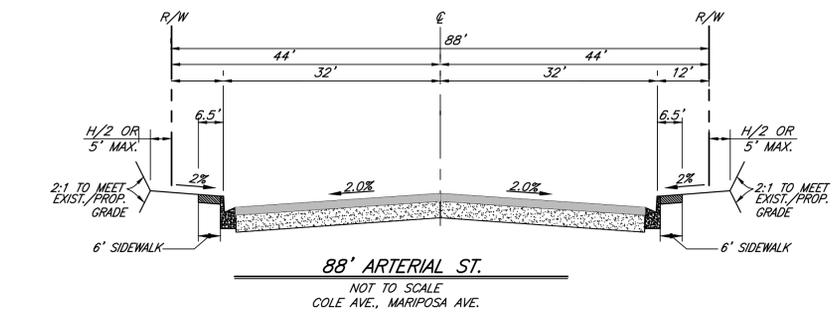
BENCHMARK:

CITY OF RIVERSIDE DESIGNATION: E8-G3
P.K. NAIL AND CITY ENGINEER TAG IN THE TOP OF THE SIDEWALK OVER THE EASTERLY WALL OF A CATCH BASIN ALONG THE SOUTHERLY CURB OF VAN BUREN BLVD AND 700 FEET EASTERLY OF WOOD ROAD.

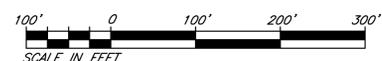
ELEV: 1644.96' (NAD 88)



56' PRIVATE ST.
NOT TO SCALE
"A"- "J" STREET

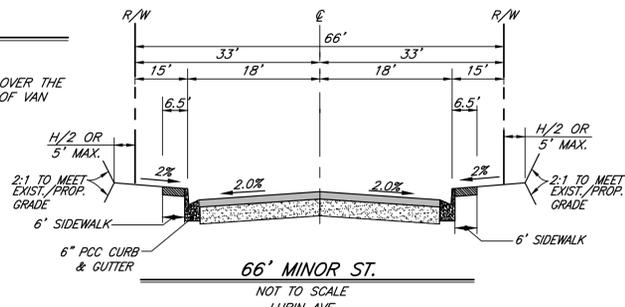


88' ARTERIAL ST.
NOT TO SCALE
COLE AVE., MARIPOSA AVE.



PROJECT NOTES:

- ALL IMPROVEMENTS SHALL BE PER SCHEDULE "A" SUBDIVISION ORDINANCE 460.
- THOMAS BROS. GUIDE (2007) PAGE 746 E4 & E5
- ALL CUT SLOPES WILL BE 2:1 RATIO AND FILL SLOPES 2:1, UNLESS OTHERWISE NOTED.
- SETBACKS OF SLOPES SHALL CONFORM TO CBC 2016
- LOT DIMENSIONS SHOWN HEREON INCLUDE DIMENSIONS TO STREET R/W
- ALL WATER QUALITY FOR THIS TRACT IS BEING MITIGATED BY ON-SITE BMPS BIO-RETENTION BASINS
- THIS TENTATIVE TRACT MAP INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF THE LAND DIVIDER
- PROPERTY IS NOT LOCATED IN A FLOODPLAIN.
- PROPERTY IS NOT LOCATED IN A LIQUEFACTION ZONE.
- PROPERTY IS NOT LOCATED IN A SUBSIDENCE AREA.
- PROPERTY CONTAINS NO KNOWN WELLS.
- PROPERTY IS NOT IN A FAULT ZONE OR ON A FAULT LINE.
- THE PROJECT IS LOCATED WITHIN COMPATIBILITY ZONE D OF THE MARCH AIR RESERVE BASE/INLAND PORT AIRPORT COMPATIBILITY PLAN.
- SETBACKS TO ALL SITE BOUNDARIES WILL COMPLY WITH THE 2016 CBC.



66' MINOR ST.
NOT TO SCALE
LURIN AVE

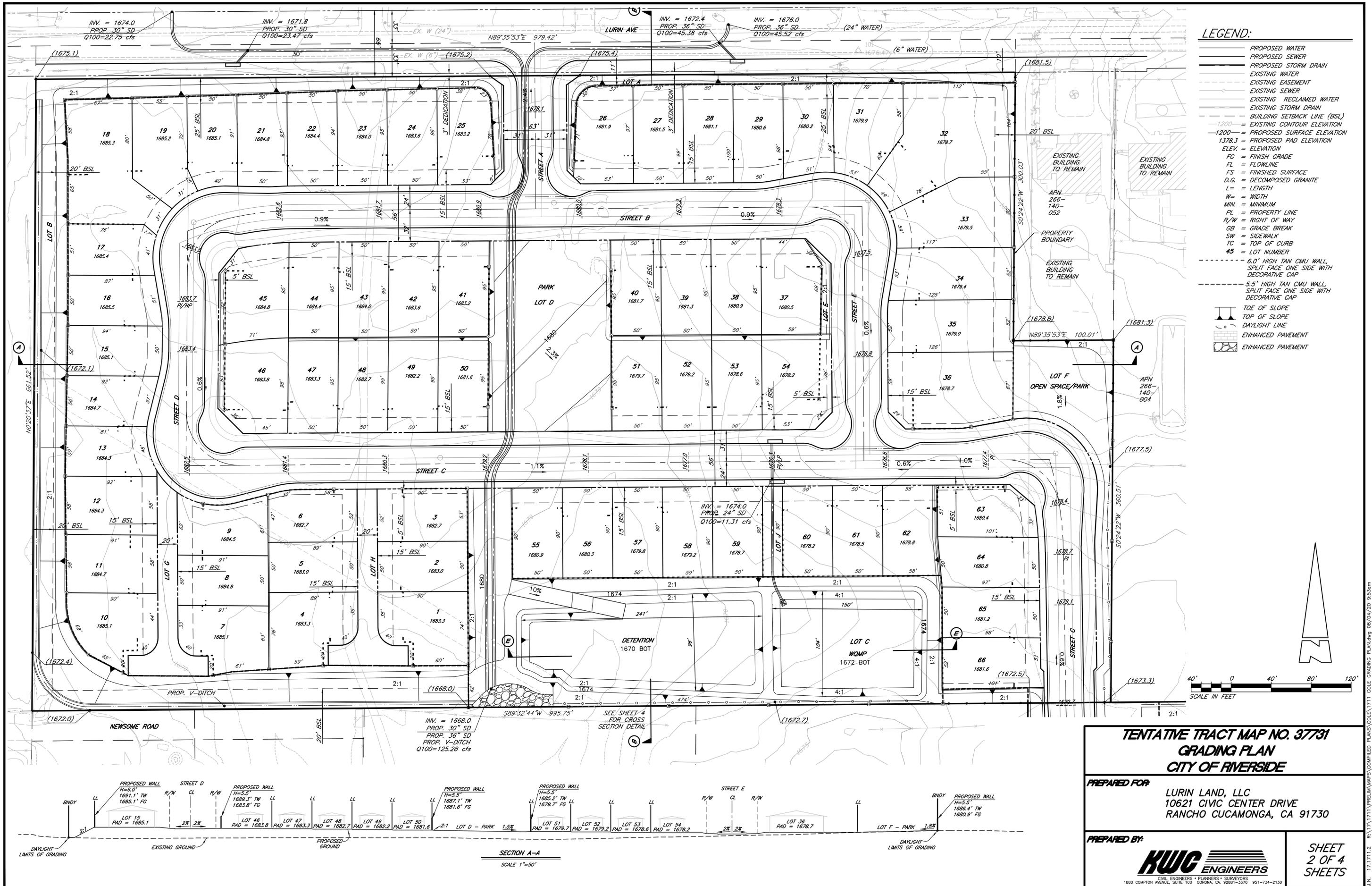
TENTATIVE TRACT MAP NO. 37731
GRADING PLAN
CITY OF RIVERSIDE

PREPARED FOR: LURIN LAND, LLC
10621 CIVIC CENTER DRIVE
RANCHO CUCAMONGA, CA 91730

PREPARED BY: **KWC ENGINEERS**
CIVIL ENGINEERS • PLANNERS • SURVEYORS
1880 COMPTON AVENUE, SUITE 100 CORONA, CA 92881-3378 951-734-2130

SHEET 1 OF 4 SHEETS

J.N. 17.1711.2 R:\171711\PRELIM\MAPS\COMPILED PLANS\COLE\1711 COLE GRADING PLAN.dwg 08/04/20 9:52am



- LEGEND:**
- PROPOSED WATER
 - PROPOSED STORM
 - PROPOSED STORM DRAIN
 - EXISTING WATER
 - EXISTING EASEMENT
 - EXISTING SEWER
 - EXISTING RECLAIMED WATER
 - EXISTING STORM DRAIN
 - BUILDING SETBACK LINE (BSL)
 - EXISTING CONTOUR ELEVATION
 - 1200 = PROPOSED SURFACE ELEVATION
 - 1378.3 = PROPOSED PAD ELEVATION
 - ELEV. = ELEVATION
 - FG = FINISH GRADE
 - FL = FLOWLINE
 - FS = FINISHED SURFACE
 - D.G. = DECOMPOSED GRANITE
 - L = LENGTH
 - W = WIDTH
 - MIN. = MINIMUM
 - PL = PROPERTY LINE
 - R/W = RIGHT OF WAY
 - GB = GRADE BREAK
 - SW = SIDEWALK
 - TC = TOP OF CURB
 - 45 = LOT NUMBER
 - 6.0' HIGH TAN CMU WALL, SPLIT FACE ONE SIDE WITH DECORATIVE CAP
 - 5.5' HIGH TAN CMU WALL, SPLIT FACE ONE SIDE WITH DECORATIVE CAP
 - TOE OF SLOPE
 - TOP OF SLOPE
 - DAYLIGHT LINE
 - ENHANCED PAVEMENT
 - ENHANCED PAVEMENT

TENTATIVE TRACT MAP NO. 37731
GRADING PLAN
CITY OF RIVERSIDE

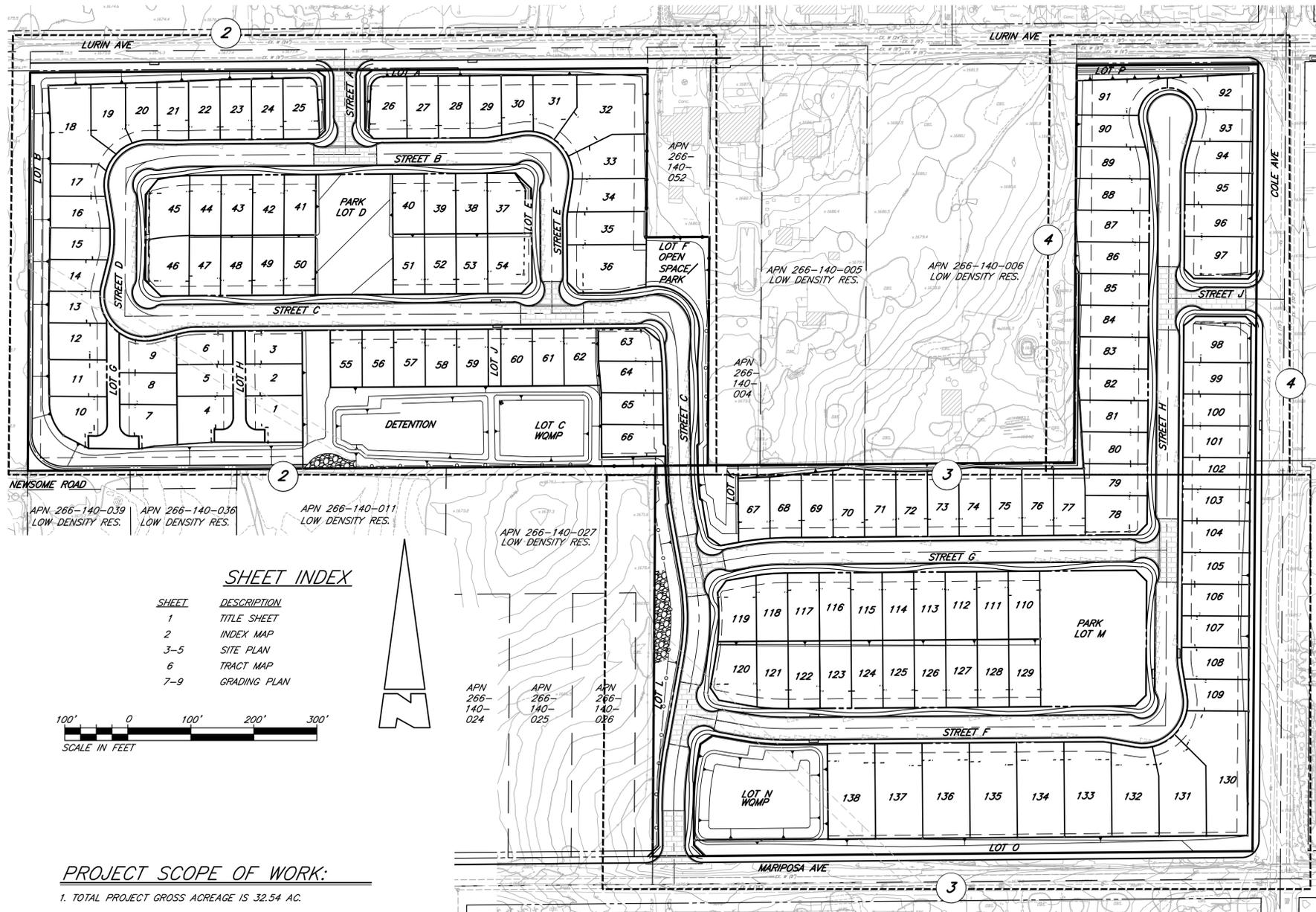
PREPARED FOR:
LURIN LAND, LLC
 10621 CIVIC CENTER DRIVE
 RANCHO CUCAMONGA, CA 91730

PREPARED BY:
KWC ENGINEERS
CIVIL ENGINEERS • PLANNERS • SURVEYORS
 1880 COMPTON AVENUE, SUITE 100 CORONA, CA 92881-3378 951-734-2130

SHEET 2 OF 4 SHEETS

J.N. 17.1711.2 R:17.1711.1\PRELIM\MAPS\COMPILED PLANS\1711 COLE GRADING PLAN.dwg 09/04/20 9:53:06m

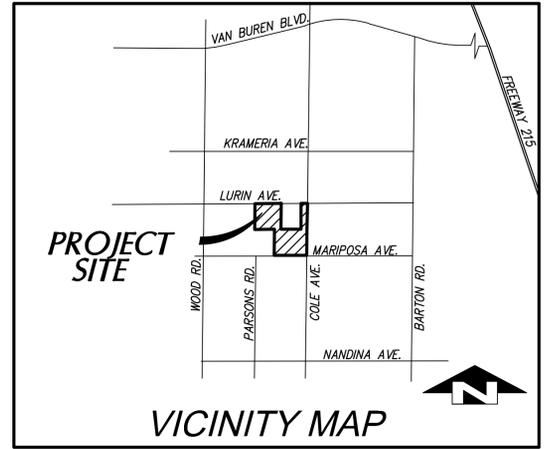
OPEN SPACE PLAN



SETBACK INFORMATION:

RE, RR & R-1-1/2 Ac. (Except R-1-1/2)	R-1 zones
Setbacks From Project Perimeters	
Same as base zone. The setback shall be fully landscaped and no fences or walls shall be permitted to encroach into the setback.	
Adjacent to Public Street	25 ft.
Adjacent to Perimeter Property Lines	20 ft.
Setbacks Within Project Boundaries (May be modified in conjunction with the PRD):	
Front Yard Setback	15 ft.
Side Yard Setback	5 ft.
Rear Yard Setback	10 ft.

Single-family Residential Base Zones Building Setbacks Adjacent to Public Street		
	R-1-1/2	R-1-13000
A. Front	30 ft.	25 ft.
B. Side	25 ft.	15 ft.
C. Rear	30 ft.	30 ft.



LEGEND:

- EXISTING WATER
- EXISTING SEWER
- EXISTING RECLAIMED WATER
- EXISTING STORM DRAIN
- EXISTING EASEMENT
- BUILDING SETBACK LINE (BSL)
- SW = SIDEWALK
- 45 = LOT NUMBER
- TOE OF SLOPE
- TOP OF SLOPE
- DAYLIGHT LINE
- ENHANCED PAVEMENT
- MAGNOLIA GRANDIFLORA (SOUTHERN MAGNOLIA)
- PINUS ELДАРICA (AFGHAN PINE)
- ACACIA STENOPHYLLA (SHOESTRING ACACIA)
- PROSOPIS CHILENSIS (CHILEAN MESQUITE)
- ULMUS PARVIFOLIA (CHINESE ELM)
- KOELREUTERIA BIPINNATA (CHINESE FLAME TREE)
- CERCIS OCCIDENTALS (WESTERN REDBUD)
- PLATANUS RACEMOSA (CALIFORNIA SYCAMORE)
- LAGERSTROEMIA 'NATCHEZ' (CRAPE MYRTLE)

ENGINEER:

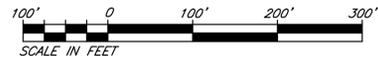
KWC ENGINEERS
1880 COMPTON AVENUE
CORONA, CA. 92881-3370
(951) 734-2130
CONTACT: MATTHEW LANINOVICH, P.E.

OWNER/DEVELOPER:

LURIN LAND 1, LLC
10621 CIVIC CENTER DRIVE
RANCHO CUCAMONGA, CA 91730
CONTACT: NOLAN LEGGIO

SHEET INDEX

SHEET	DESCRIPTION
1	TITLE SHEET
2	INDEX MAP
3-5	SITE PLAN
6	TRACT MAP
7-9	GRADING PLAN



PROJECT SCOPE OF WORK:

1. TOTAL PROJECT GROSS ACREAGE IS 32.54 AC.

ACREAGE SUMMARY ITEM	ACREAGE	PERCENT
A. LOT GROSS AREA	18.32	56%
B. DRAINAGE (WQMP BASIN)	2.43	7%
C. SLOPES	2.55	8%
D. PARKS	1.66	5%
E. DRIVEWAY	0.23	1%
F. ROW TO ROW	7.35	23%

2. EXISTING GENERAL PLAN DESIGNATION: LDR- LOW DENSITY RESIDENTIAL (3-6 DU/AC)

3. EXISTING ZONING: RE, R-1-1/2, R-1-13000

4. PROPOSED ZONING: RE, R-1-1/2, R-1-13000

5. PROPOSED NO. OF DWELLING UNITS: 138 LOTS.

6. PROPOSED PROJECT DENSITY: 3.86 DU/AC.

7. MINIMUM LOT SIZE: 4,235 SQ. FT.

8. AVERAGE LOT SIZE: 5,781 SQ. FT.

9. ZONING OF SURROUNDING PROPERTY: R-1-13000

10. AVERAGE NATURAL SLOPE OF SITE: 0.53%

LETTERED LOTS:

LOT NO.	GROSS AREA (SQFT.)	DESCRIPTION
A	5,308	SLOPE
B	45,160	SLOPE
C	66,150	WQMP BASIN
D	23,378	PARK/OPEN SPACE
E	865	SLOPE
F	13,282	PARK/OPEN SPACE
G	5,177	DRIVEWAY
H	4,853	DRIVEWAY
J	1,800	DRAINAGE AREA
K	15,839	SLOPE
L	15,615	SLOPE
M	35,727	PARK/OPEN SPACE
N	37,711	WQMP BASIN
O	20,012	SLOPE
P	8,487	SLOPE
TOTAL LOT AREA=	240,607	
MAX LOT AREA =	64,008	
MIN LOT AREA =	866	

PARK/OPEN SPACE

LOT	AREA IN SQ.FT.
LOT "D"	23,378
LOT "F"	13,282
LOT "M"	35,727
TOTAL	72,387
PARK AREA REQ. (LOTS X 500 SQFT)	69,000

STATEMENT OF PREPARER

I HEREBY STATE THAT THIS MAP WAS PREPARED UNDER MY SUPERVISION AND THAT THE OWNER OF RECORD HAS KNOWLEDGE OF AND CONSENTS TO THE FILING OF THIS MAP.

MATTHEW L. LANINOVICH, P.E. DATE _____



TTM DATE IDENTIFIER	
DATE OF LATEST CHANGE TO THIS MAP	BY: AC
DATE OF THIS PLAN	08/04/20

TENTATIVE TRACT MAP NO. 37731
INDEX MAP
CITY OF RIVERSIDE

PREPARED FOR:

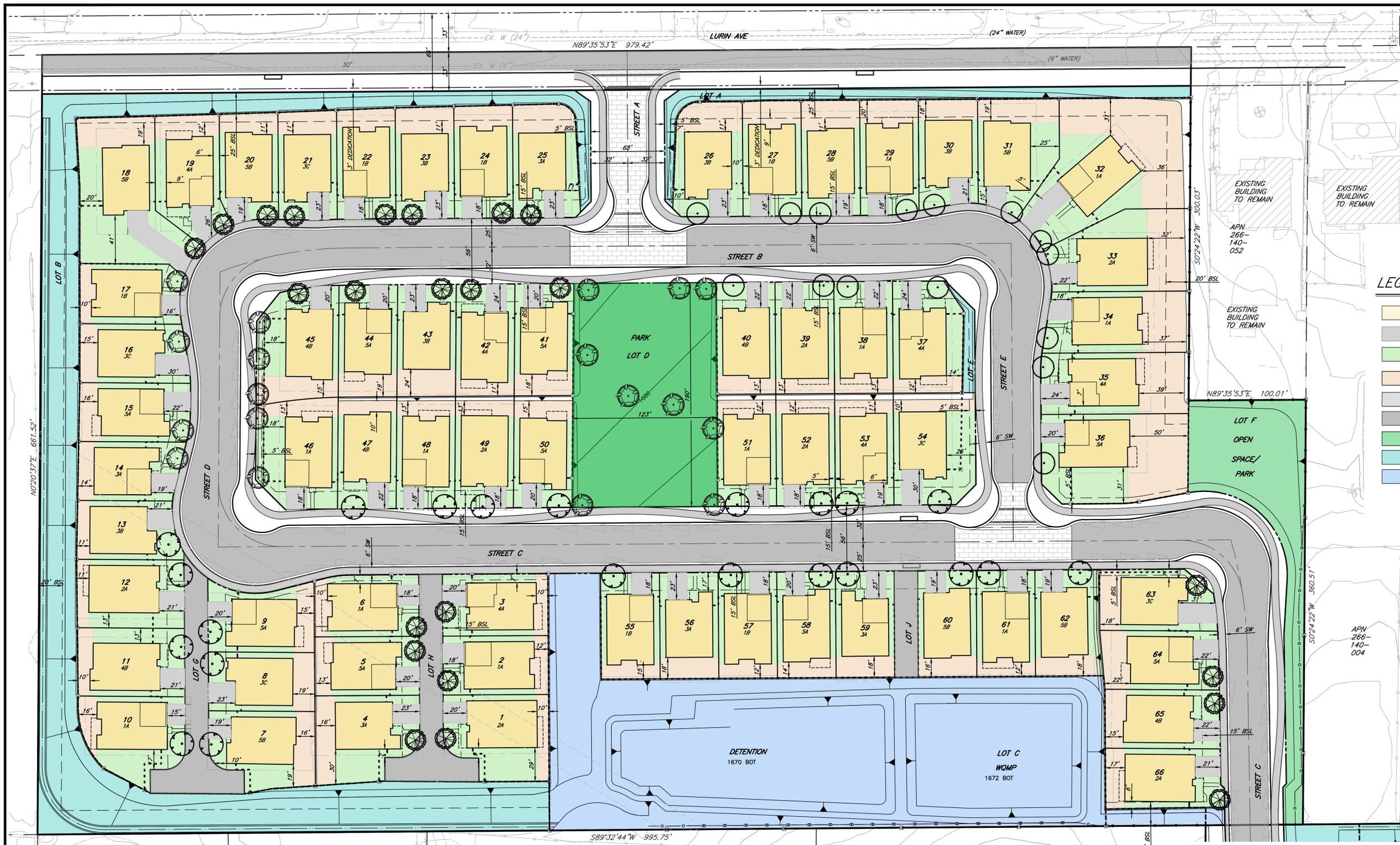
LURIN LAND, LLC
10621 CIVIC CENTER DRIVE
RANCHO CUCAMONGA, CA 91730

PREPARED BY:



CIVIL ENGINEERS • PLANNERS • SURVEYORS
1880 COMPTON AVENUE, SUITE 100 CORONA, CA. 92881-3378 951-734-2130

SHEET
1 OF 4
SHEETS



LEGEND

- RESIDENTIAL PLAN LAYOUT
- RESIDENTIAL GARAGE PARKWAY
- RESIDENTIAL FRONT/SIDE YARD
- RESIDENTIAL REAR YARD - PRIVATE OPEN SPACE
- SIDEWALK
- ROADWAY
- PARK
- SLOPES
- BASIN

TOTAL HOMES SUMMARY

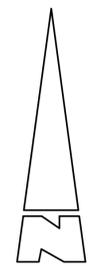
PLAN	# ON SITE	PERCENTAGE
1	29	21.0%
2	22	15.9%
3	31	22.5%
4	25	18.1%
5	31	22.5%
TOTAL	138	100.0%

TENTATIVE TRACT MAP NO. 37731
OPEN SPACE PLAN
CITY OF RIVERSIDE

PREPARED FOR:
 LURIN LAND, LLC
 10621 CIVIC CENTER DRIVE
 RANCHO CUCAMONGA, CA 91730

PREPARED BY:
KWC ENGINEERS
CIVIL ENGINEERS • PLANNERS • SURVEYORS
 1880 COMPTON AVENUE, SUITE 100 CORONA, CA 92881-3378 951-734-2130

SHEET
2 OF 4
SHEETS





TENTATIVE TRACT MAP NO. 37731
OPEN SPACE PLAN
CITY OF RIVERSIDE

PREPARED FOR:
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SHEET
3 OF 4
SHEETS





NUMBERED LOTS:

LOT NO.	GROSS AREA IN SQ. FT.	WIDTH	DEPTH	PRIVATE OPEN SPACE (SF)	PLAN TYPE	LOT NO.	GROSS AREA IN SQ. FT.	WIDTH	DEPTH	PRIVATE OPEN SPACE (SF)	PLAN TYPE	LOT NO.	GROSS AREA IN SQ. FT.	WIDTH	DEPTH	PRIVATE OPEN SPACE (SF)	PLAN TYPE
1	5968	74	90	738	2	48	4750	50	95	710	1	95	5350	50	107	1214	1
2	4500	50	90	654	1	49	4750	50	95	646	2	96	5350	50	107	895	2
3	4725	52	90	593	4	50	4750	50	95	793	5	97	7305	70	107	1136	4
4	5934	76	89	1312	3	51	4750	50	95	654	1	98	7610	73	107	1003	2
5	4467	50	89	738	5	52	4750	50	95	590	2	99	5349	50	107	1378	5
6	4631	50	89	609	1	53	4750	50	95	636	4	100	5348	50	107	1049	2
7	5435	63	91	1118	5	54	6505	70	95	739	3	101	5348	50	107	1140	4
8	4534	50	91	934	3	55	4750	50	95	657	1	102	5347	50	107	1465	3
9	4919	61	91	919	5	56	4750	50	95	900	3	103	5346	50	107	1306	5
10	5615	62	90	705	1	57	4750	50	95	654	1	104	5346	50	107	1260	3
11	5297	58	91	703	4	58	4750	50	95	742	5	105	5345	50	107	914	1
12	5314	58	91	598	2	59	4750	50	95	900	3	106	5344	50	107	1115	3
13	4235	50	87	547	3	60	4750	50	95	839	5	107	5344	50	107	1036	5
14	4304	50	87	682	3	61	4750	50	95	654	1	108	5285	50	105	901	1
15	4713	50	93	862	5	62	5301	57	95	882	5	109	4935	50	100	791	3
16	4556	50	91	773	3	63	4868	51	95	938	3	110	5350	50	107	1400	3
17	4339	51	90	562	1	64	4956	50	99	1119	5	111	5350	50	107	1621	5
18	9312	67	142	1676	5	65	4882	50	98	850	4	112	5350	50	107	1750	3
19	5538	55	97	1080	4	66	5011	52	100	854	2	113	5350	50	107	1250	2
20	4478	50	91	854	5	67	4915	50	99	987	5	114	5350	50	107	1318	4
21	4606	50	92	991	3	68	4901	50	99	886	4	115	5350	50	107	1304	1
22	4671	50	94	825	1	69	5129	50	103	1029	2	116	5350	50	107	1592	5
23	4732	50	94	1132	3	70	5374	50	106	1774	3	117	5350	50	107	1250	2
24	4772	50	95	926	1	71	5215	50	105	1115	2	118	5301	50	106	1170	1
25	5597	59	96	1257	3	72	5133	50	103	1532	3	119	5846	62	104	1144	4
26	5550	61	97	1356	3	73	5208	50	105	1162	1	120	6598	62	104	1095	3
27	4895	50	98	1050	1	74	5370	50	107	1267	2	121	5303	50	106	799	1
28	4902	50	98	1242	5	75	5308	50	106	1225	4	122	5350	50	107	965	3
29	4861	50	94	1054	1	76	5253	50	105	1383	5	123	5350	50	107	785	2
30	4560	50	92	893	3	77	5227	49	105	1128	2	124	5350	50	107	935	3
31	5866	70	92	1378	5	78	5987	62	99	1062	4	125	5350	50	107	801	4
32	12741	112	102	5909	1	79	4996	50	100	896	2	126	5350	50	107	844	1
33	7362	68	117	2267	2	80	5157	50	103	1325	5	127	5350	50	107	877	4
34	6300	52	121	2003	1	81	5321	50	107	1221	2	128	5350	50	107	839	1
35	6549	52	126	2127	4	82	5506	50	110	1635	1	129	5350	50	107	785	2
36	9144	75	126	3652	5	83	5542	50	111	1785	5	130	15720	82	207	9863	1
37	5472	59	95	795	4	84	5542	50	111	1378	4	131	10791	75	148	5503	2
38	4750	50	95	704	1	85	5542	50	111	1645	5	132	10460	75	148	4738	5
39	4750	50	95	650	2	86	5798	50	117	1705	1	133	11227	75	150	5843	3
40	4750	50	95	743	4	87	5842	50	117	1995	5	134	11247	75	150	5120	4
41	4750	50	95	975	5	88	5842	50	117	1520	4	135	11253	75	150	5328	3
42	4750	50	95	649	4	89	5749	50	114	1459	5	136	11258	75	150	5108	2
43	4750	50	95	1151	3	90	5180	50	105	1135	3	137	11263	75	150	5338	3
44	4751	50	95	1057	5	91	6608	54	144	938	4	138	11268	75	150	5217	4
45	6372	70	95	1366	4	92	6088	57	136	1180	5	AVERAGE		5781	55	105	1424
46	6147	70	95	1033	1	93	4596	50	95	777	3	TOTAL LOT AREA =		797,784			
47	4750	50	95	540	4	94	5177	50	107	1046	5	MAX LOT AREA =		15,720			
												MIN LOT AREA =		4,235			



TENTATIVE TRACT MAP NO. 37731
OPEN SPACE PLAN
CITY OF RIVERSIDE

PREPARED FOR:
 LURIN LAND, LLC
 10621 CIVIC CENTER DRIVE
 RANCHO CUCAMONGA, CA 91730

PREPARED BY:
KWC ENGINEERS
CIVIL ENGINEERS • PLANNERS • SURVEYORS
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SHEET
 4 OF 4
 SHEETS

J.N. 17.1711.2 R:\17\1711\PRELIM\MAPS\COMPILED PLANS\COLE\1711 COLE OPEN SPACE PLAN.dwg 08/04/20 10:05am

NOTE

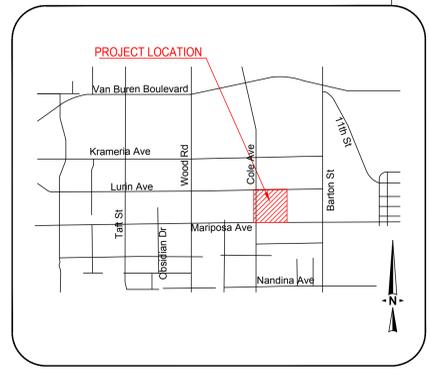
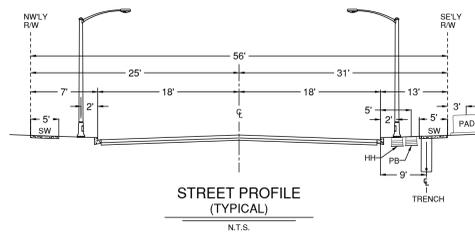
THIS "DRY UTILITY COMPOSITE" IS BASED ON THE MOST CURRENT PLANS PROVIDED TO MORROW MANAGEMENT AS OF FEBRUARY 5, 2020.

UTILITY CONTACTS

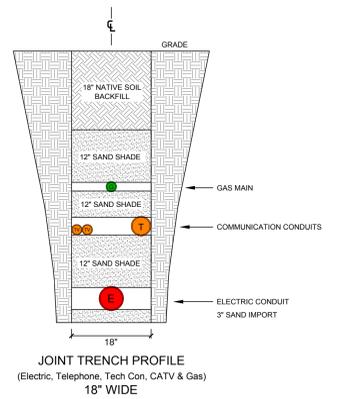
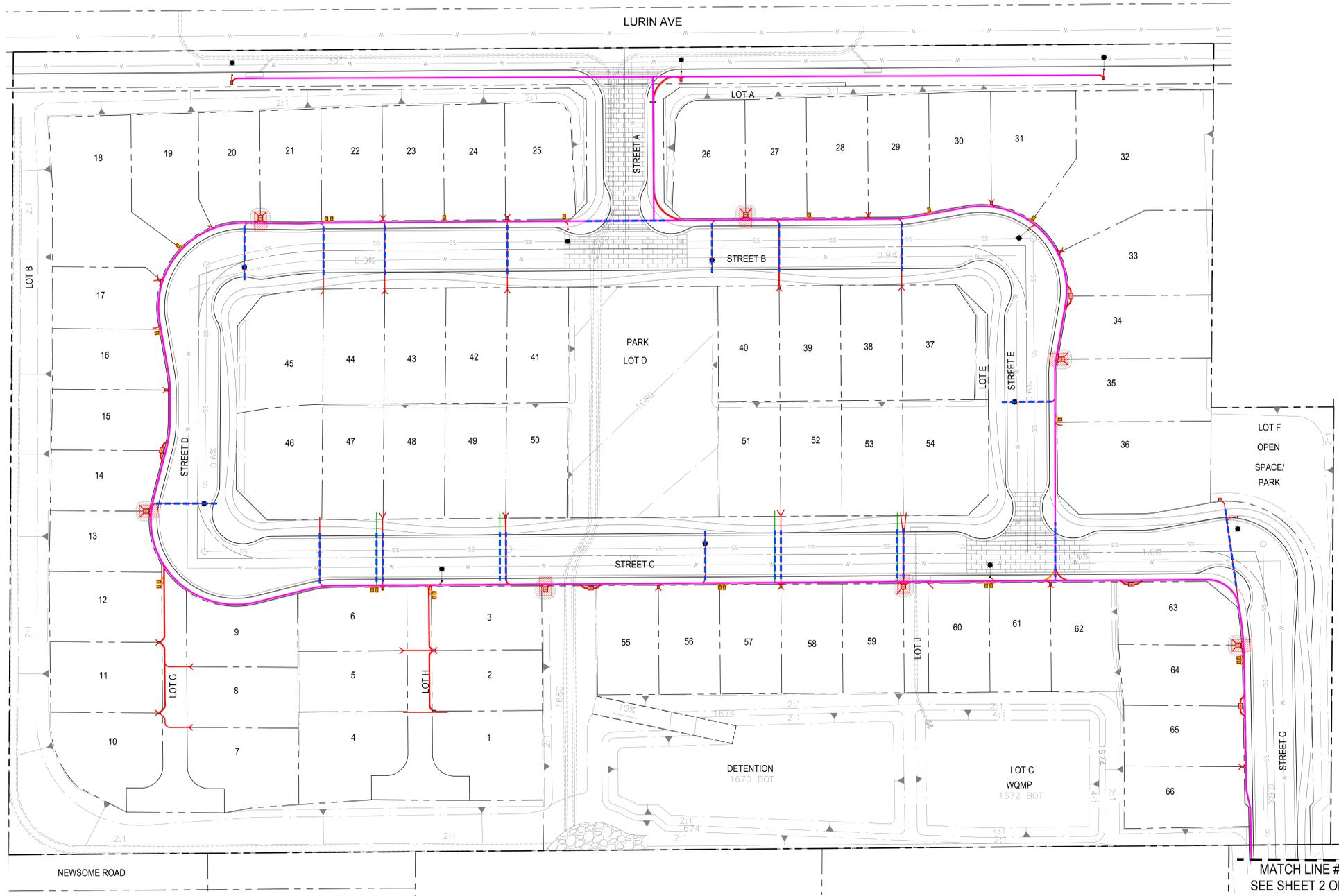
- UTILITY CONTACTS:
 - RIVERSIDE PUBLIC UTILITY
 - FRONTIER COMMUNICATIONS
 - SPECTRUM
 - SOUTHERN CALIFORNIA GAS
- ALL UTILITY COMPANY DRAWINGS ARE TO TAKE PRECEDENCE OVER THIS PLAN.
- BEFORE EXCAVATING CALL UNDERGROUND SERVICE ALERT AT: 1-800-227-2600

GENERAL NOTES:

- DRY UTILITY COMPOSITE EXHIBIT IS FOR DESIGN STUDY AND CONFLICT CHECK ONLY. UTILITIES SHOULD NOT BE INSTALLED BASED ON THIS EXHIBIT. REFER TO RESPECTIVE UTILITY FINAL DESIGN(S) FOR SPECIFIC INSTALLATION REQUIREMENTS
- THIS PLAN IS FOR BIDDING AND PERMITTING PURPOSES ONLY THIS PLAN WILL BE THE PERMIT SET. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF EACH DRY UTILITY SYSTEM IN ACCORDANCE WITH EACH DRY UTILITY AGENCY'S CURRENT SPECIFICATIONS, POLICIES AND PRACTICES OF WHICH THE CONTRACTOR IS TO BE THOROUGHLY FAMILIAR.
- LOCATIONS OF EXISTING DRY UTILITIES ARE BASED UPON UTILITY MAPS, AS-BUILTS AND FIELD OBSERVATIONS. POT HOLING IS RECOMMENDED TO VERIFY LOCATION OF ANY EXISTING FACILITIES.
- CONTRACTOR TO CONTACT "UNDERGROUND SERVICE ALERT" (800) 422-4133 PRIOR TO ANY EXCAVATION.



VICINITY MAP
NOT TO SCALE



JOINT TRENCH PROFILE
(Electric, Telephone, Tech Con, CATV & Gas)
18" WIDE



DRAWING HISTORY

CREATED	Initial Base Map	NC	02/12/20
REVISIONS			
DESCRIPTION	BY	DATE	



Diversified Pacific
 COLE 138
 Riverside, CA
 Tract 37731
 Dry Utility Composite Exhibit

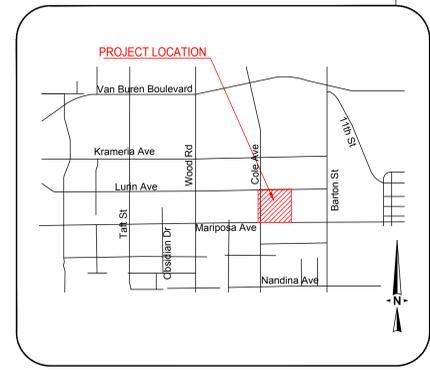
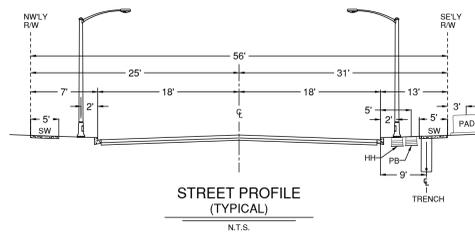
DWG NO: DIV213
 STATUS: PRELIMINARY
 DATE: 03/26/2020 VER.2
 SCALE: 1" = 40'
 SHEET: 1 of 3

NOTE

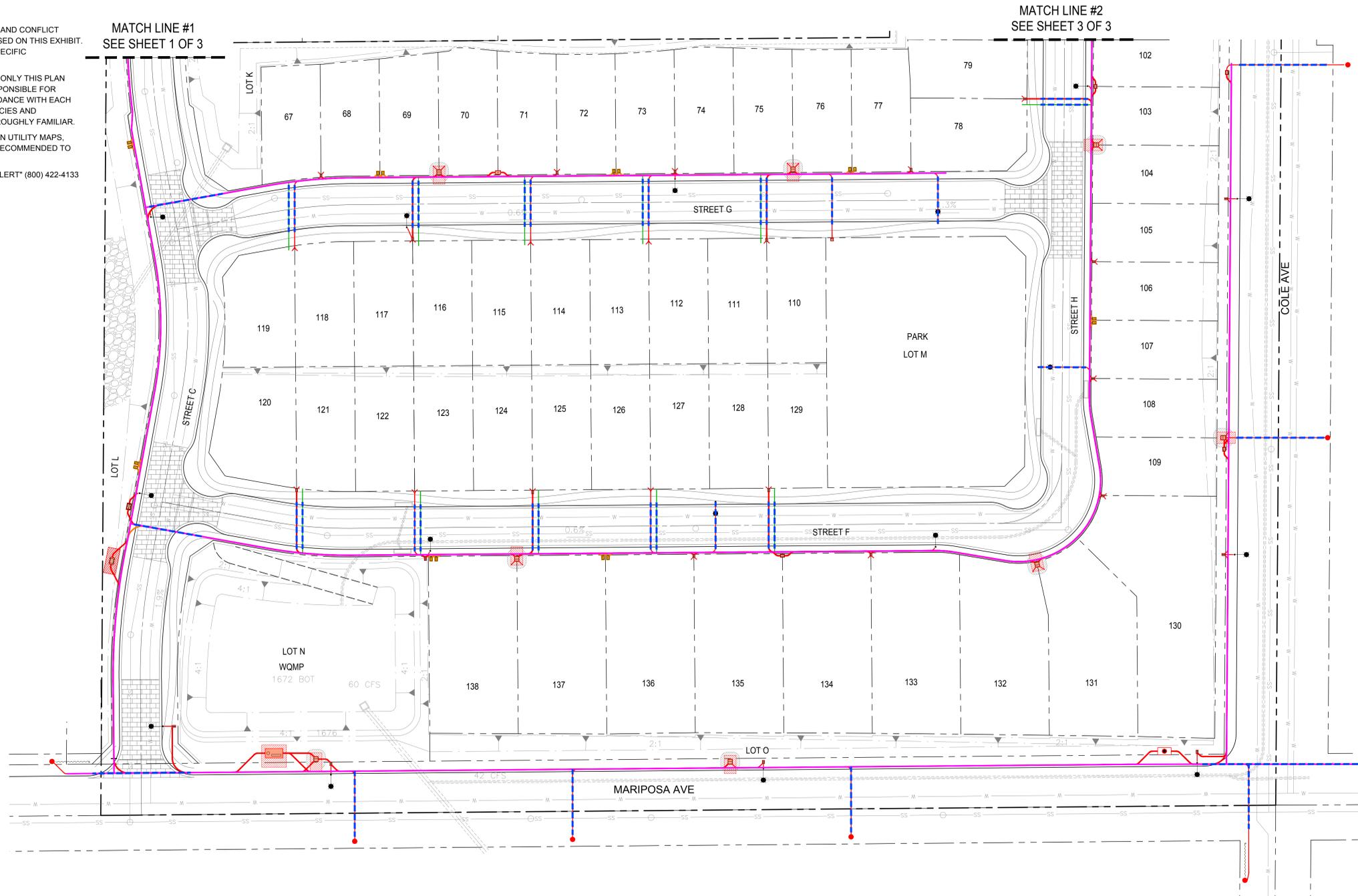
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UTILITY CONTACTS

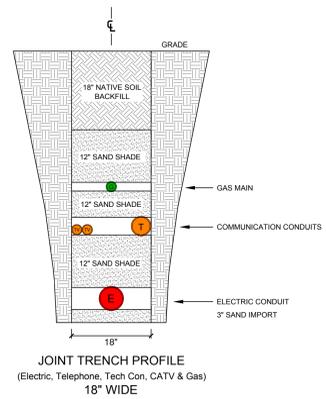
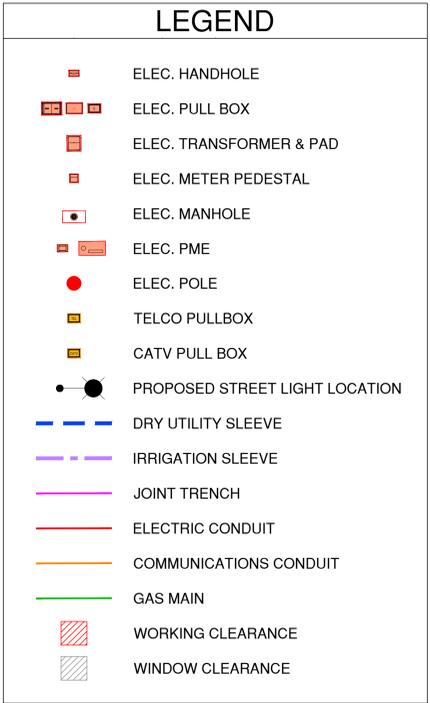
1. UTILITY CONTACTS:
- RIVERSIDE PUBLIC UTILITY
 - FRONTIER COMMUNICATIONS
 - SPECTRUM
 - SOUTHERN CALIFORNIA GAS
2. ALL UTILITY COMPANY DRAWINGS ARE TO TAKE PRECEDENCE OVER THIS PLAN.
3. BEFORE EXCAVATING CALL UNDERGROUND SERVICE ALERT AT: 1-800-227-2600



- GENERAL NOTES:**
1. DRY UTILITY COMPOSITE EXHIBIT IS FOR DESIGN STUDY AND CONFLICT CHECK ONLY. UTILITIES SHOULD NOT BE INSTALLED BASED ON THIS EXHIBIT. REFER TO RESPECTIVE UTILITY FINAL DESIGN(S) FOR SPECIFIC INSTALLATION REQUIREMENTS
 2. THIS PLAN IS FOR BIDDING AND PERMITTING PURPOSES ONLY THIS PLAN WILL BE THE PERMIT SET. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF EACH DRY UTILITY SYSTEM IN ACCORDANCE WITH EACH DRY UTILITY AGENCY'S CURRENT SPECIFICATIONS, POLICIES AND PRACTICES OF WHICH THE CONTRACTOR IS TO BE THOROUGHLY FAMILIAR.
 3. LOCATIONS OF EXISTING DRY UTILITIES ARE BASED UPON UTILITY MAPS, AS-BUILTS AND FIELD OBSERVATIONS. POT HOLING IS RECOMMENDED TO VERIFY LOCATION OF ANY EXISTING FACILITIES.
 4. CONTRACTOR TO CONTACT "UNDERGROUND SERVICE ALERT" (800) 422-4133 PRIOR TO ANY EXCAVATION.



VICINITY MAP
NOT TO SCALE



DRAWING HISTORY			
CREATED	Initial Base Map	NC	02/12/20
REVISIONS			
NO.	DESCRIPTION	BY	DATE



Diversified Pacific

Cole 138
Riverside, CA
Tract 37731
Dry Utility Composite Exhibit

PROJECT: DIV213
STATUS: PRELIMINARY
DATE: 03/26/2020 VER.2
SCALE: 1" = 40'
SHEET: 2 OF 3

