

**Hallmark-Barham Specific Plan EIR**  
**Technical Appendices**

**Appendix A.1**  
**Specific Plan**

# Hallmark-Barham

## Specific Plan

City of San Marcos



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# Hallmark-Barham Specific Plan

SP 20-0002

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## 1. Introduction

Welcome to the Hallmark-Barham Specific Plan (hereafter also noted as “Specific Plan” or “Plan”). The text within this document was carefully constructed at the request of the City of San Marcos and its intent is to provide the standards and regulations for the development of an attractive new multi-family residential community. The following chapters will guide the reader through the formulation of the Specific Plan and the proposed residential and open space development guidelines, and the utilities, infrastructure, and public services needed to support those land uses. The Specific Plan will provide details on vehicular and pedestrian circulation throughout the Plan area. It will provide financing options for public and private facilities. The Hallmark-Barham Specific Plan will also establish rules for the implementation and administration of development within the Hallmark-Barham Specific Plan Area. The Hallmark-Barham Specific Plan will contribute a robust multi-family residential development for future residents, that embodies the character and values the City of San Marcos strives to welcome into their community.

### 1.1. Overview of the Specific Plan

The Hallmark-Barham Specific Plan (Specific Plan) provides the City of San Marcos a comprehensive planning tool to help guide the orderly development of a new planned residential community in the southeastern portion of the City of San Marcos (**Figures 1-1 and 1-2**). The following information contained within this document, in conjunction with the City of San Marcos’ General Plan, will establish the development parameters allowed within the Plan area to include:

- Proposed land uses and their accompanying regulations and design standards (Chapter 2);
- A circulation plan to demonstrate the free and safe movement of vehicles, bicycles, and pedestrians through the Plan area and connection to existing infrastructure (Chapter 3);
- An overview of, and guidelines for, infrastructure facilities improvements including financing and phasing to support the development of the Plan area (Chapters 5, 6, and 7); and
- Mechanisms to implement development within the Specific Plan Area and the administrative processes required for approval of development projects within the Plan area (Chapter 7).

Nestled toward the eastern city limit, the 10.6-acre Hallmark-Barham Specific Plan Area was sensitive to designing a residential product in high demand within the community while simultaneously offering a high quality of life for future residents. To realize this vision this Specific Plan established the design parameters that will guide development of the residential multi-family community inclusive of recreational opportunities for residents. The project proposes a maximum of 151 multi-family residential dwelling units on approximately 10.6-acres for a maximum density of 14.3 du/acre. The Project proposes a mix of two and three-story condominiums ranging in size from a minimum of approximately 874 sq. ft. to a maximum of approximately 2,126 sq. ft. The Specific Plan Area includes approximately 5.35-acres of open space, which is inclusive of landscaping, water quality features, and recreational and private open space. Combined, these aspects of the Specific Plan will help create a comprehensive and inclusive neighborhood for

residents to enjoy. The planned residential multi-family community will complement the existing surrounding developments, while also contributing valuable housing to the City of San Marcos. Future development will be contingent upon the execution of the standards set forth within this document.

## 1.2. Planning Objectives

A Specific Plan allows the developer to form a comprehensive plan to develop the land uses and public facilities of the Specific Plan Area while maintaining a degree of design flexibility to respond to future conditions. The Specific Plan must be consistent with the policies and development goals defined within the City of San Marcos's General Plan. The following objectives have been established to guide the development of the Hallmark-Barham Specific Plan within the parameters defined within the City of San Marcos' General Plan:

- Provide a multi-family housing opportunity through a range of unit types, sizes, and number of different bedroom counts, including one, two, three, and four-bedroom units, as well as a range of affordability to accommodate a full spectrum of family demographics to contribute to the growing housing needs of the region.
- To the extent possible given the site constraints, maximize the opportunity to provide medium-density housing for the city of San Marcos in the 12.1-15.0 dwelling unit density range which is comparable to other medium-density housing developments near to the Specific Plan Area.
- Create a development which accommodates appropriate recreational open space for the anticipated residents expected to reside within the Plan Area.
- Provide development standards to regulate the nature and appearance of all construction within the Hallmark-Barham Specific Plan Area through integration of landform use, architectural design, unified landscape theme, and recreation areas.
- Design a safe and efficient circulation system that adequately supports the appropriate level of traffic within the Specific Plan Area as well as connections to public roadways and improvements to public streets and rights-of-way inclusive of vehicular, bicycle, pedestrian modes of travel.
- Develop a financing plan that provides for the efficient and timely provision of infrastructure and public services prior to and as development occurs.
- Implement a maintenance program which will ensure all common areas are maintained to standards set forth in the City's General Plan; and
- Finance and/or contribute to all appropriate community and citywide infrastructure as warranted.

## 1.3. Specific Plan Purpose and Scope

The Hallmark-Barham Specific Plan is a comprehensive planning document that establishes development guidelines for the proposed residential community. The document will serve as the primary land use, policy, and regulatory document for the Plan area by providing an efficient

comprehensive correlation between land uses, public services, and infrastructure necessary to support those land uses. When implemented, these elements of the Specific Plan will form a cohesive and rational development able to adapt to the opportunities and constraints of the area.

The Specific Plan serves as both a policy document and a regulatory document for the systematic implementation of the policies and goals of the public agency's General Plan. As a policy document, the Hallmark-Barham Specific Plan embodies the broad policy directives of the General Plan and applies those policies and goals to the establishment of specific objectives for the planning area. As a regulatory document, the Hallmark-Barham Specific Plan provides direction for the assignment of land uses and associated development, as well as the design and infrastructure capacity standards, which must be met to facilitate the successful implementation of the Specific Plan. By incorporating the allowed land uses, development criteria, design standards, and infrastructure needs, The Specific Plan enables planners to create specific standards applicable to the Plan area. The Hallmark-Barham Specific Plan requires all subsequent design and development documents, infrastructure, and financing plans to be consistent with the policies and regulations contained herein.

#### **1.4. Specific Plan Authority**

California Government Code §65450, in conjunction with the City of San Marcos Zoning Ordinance, Chapter 20.535, authorizes the City's legislative body to prepare and adopt Specific Plans. The Specific Plan will become the vessel for the systematic implementation of the City's General Plan within a defined area covered under the governing authority of the General Plan. Per California Government Code §65451, a specific plan shall contain the following written and graphic information:

- The Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan.
- The distribution, location, and extent of the uses of land, including open space, within the area covered by the Plan. The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the Plan and needed to support the land uses described in the Plan.
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out paragraphs (1), (2), and (3).

#### **1.5. Contents of the Specific Plan**

To comply with the requirements identified in Section 1.4, the Hallmark-Barham Specific Plan includes the following information:

- An introduction that includes the planning objectives for the Specific Plan which encompasses the goals of, and is consistent with, the General Plan regarding land use, circulation, resource management, community design, as well as public services and utilities (Chapter 1),
- Written descriptions and graphic illustrations of proposed land uses within the Specific Plan Area, including clearly identified specific development patterns and design standards (Chapter 2),
- Written descriptions and graphic illustrations of proposed vehicular, pedestrian circulation systems for the Plan area and the connections to adjacent public and private circulation networks (Chapter 3),
- A public service and facility plan that identifies the specific agencies and extent of public services and facilities necessary to serve the Plan area (Chapter 4 and 6),
- A utility and infrastructure plan that includes the location and extent of utility services necessary to serve the Plan area (Chapter 5),
- A public facility financing and phasing plan that provides the general outline for the financing mechanisms proposed and the phasing of the Specific Plan Area (Chapter 6); and
- An implementation and amendment program that provides the mechanisms available for project review procedures and regulations for specific development within the Plan area and any future amendments to the Specific Plan (Chapter 7).

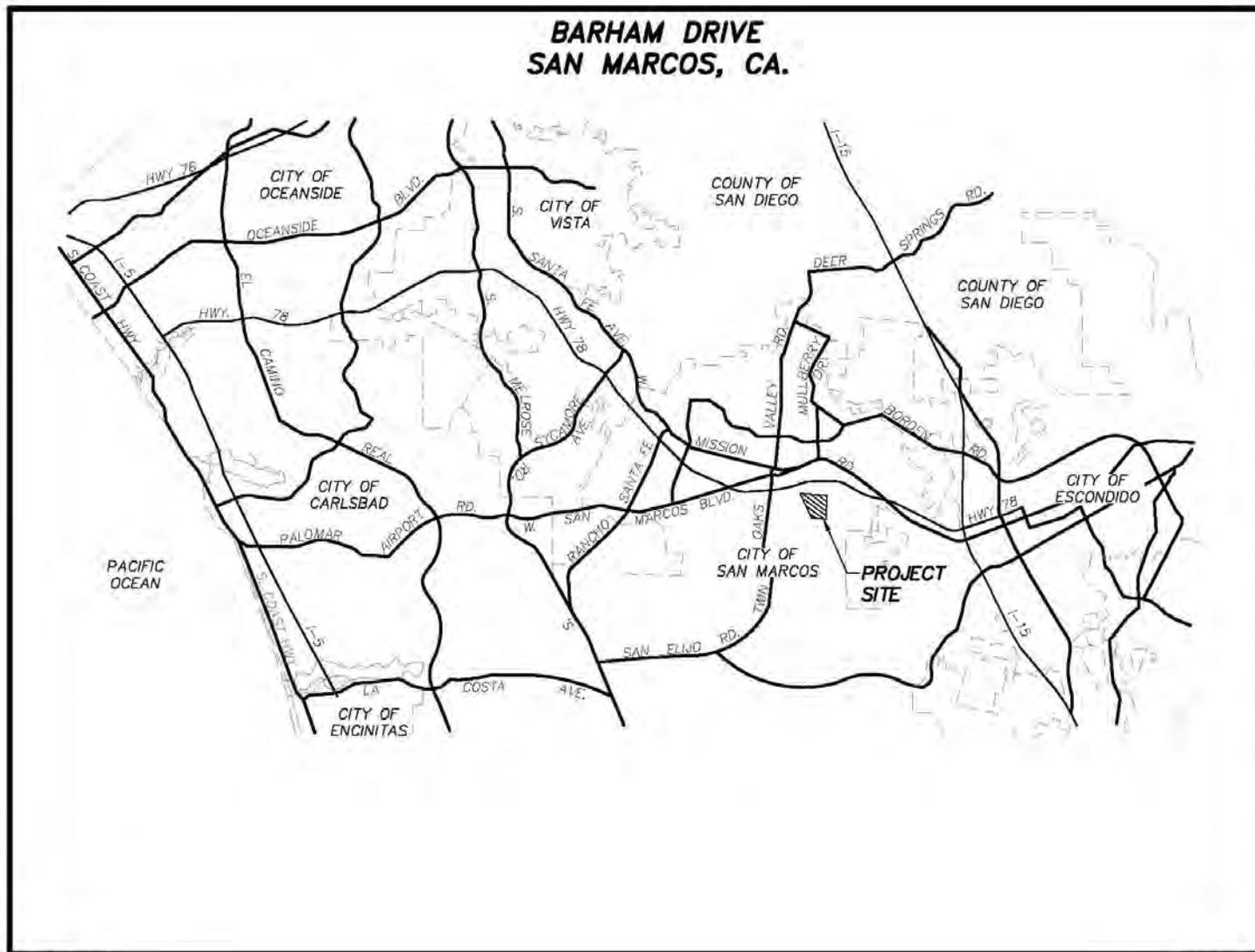
## 1.6. Plan Area Location and Setting

### 1.6.1. Regional and Local Setting

The Hallmark-Barham Specific Plan Area encompasses approximately 10.6-acres and is situated at the eastern quadrant of San Marcos (**Figure 1-1**). The official location according to the Title Report is “those portions of lots 1 and 3 of section 18, township 12 south, range west, san Bernardino meridian, in the County of San Diego, State of California, according to the United States Government survey approved December 14, 1885.

Regionally, the Specific Plan Area is located near major interstate freeways and local highways (**Figure 1-2**). Interstate 15 and Highway 78 comprise the two major transportation options closest to the Specific Plan Area. The Highway 78 eastbound onramp is approximately 0.5-mile east of the Specific Plan Area. From the Highway 78 Nordahl onramp, it is approximately an additional 1-mile to connect to Interstate 15. Several westbound options are accessible from the Plan area. The Nordahl westbound onramp is located approximately 1.25-miles east of the Specific Plan Area, while the Woodland onramp is located approximately 0.5-mile west of the Plan area. Sprinter rail service and bus transit service are located approximately one mile east from the Specific Plan Area on East Mission Road. Detailed information of the transportation options accessible to the Hallmark-Barham Specific Plan Area are discussed in Chapter 3. Together, the regional and local transportation network options allow the residents of the Hallmark-Barham Specific Plan Area access to schools, employment, shopping, and entertainment options within the City of San Marcos, as well as broad connection options to

San Diego and Riverside counties, and Southern California’s schools, shopping and entertainment centers, and employment hubs.



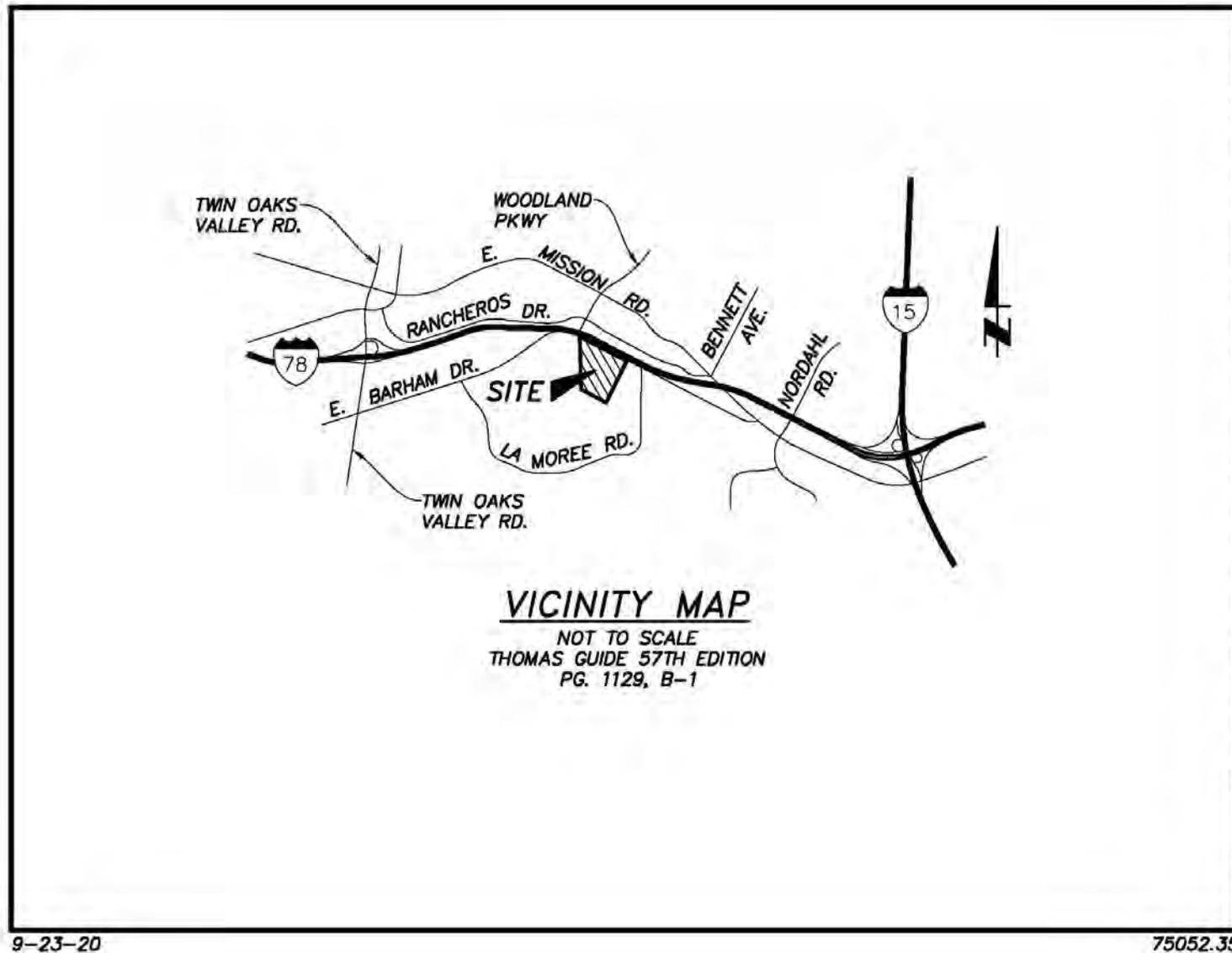
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**Regional Map**  
**Hallmark - Barham Specific Plan**

**Figure 1-1**



Vicinity Map  
 Hallmark - Barham Specific Plan

Figure 1-2

### **1.6.2. Surrounding Land Uses**

The Hallmark-Barham Specific Plan Area should be a complimentary land use, compatible with existing surrounding land uses. Typically, land uses should complement neighboring properties and create a logical transition of uses and density growing steadily denser toward an urban core. A proposed land use should not contrast with or negatively affect a neighboring property. The Hallmark-Barham Specific Plan Area proposes a multi-family residential development, which constitutes an appropriate transition from the neighboring single-family communities and the commercial (church) land uses.

### **1.6.3. Plan Area Physical Characteristics**

The Specific Plan Area is comprised of one parcel for a total of approximately 10.6-acres. The proposed site is surrounded by existing development and is generally comprised of disturbed, vacant land, and absent of any structures. Limited vegetation exists at the southern portion of the parcel on the upper end of the slope.

The natural topography of the site slopes from the south to the north. The sites approximate elevation ranges from 755' to 655' in elevation above mean sea level.

### **1.6.4. Factors That Influence the Specific Plan**

The following descriptions of the opportunities and constraints provide a portion of the factors that influence the development of the Hallmark-Barham Specific Plan. In addition to the opportunities and constraints, the Specific Plan also incorporates input from the City of San Marcos staff, as well as input from the neighboring public who may have a stake in the development of the Specific Plan Area. Together, when applied to development, these factors help form the basis for comprehensive development within the Specific Plan Area.

#### **1.6.4.1. General Location**

The Hallmark-Barham Specific Plan's general location supports the proposed multi-family residential land use. Ideally, residential land uses should be compatible with the surrounding built environment, taking advantage of existing infrastructure, transportation, and amenities. The Plan's location facilitates a symbiotic relationship between housing and employment centers within the region and is near to transportation options, which contribute to the reduction in greenhouse gas emissions, thereby establishing consistency with Senate Bill 375 (SB 375) (Sustainable Communities and Climate Protection Act of 2008). The Plan's proximity to Interstate 15 and Highway 78 and the Nordahl NCTD transit station make for an ideal connectivity to a regional transportation network, employment centers, and shopping and services in an area of rapid growth.

#### **1.6.4.2. Topography**

Generally, the topography of the site slopes from the south to the north. The steepest slopes occur at the southeast corner, which drops in elevation as the slope runs to the northern edge of the site.

#### **1.6.4.3. Surrounding Land Uses**

The Specific Plan design is a compatible transition from the surrounding single-family residential development and commercial (church) land uses in the area. Multi-family development should generally be sited between transitions from urban residential or business-oriented development and more suburban residential development. In that regard, the proposed location is ideal for a multi-family residential project area. Therefore, the proposed multi-family project density is consistent with the surrounding land uses.

#### **1.6.5. Relationship to Existing Plans and Regulations**

Consistency between the City of San Marcos General Plan and this Specific Plan is required to comprehensively form the Specific Plan in a manner which accurately captures all elements needed to make informed development decisions. The General Plan elements described below contain goals and policies, which when incorporated into the Specific Plan, will set forth the policies and regulatory groundwork that all development within the Specific Plan Area must meet to satisfy the requirements herein.

The Hallmark-Barham Specific Plan Area is within the jurisdiction of the City of San Marcos and is a policy tool for the City to use in conjunction with the City's General Plan. The General Plan is the primary tool used to realize the development vision policy makers and the public desire for the future needs of their city. The policies and goals outlined in the General Plan establish the framework for instituting all future development within the City of San Marcos.

### **1.7. City of San Marcos General Plan**

As the lead agency, the City of San Marcos has the authority to develop the General Plan and to ensure any subsequent plans or policies conform to the goals and policies of the General Plan. As noted in Section 1.4 and 1.5, the Hallmark-Barham Specific Plan must establish consistency with and carry out the goals and policies as set forth in the General Plan. This section provides descriptions of the consistency between this Specific Plan and each Element of the City of San Marcos' General Plan.

#### **1.7.1. Specific Plans**

Chapter 20.250 of the San Marcos Zoning Ordinance establishes specific standards to regulate development by authority from the General Plan, describes specific plans as tools for the systematic implementation of the San Marcos General Plan. As a planning tool, the specific plan derives its authority from state and local law to provide a more precise framework for the distribution of land uses, infrastructure, development standards, resource conservation, and implementation measures necessary to carry out the goals of the General Plan. The Hallmark-Barham Specific Plan accounts for the unique physical characteristics, constraints, and resources of the Plan area to provide specific development guidelines for projects within the Plan area. According to Government Code Section 65454, a specific plan must be consistent with the adopted General Plan. The Hallmark-Barham Specific Plan's consistency with the General Plan is described in more detail below.

### **1.7.2. Land Use and Community Design Element**

The Land Use Element establishes the foundation for future growth the City Council and the community envisioned for land uses within the City of San Marcos. The Element carefully considers a sustainable balance of land uses, which would help grow the City's economy and provide for a high quality of life for residents. The Hallmark-Barham Specific Plan establishes rules for the density, intensity, and land uses for development within the Plan area. Those land uses must conform to the goals of the Land Use Element and contribute to the vision the City anticipated for development. The Hallmark-Barham Specific Plan meets the intent of all Land Use Goals. A brief description of compatibility is provided below.

Specific Plan consistency with the General Plan will be met by designing an efficient and appropriate multi-family residential development, which compliments its surrounding land uses and is sited near alternate modes of transportation. Existing utilities and facilities are close to the proposed Specific Plan Area and any development will contribute its fair share to improve public facilities and services. The project design will promote the use of renewable energy and green building practices in compliance with State and local rules and regulations to reduce as much as possible any potential environmental impacts. When applied, the standards set forth in this Specific Plan will complement the General Plan and will contribute a quality development to the community.

### **1.7.3. Mobility Element**

The Mobility Element of the General Plan establishes the structure for a comprehensive, multi-modal transportation network throughout the City of San Marcos. The Element examines the strategic locations of transportation modes and methods to better connect the City's commercial and retail centers, industrial complexes, and residential neighborhoods, as well as connecting to the major regional transportation systems. When incorporated together, the components of the Mobility Element help provide a higher quality of life to residents by facilitating a cohesive network of transportation options that work to eliminate congestion and improve circulation throughout the City while also connecting the City of San Marcos to regional opportunities.

The Hallmark-Barham Specific Plan integrates into the City of San Marcos' transportation network by establishing a circulation plan based on the goals outlined within the Mobility Element. The Plan area will include a transportation network designed appropriately for the land uses and adequately integrating to the City's existing infrastructure. The Plan area meets the goals of the Mobility Element because its proximity to multi-modal transportation facilities facilitates use by residents without impeding existing transportation systems. The Nordahl transit station is a quick walk or bike ride from the project area and offers light rail (Sprinter) and bus (Breeze) services. The Plan areas proximity to the to the SR-78 freeway and Interstate 15 allow for easy regional connectivity to employment centers, shopping areas, and recreation opportunities. The Specific Plan Area's internal road circulation and access plan creates a safe and free flow of vehicular, pedestrian, and bicycle traffic by incorporating traffic calming measures to promote safe driveways shared by all. When combined, these components help reduce greenhouse emissions and provide well-designed circulation systems and connectivity because the location of the Plan area is near existing transit, employment and retail centers

along E. Mission Road. The components of the circulation plan, when met, help reduce emissions and satisfy the goals and policies of the San Marcos General Plan.

#### **1.7.4. Conservation and Open Space Element**

The Conservation and Open Space Element of the General Plan identifies natural, cultural, historic, and open space resources within the City of San Marcos. The goals provided within the Conservation and Open Space Element outline the policies and programs related to open space and resource conservation, which must be incorporated into development and growth within the City of San Marcos.

The site is an infill development surrounded by existing residential and commercial development. No prominent land features have been identified within the Specific Plan Area. Native vegetation has been identified on the upper slope on the southern edge of the property and will be analyzed and mitigated appropriately. Additionally, any landscaping within the Plan area must conform to strict water conservation ordinances, laws, and other resource conservation measures. Any future development must implement engineering plans to treat all water runoff on site. Waste and recycling services established by this Plan also contribute to pollution reduction and resource conservation. By tying future development to specific conservation and open space requirements the Hallmark-Barham Specific Plan is consistent with the Conservation and Open Space Element.

#### **1.7.5. Parks, Recreation, and Community Health Element**

The purpose of the Parks, Recreation, and Community Health Element of the General Plan is to provide recreational opportunities, which contribute to the health and well-being of the residents of San Marcos. The goals of the Element outline the amenities future development must provide to satisfy the intent of the General Plan.

The Hallmark-Barham Specific Plan Area will strive to offer healthy and enjoyable recreational opportunities through the creation of private open space and community gathering areas for the Specific Plan Area residents. The Specific Plan Area will provide, at a minimum, the City's required public park space, or in-lieu fees paid to the City to meet the intent of the Parks, Recreation, and Community Health Element.

#### **1.7.6. Safety Element**

The primary purpose of the Safety Element of the General Plan is to establish goals that promote the public health, safety, and welfare of residents and their property within the City of San Marcos. The Safety Element identifies and creates a plan for anticipated natural and human-caused safety concerns affecting city residents.

The Hallmark-Barham Specific Plan develops a plan for the implementation of public safety measures and first responders to help maintain the safety of the Plan area's residents, as well as its neighbors. By utilizing the most current building codes, the community's risk associated with geological hazards are reduced by utilizing the most up to date structural construction methods to reinforce dwelling units. Additionally, the site is an infill development site, surrounded by existing residential and commercial development thereby reducing the risk to

the Specific Plan from area from wildland fires by contributing to the defensible space of the site. Structures will be required to include all applicable residential fire code requirements to reduce damage from fire threats. In addition, two separate Specific Plan Area exits are provided, per San Marcos Fire Code, to assist in emergency egress for residents and emergency vehicle access to the site as well as a third emergency access only at the projects southwest corner. Therefore, by the intrinsic location of the site, and the incorporation of all relevant building and safety codes, the risk of damage from wildland fires is mitigated through thoughtful design. These measures will maintain the Specific Plan's compliance with the City of San Marcos' Safety Element.

#### **1.7.7. Noise Element**

The purpose of the Noise Element of the General Plan is to identify potential problems and noise sources threatening community safety and comfort and to establish policies and programs that will limit or mitigate the community's exposure to excessive noise levels. It addresses both existing and foreseeable future noise abatement issues.

The Hallmark-Barham Specific Plan Area has been designed as a multi-family residential development, which when built will create an appropriate use of the land. The future development will separate, reduce, or mitigate noise actively through engineered street design by providing double loaded driveways, which trap noise from exiting the site. Utilizing current construction codes and standards provides additional measures preventing noise from entering dwelling units. If needed, construction noise will be mitigated through proper maintenance of construction vehicles equipped with noise reduction intakes, exhaust mufflers, and engine shrouds, in accordance with the manufacturers' recommendations. When possible, electrical power shall be used to run air compressors and power tools. Equipment staging areas should be located as far as feasible from neighboring occupied residences. Finally, noise attenuation techniques shall be employed, as needed, to ensure noise levels remain below 75 dBA Leq at the western and eastern project boundary or as identified by noise analysis conducted for any proposed development within the Specific Plan Area. When combined, each design feature and construction mitigation measures will conform the project to the City's General Plan Noise Element requirements.

#### **1.7.8. Housing Element**

The Housing Element of the San Marcos General Plan seeks to balance existing housing and future housing development within the city to meet the housing needs of city residents. Each element of the General Plan must be taken into consideration when developing the Housing Element to ensure comprehensive policies and goals are included in the Housing Element. Those policies and goals form a framework that the Hallmark-Barham Specific Plan will follow to systematically implement a comprehensive housing development plan that is consistent with the General Plan.

Multi-family residential development within the Hallmark-Barham Specific Plan Area will encompass approximately 10.6-acres and will include a maximum of 151 multi-family residential dwelling units for an approximate total density of 14.3 dwelling units per-acre

(du/acre). This residential density equates to the Medium Density Residential 1 (MDR1) land use designation of the San Marcos General Plan. The unit mix and variations of building types proposed for the Specific Plan Area, which will include a variation of bedrooms, therefore providing a range of units and housing opportunities that will be attractive to potential residents across the economic spectrum. The Specific Plan Area will, at a minimum, provide the City's required affordable housing units or pay in-lieu fees to the City to meet the intent of the Housing Element. Therefore, the Hallmark-Barham Specific Plan Area is consistent with the goals provided within the Housing Element of the General Plan.

### **1.8. Compliance with CEQA**

An Environmental Impact Report (EIR) will be prepared for and accompany the Hallmark-Barham Specific Plan. The EIR is prepared in accordance with the California Environmental Quality Act (CEQA) and serves as a comprehensive environmental document for subsequent development within the Specific Plan Area. The EIR examines the relationship the Specific Plan implementation may have on potential environmental impacts to the Plan area and makes determinations for mitigation measures to reduce impacts to below levels of significance. The EIR will be certified concurrently with the Specific Plan by the decision-making body.

A Mitigation Monitoring and Reporting Program (MMRP) must be adopted in accordance with Public Resources Code Section 21081.6 to ensure the proper implementation of the mitigation measures outlined within the EIR. All future development within the Plan area is required to adopt and implement the mitigation measures specified in the MMRP, if applicable.

Subsequent development proposals within the Hallmark-Barham Specific Plan Area, if found by the City of San Marcos to be consistent with this Plan and the impact analysis and mitigation measures found in the certified EIR, may be approved and implemented without further public environmental review according to California Government Code Section 65457. Prior to amendment to this Specific Plan, the City of San Marcos shall determine if further environmental review and analysis is required to satisfy CEQA requirements.

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# Chapter 2 Land Use and Design

## 2. Land use and Design

This chapter presents the objectives and standards that will govern all future community development within the Hallmark-Barham Specific Plan Area. The Land Use and Design chapter of the Hallmark-Barham Specific Plan will not only establish rules of development within the Plan area, it will also establish a design theme. Design rules and themes create the foundation for the project area to create character, which will give residents a sense of place within their community. The following sections of this chapter present the meticulous design details for development within the Specific Plan Area including such issues as assignment of land uses, residential development standards, and landscape and open space design and standards. This chapter will build upon those concepts and standards to ultimately develop an attractive and functional community reflective of the character of the City of San Marcos.

### 2.1. Design Objective

Hallmark-Barham Specific Plan strives to create an appealing residential community founded on solid design principals. The Plan area's natural features provide an opportunity to create that appealing community through development that blends with its surroundings.

The Plan area will address community planning goals and will incorporate core recreational concepts into the development design. Through careful engineering the site will present a residential design conscious of open space placement and orderly circulation design thereby reducing the projects impacts and maximizing recreational opportunities. These goals include:

- Create a sustainable development through careful balancing of land use, connections to, and proximity to transportation options, and open space opportunities.
- Design a series of roadways that safely link the development to the larger community.
- Establish a neighborhood linked to the community through a multi-modal transportation system to include roads, pedestrian, and bicycle mobility options.
- Create a series of built features, using architecture design and landscape design, that provide a distinct built environment which is pleasing to residents and neighbors alike.
- Maintain the feel of the community through use of building materials that complement and enhance the surrounding environment and neighborhoods; and
- Create a distinct recreational environment though the careful placement of open space features that blend with natural landforms.

### 2.2. Land Use Plan

The following design elements and standards are intended to provide specific design parameters within the Hallmark-Barham Specific Plan Area. When applied to the residential and landscape design, these regulations will encourage the orderly development of the residential and open space uses by providing explicit details on the parameters of development.

**2.2.1. Land Use Plan Overview**

The approximately 10.6-acre Hallmark-Barham Specific Plan will be comprised of one land use, a residential land use component containing open space. This individual land use will accommodate the multi-family residential development and three sub-categories of open space (active, passive, and private open space). The 14.3 du/ac multi-family land use within the Specific Plan Area equates to a Medium Density Residential (MDR1) 12.1-15.0 du/ac General Plan land use classification. Open space within the Specific Plan Area will total approximately 5.35-acres. Components of the three sub-categories of open space will defined by the following forms: passive open space (landscaping, bio-retention basins), recreational open space (open turf areas, tot lots/playgrounds, barbeque stations, etc.), and private open space. These features comprise a well-rounded residential neighborhood, supportive of community activities and the health of the residents.

**Table 2-1 Residential Land Use Distribution**

Residential Land Use	Total Gross Area (in acres)	Target Density (DU/acre)	Proposed DU's	Project Density
<b>Multi-Family Residential</b>	2.76	12.1-15.0	151	14.3 <sup>1</sup>
<b>Driveways/Alleys/Parking/loading</b>	2.44	n/a	n/a	n/a
<b>Common Open Space area w/ grades 10% or greater</b>	3.09	n/a	n/a	n/a
<b>Common Open Space area w/ grades less than 10%</b>	1.49	n/a	n/a	n/a
<b>Private Open Space</b>	0.61	n/a	n/a	n/a
<b>Bio-Retention Areas</b>	0.16	n/a	n/a	n/a
<b>Open Space Subtotal</b>	5.35	n/a	n/a	n/a
<b>Site Total</b>	<b>10.55</b>	<b>12.1-15.0 du/ac</b>	<b>151</b>	<b>14.3 du/ac</b>

<sup>1</sup>Project density calculation includes the sites total gross acreage.

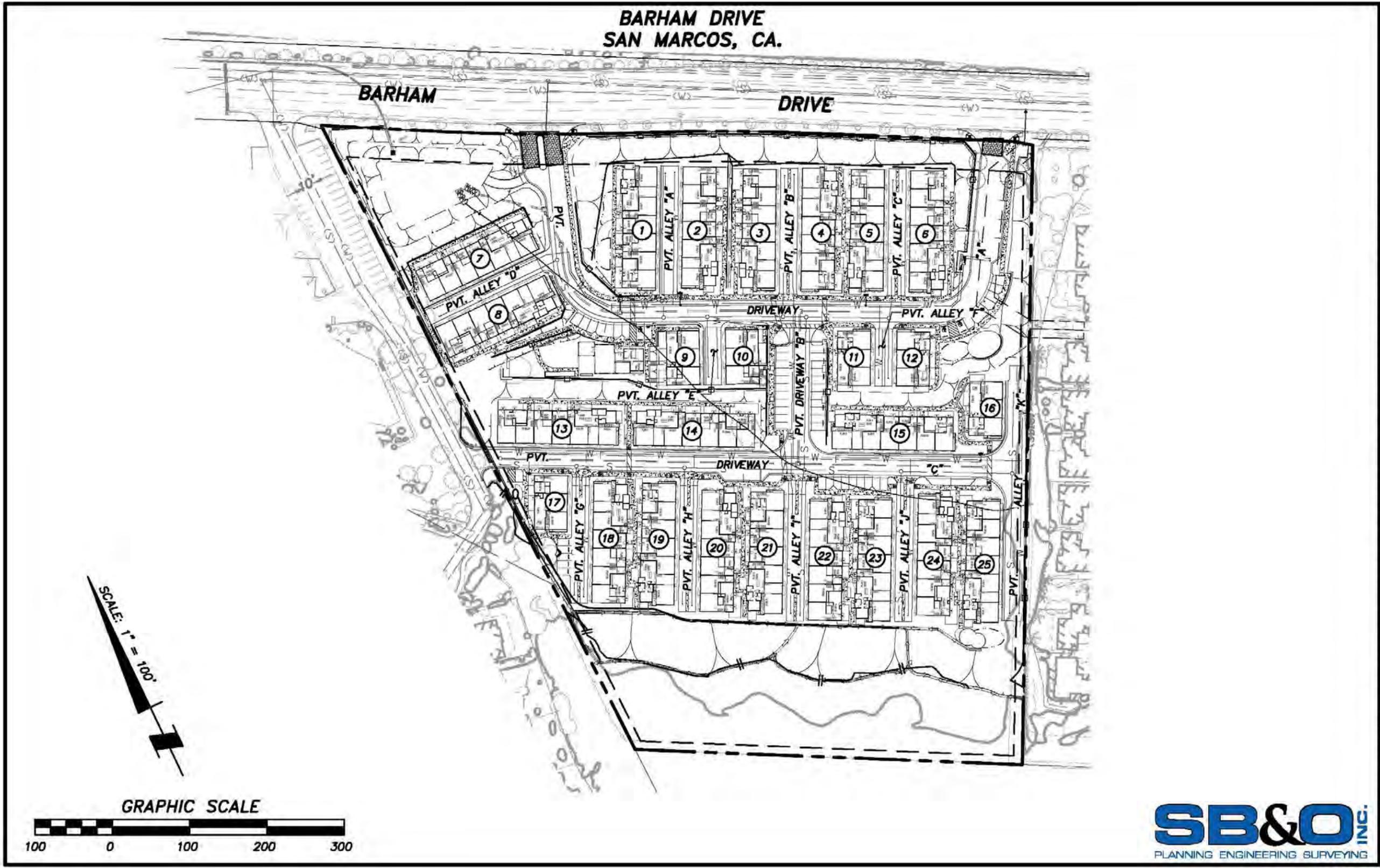
The nature of this development lends itself to certain elements, which would be appropriate for the residential land use classification. Therefore, a table of permitted, conditionally permitted, and prohibited land uses have been prepared for ease of reference (**Table 2-2**). Those uses not specifically listed in the table are subject to review based on the consistency within the purpose and intent of the land use categories and are subject to the approval of the Development Services Director. The Director may refer uses or interpretation of permitted uses to the Planning Commission.

**Table 2-2 Permitted Elements of the Residential Land Use**

Residential Land Use	Permitted, Conditionally Permitted, Prohibited
<b>Residential Uses</b>	
Multi-Family Dwelling	P
Private Residential Garage	P
Recreational Open Space	P
Private Open Space	P
<b>Accessory Uses</b>	
Electric Vehicle Charging Stations	P
Rooftop Solar Energy/Water Heating Panels	P

*Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X); and Temporary (T)*

BARHAM DRIVE  
SAN MARCOS, CA.



Plotted: 4/28/2021 2:33 PM D:\75051 BARHAM DRIVE\03 DWG\EXISPECIFIC PLAN EXHIBITS\75052EX01 SITE PLAN.DWG - mguarin

Conceptual Site Plan  
Hallmark - Barham Specific Plan

Figure 2-1

### 2.2.2. Residential Land Use

The Hallmark-Barham Specific Plan is comprised of 151 multi-family residential units situated on approximately 10.6 gross acres. Residential buildings comprise of approximately 2.8-acres of the 10.6-acre site. Multi-family residential dwelling units are comprised of one, two, and three-story condominiums with ten dwelling unit types interspersed throughout the Specific Plan Area.

Orderly implementation of the residential component of the Specific Plan requires established rules and regulations, which guide development of the residential development. Section 2.3 provides the regulations residential development must meet to satisfy this Specific Plan.

## 2.3. Residential Design and Development Standards

### 2.3.1. Architectural Styles

An important part of any Specific Plan, which includes a residential component, is the architectural styles for dwelling units, along with landscaping, which help define the community's character. To create successful communities, architectural design must embody methods which are flexible enough to meet the changing needs of the consumer market yet, must also be visually pleasing products complementary to the surrounding community. For those reasons, the proposed architectural style has been presented for inclusion in the Hallmark-Barham Specific Plan Area and was chosen based on its historic popularity with homeowners in California.

The following overview offers a brief description of the look and feel for the Hallmark-Barham Specific Plan architectural style, which could be offered within the Plan area. It should be noted that architecture proposed in the following sections be considered conceptual and subject to modifications. Additional architectural styles not represented in the following text should be allowed within the Plan area so long as any proposed architecture is found to be an appropriate design by the City of San Marcos Development Services Department and consistent with design guidelines set forth in the sections below.

**Contemporary Spanish** – The architecture incorporated with the Hallmark-Barham Specific Plan Area takes inspiration from traditional Spanish Colonial style architecture. Elements and materials traditionally used for the Spanish Colonial style include low pitched roofs using “S” tiles, simple forms with stucco walls, fiber cement trim at selected window enhancements, trim at window headers, accent tiles for a decorative look at select gables and select entryways, and decorative sectional garage doors. The architecture was chosen to complement existing architecture adjacent to the Specific Plan Area.

### 2.3.2. Floor Plans and Elevations

Providing multiple variations of floor plans for each product type allows for articulation of the building elevations, which enhances the visual landscape of the Specific Plan Area. One-story, two-story, and three-story product types included within the Specific Plan Area offer multiple floor plans within two different building elevations (1, 2 & 3 Story 7-Plex/2 &

3 Story 3-Plex). Including a variety of floor plans helps to create distinction between building façades and contributes to street scene variation and community character as well as providing a range of dwelling unit types able to cater to specific buyers' needs. The Specific Plan Area provides a minimum of 10 floor plans. Unit types and building types may be considered interchangeable. The City of San Marcos Development Services Department shall approve final building configurations. Hallmark-Barham Specific Plan architectural floor plans and elevations can be seen on **Figure 2-2** through **Figure 2-8**.

**Seven Plex Buildings** – Each Seven-Plex building will include a Plan 1, Plan 2, Plan 4B, Plan 5, Plan 6A, Plan 6B, and Plan 6C. This building type will provide a total 133 units included in 19 buildings spread throughout the Specific Plan Area.

**Three-Plex Buildings** – Each Three-Plex building will feature a Plan 3, Plan 4A, and Plan 6D unit. These buildings will house a total of 18 units in 6 buildings spread throughout the Specific Plan Area.

Each unit within the Specific Plan Area will provide a 2-car garage with the exception of Plan 1 units, which will feature a 1-car garage.

Table 2-3 provides a detailed unit summary for the Specific Plan Area.

Table 2-3 Unit, Building, and Parking Summary

<b>Dwelling Unit Summary</b>		
<b>2 &amp; 3 Story 7-Plex Buildings – 19 Bldgs.</b>		
<b>Plan Type</b>	<b>Square Footage</b>	<b>Unit Count</b>
Plan 1 1br/1.5ba	874 sq. ft.	19
Plan 2 2br/2.5ba	1,364 sq. ft.	19
Plan 4B 3br/2.5ba, Office	1,705 sq. ft.	19
Plan 5 3br/2.5ba, Den	1,801 sq. ft.	19
Plan 6A 3br/2.5ba	1,667 sq. ft.	19
Plan 6B 4br/3.5ba	1,898 sq. ft.	19
Plan 6C 3br/2.5ba, Suite	2,126 sq. ft.	19
<b>Subtotal</b>		<b>133 Units</b>
<b>Dwelling Unit Summary</b>		
<b>3-Story 3-Plex – 6 Bldgs.</b>		
<b>Plan Type</b>	<b>Square Footage</b>	<b>Unit Count</b>
Plan 3 2br/3ba, Loft & opt. 3 <sup>rd</sup> br.	1,573 sq. ft.	6
Plan 4A 3br/2.5ba	1,650 sq. ft.	6
Plan 6D 4br/3.5ba	1,935 sq. ft.	6
<b>Subtotal</b>		<b>18</b>
<b>Total Multi-Family Dwelling Units</b>		<b>151</b>
<b>Miscellaneous Bldgs.</b>		
<b>Central Recreational Bldg.</b> Kitchen, Living, Dining, California Room, Patio, Restrooms, & Storage	1,160 sq. ft.	1
<b>Project Total</b>		<b>151 Dwelling Units 25 Residential Bldgs. 1 Recreational Bldg.</b>



Biofiltration basin

**Central Rec. Bldg**  
 • + 1,680 SF  
 • Kitchen, Living, Dining, California Room, Pato, Restrooms, Storage

typical  
**2 & 3-Story 7 Plex**  
 • Plan 1: + 858 SF, 1 Bedroom, 1.5 Bath  
 • Plan 2: + 1,364 SF, 2 Bedroom, 2.5 Bath  
 • Plan 4B: + 1,705 SF, 3 Bedroom, 2.5 Bath, Office  
 • Plan 5: + 1,801 SF, 3 Bedroom, 2.5 Bath, Den  
 • Plan 6A: + 1,667 SF, 3 Bedroom, 2.5 Bath  
 • Plan 6B: + 1,898 SF, 4 Bedroom, 3.5 Bath  
 • Plan 6C: + 2,126 SF, 3 Bedroom, 2.5 Bath, Suite

Emergency Vehicle Access only

typical  
**3-Story 3 Plex**  
 • Plan 3: + 1,573 SF, 2 Bedroom, 3 Bath, Loft, Opt. Bed 3  
 • Plan 4A: + 1,650 SF, 3 Bedroom, 2.5 Bath  
 • Plan 6D: + 1,935 SF, 4 Bedroom, 3.5 Bath

**Project Summary**

Total Site Area: + 10.55 Acres

- Total Units: 151 Homes
- (19) Plan 1: + 858 SF, 1 Bedroom, 1.5 Bath
  - (19) Plan 2: + 1,364 SF, 2 Bedroom, 2.5 Bath
  - (6) Plan 3: + 1,573 SF, 2 Bedroom, 3 Bath, Loft, Opt. Bed 3
  - (6) Plan 4A: + 1,650 SF, 3 Bedroom, 2.5 Bath
  - (19) Plan 4B: + 1,705 SF, 3 Bedroom, 2.5 Bath, Office
  - (19) Plan 5: + 1,801 SF, 3 Bedroom, 2.5 Bath, Den
  - (19) Plan 6A: + 1,667 SF, 3 Bedroom, 2.5 Bath
  - (19) Plan 6B: + 1,898 SF, 4 Bedroom, 3.5 Bath
  - (19) Plan 6C: + 2,126 SF, 3 Bedroom, 2.5 Bath, Suite
  - (6) Plan 6D: + 1,935 SF, 4 Bedroom, 3.5 Bath

Density: 14.3 Homes per Acre

Open Space Requirement		
	Required	Provided
Common Open Space with Grades Less than 10%	37,010 SF	64,913 SF
Recreational Areas (Tot-Lot and Open Play)	2,400 SF	10,742 SF
Private Open Space/Patios/Decks	25,150 SF	26,390 SF

SETBACKS	
FRONT PL	35 FT
SIDE YARD	10 FT
REAR YARD	10 FT

3-Plex Bldg. Garage Standards		7-Plex Bldg. Garage Standards	
Plan Type	Garage Standard	Plan Type	Garage Standard
3	2-car 20'0" x 20'0"	1	1-car 12'0" x 20'0"
4A	2-car 20'0" x 20'0"	2	2-car 20'0" x 20'0"
6C	2-car 20'0" x 20'0"	4B	2-car 20'0" x 20'0"
		5	2-car 20'0" x 20'0"
		6A	2-car 20'0" x 20'0"
		6B	2-car 20'0" x 20'0"
		6C	2-car 20'0" x 20'0"
		6D	2-car 20'0" x 20'0"

Required Parking Ratio	Required Parking Spaces
1.5 spaces per 1 BR unit	
2 spaces per 2+ BR unit	258
1 guest space per 3 DU's	60
<b>Total Parking Required</b>	<b>342</b>

	Parking Provided
Total Garage Spaces Provided	283
Open Guest Spaces (non-ADA)	44
Assigned Spaces	10
Outpost Spaces	5
Post Office Space	1
ADA Spaces	3
Electric Vehicle Charging Spaces	3
<b>Total Garage Spaces</b>	<b>283</b>
Total Guest Parking	56
Total Assigned Spaces	10
<b>Total Project Parking Provided</b>	<b>349</b>

- Notes:**
1. Site plan is for conceptual purposes only.
  2. Site plan must be reviewed by planning, building, and fire departments for code compliance.
  3. Base information per civil engineer.
  4. Civil engineer to verify all setbacks and grading information.
  5. Building Footprints might change due to the final design elevation style.
  6. Open space area is subject to change due to the balcony design of the elevation.
  7. Building setbacks are measured from property lines to building foundation lines.



**Conceptual Site Plan**

**943 E. BARHAM DR.**

SAN MARCOS, CA



SP-1  
 DESIGN REVIEW SUBMITTAL



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OCCUPANCY: R2  
 CONSTRUCTION TYPE: V8  
 SPRINKLER SYSTEM: Full 13

NOTE:  
 1. SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION  
 2. FLOOR PLANS WILL NEED FURTHER REFINEMENTS TO REFLECT ELEVATION DESIGN

3 PLEX ATTACHED HOMES | Conceptual Floor Plans

943 E. BARHAM DR.

SAN MARCOS, CA



A-1



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Three-Plex Floor Plans  
 Hallmark - Barham Specific Plan

Figure 2-3



Right



Rear



Left



Note: Artist's conception; colors, materials and application may vary.

Front

Color Scheme 3 Shown, Refer to Sheet CM-2

**BUILDING MATERIAL**

Roof:	"S" Tile
Exterior:	Stucco Finish, Fiber Cement Siding, Masonry
Accent Windows:	Stucco over Foam Trim with Accent Color
Deck Accents:	Fiber Cement Railing
Window & Door Trim:	Vinyl
Accents:	Decorative Tiles
Entry Door:	Decorative Front Entry Door
Garage Door:	Sectional Garage Doors

**3 PLEX ATTACHED HOMES | Conceptual Elevations**

**943 E. BARHAM DR.**

SAN MARCOS, CA



A-2

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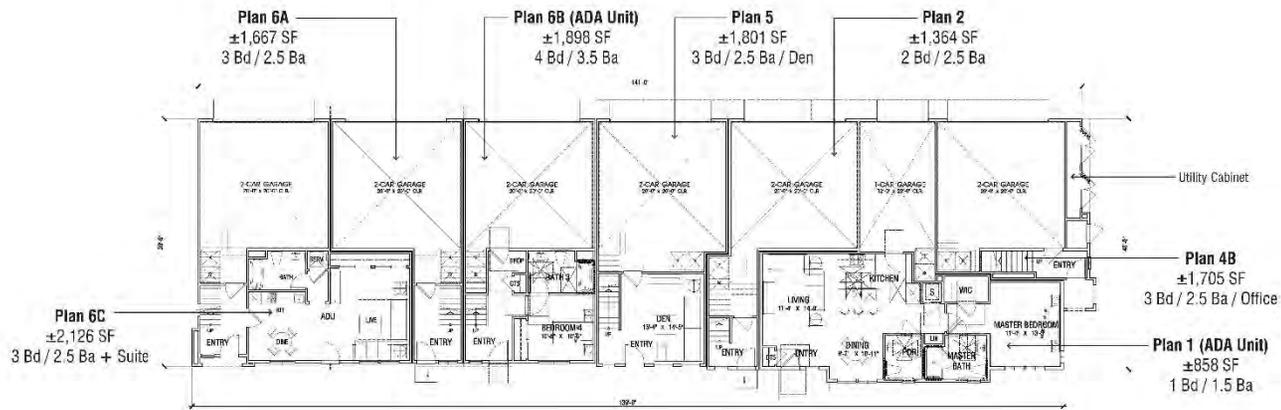


**Three-Plex Elevations  
Hallmark - Barham Specific Plan**

**Figure 2-4**



Second Floor



First Floor

OCCUPANCY: R2  
 CONSTRUCTION TYPE: V8  
 SPRINKLER SYSTEM: Full 13

- NOTE:  
 1. SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION  
 2. FLOOR PLANS WILL NEED FURTHER REFINEMENTS TO REFLECT ELEVATION DESIGN

7 PLEX ATTACHED HOMES | Conceptual Floor Plans

943 E. BARHAM DR.

SAN MARCOS, CA



A-3

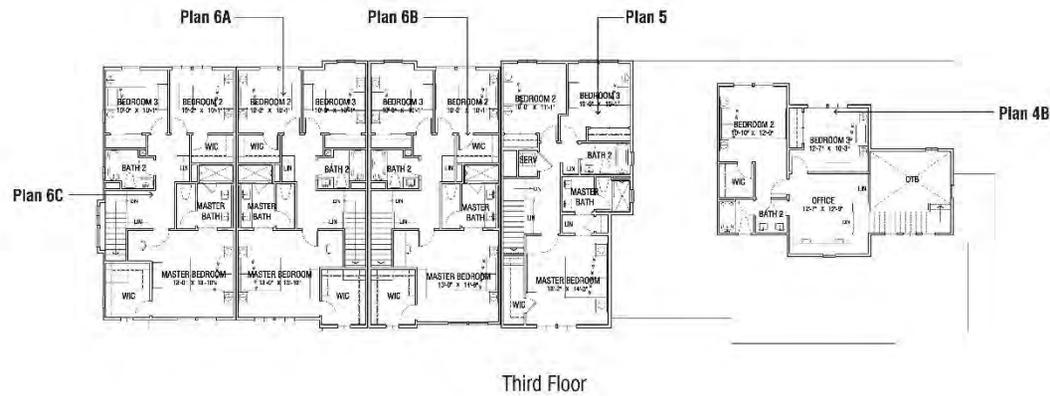
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Seven-Plex Floor Plans  
 Hallmark - Barham Specific Plan

Figure 2-5



7 PLEX ATTACHED HOMES | Conceptual Floor Plans

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A-4

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Seven-Plex Floor Plans (cont'd)  
Hallmark - Barham Specific Plan

Figure 2-6



Right



Rear



Alternate utility cabinet at interior buildings

Left



Note: Artist's conception; colors, materials and application may vary.

Front

Color Scheme 2 Shown, Refer to Sheet CM-1

**BUILDING MATERIAL**

- Roof: 18" Tile
- Exterior: Stucco Finish, Fiber Cement Siding, Masonry
- Accent Windows: Stucco over Foam Trim with Accent Color
- Deck Accents: Fiber Cement Railing
- Window & Door Trim: Vinyl
- Accents: Decorative Tiles
- Entry Door: Decorative Front Entry Door
- Garage Door: Sectional Garage Doors

**7 PLEX ATTACHED HOMES | Conceptual Elevations**

**943 E. BARHAM DR.**

SAN MARCOS, CA



A-5  
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**Seven-Plex Elevations  
Hallmark - Barham Specific Plan**

**Figure 2-7**



Right



Rear



Left  
Alternate Elevation Facing Barham Dr.



Note: Artist's conception; colors, materials and application may vary.

Front  
Color Scheme 1 Shown, Refer to Sheet CM-1

7 PLEX ATTACHED HOMES | Conceptual Elevations (Alternate)

943 E. BARHAM DR.  
SAN MARCOS, CA



A-5.1  
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Seven-Plex Elevations- Alternate  
Hallmark - Barham Specific Plan

Figure 2-8

**2.3.3. Building Materials, Accents, and Colors**

Materials and building colors are key factors for each building within the Hallmark-Barham Specific Plan Area, but they also contribute to the community’s character. Materials must be selected which are appropriate for each façade and contribute to enhancing the neighborhoods visual theme. Colors and materials should complement each other, and they should match the theme of the specific style of home to which they are applied. In addition, materials and colors for the homes within the Hallmark-Barham Specific Plan Area should not clash significantly with materials and colors of surrounding developments but should complement those neighboring developments and add depth to the community. The following table outlines materials, which are proposed within the Specific Plan Area, however alternative materials may be allowed so long as they are determined to be acceptable by the Development Services Department. A table of materials appropriate to the proposed architectural styles for this development is included below (**Table 2-4, Building Materials and Colors**).

**Materials** – Buildings within the Hallmark-Barham Specific Plan Area will utilize materials such as, but not limited to wood, stucco, and brick. Decorative metal accents and trims are acceptable within the Specific Plan Area as well as decorative tiles.

**Colors** – Building color is an integral component of any community and helps unify building elements of each specific architectural style, creates variation of streetscape, and builds on the foundation of the community’s character. Color palettes should be carefully chosen through available color product lines to achieve a reasonable representation of a particular architectural style lending authenticity to the final product. Specific colors should be chosen to complement architectural materials and features. The following bullets outline the goals for color use within the Specific Plan Area:

- Colors palettes should vary for building types within the Specific Plan Area to improve the visual interest of streetscapes,
- Avoid the use of identical color palettes where possible for adjacent buildings,
- Deep to light valued earth and natural tones colors are preferred for exterior walls,
- Accents should implement the use of colors which complement the palette of the main structure; and
- Each building façade should present several colors to create variation.

*Table 2-4 Building Materials and Colors*

Materials	Colors
Wood	Whites
Brick	Brown, Beige, and/or tans
Decorative Ceramic Tile	Gray tones
Stucco	Bronze tones
Concrete “S” Roof Tiles	

#### **2.3.4. Heights and Stories**

Building heights and stories add variation and depth to the street scene of residential developments. Builders should reference the following design parameters as well as the types of materials needed for residential product design to conform to the following standards. Any multi-family residential product proposed for the Hallmark-Barham Specific Plan Area must not exceed 40 feet or three stories in height.

#### **2.3.5. Density**

The principal residential land use within the Hallmark-Barham Specific Plan Area would be classified as Medium Density Residential 1 (MDR1). The Hallmark-Barham Specific Plan Area includes 151 units on 10.6-acres of land for a total gross density of 14.3 du/acre, which is consistent with The City of San Marcos' MDR1 General Plan Land Use classification, 12.1-15.0 du/acre.

#### **2.3.6. Massing and Scale**

Massing and scale provide the visual identity between residential dwelling units and the environment. Those qualities help dictate the placement, size, and form for multi-family residential buildings within the Specific Plan Area. Building type placement within the Specific Plan Area was studied to achieve the best possible groupings as well as providing transition massing between the neighboring mobile homes and industrial structures, thereby enhancing the visual character of the neighborhood. Incorporation of the following design concepts should be considered for the architecture within the Specific Plan Area:

- Utilize building-form massing elements, such as angles, towers, and other building elements to distinguish architecture,
- Vertically and horizontally articulate building design for both front and rear elevations through architectural design elements such as, but not limited to, windows, and off-set roof planes,
- Use second floor massing changes to create variation in the building form; and
- Where possible avoid the use of long unbroken surfaces.

#### **2.3.7. Building Setbacks**

Applicable setbacks for multi-family development within the Plan area include setbacks from Barham Drive, interior/private driveway setbacks to individual buildings, private alley setbacks to individual buildings, parking setbacks to Barham Drive, and building separation.

Table 2-5 Building Setbacks

Development Standard	Minimum Setback
Barham Drive	35' to PL
Interior/Private driveways (Interior PL)	0'
Alley	5'
Building (adjacent to separate lot or zone)	10'
Parking (any property line)	8'
Building Separation	10'

**2.3.8. Parking**

Garage and visitor parking is a vital component for residential projects. Garages provide off-street parking freeing up valuable street parking space for visitors while protecting residents' vehicles from the elements, as well as providing space to store waste receptacles. Each multi-family residential dwelling unit within the Hallmark-Barham Specific Plan Area will provide at the minimum, a two-car garage with the exception of Plan 1 units, which are 1-car garage spaces. Proposed garage dimensions for dwelling units in the Specific Plan Area are a minimum of 20-feet by 20-feet with the exception of Plan 1 units which are 12-feet by 20-feet. Accurate dimensions for each plan type are provided below in **Table 2-6**. Each garage will be pre-wired for electric vehicle charging stations. The Specific Plan Area will provide 56 visitor parking spaces. Of those, 3 will be ADA spaces and 3 electric vehicle charging station will be provided to accommodate and ADA space and a non-ADA space.

Table 2-6 Garage & Parking Standards

3-Plex Bldg. Garage Standards		7-Plex Bldg. Garage Standards	
Plan Type	Garage Standard	Plan Type	Garage Standard
3	2-car 20'0" x 20'0"	1	1-car 12'0" x 20'0"
4A	2-car 20'0" x 20'0"	2	2-car 20'0" x 20'0"
6D	2-car 20'0" x 20'0"	4B	2-car 20'0" x 20'0"
		5	2-car 20'0" x 20'0"
		6A	2-car 20'0" x 20'0"
		6B	2-car 20'0" x 20'0"
		6C	2-car 20'0" x 20'0"
<b>Required Parking Ratio</b>		<b>Required Parking Spaces</b>	
1.5 spaces per 1 BR unit		293	
2 spaces per 2+ BR unit			
1 guest space per 3 DUs		50	
<b>Total Parking Required</b>		<b>342</b>	
<b>Parking Provided</b>			
<b>Total Garage Spaces Provided</b>		283	
<b>Open Guest Spaces (non-ADA)</b>		44	
<b>Assigned Spaces</b>		10	
<b>Compact Spaces</b>		5	
<b>Post Office Space</b>		1	
<b>ADA Spaces</b>		3	
<b>Electric Vehicle Charging Spaces</b>		3	
<b>Total Garage Spaces</b>		<b>283</b>	
<b>Total Guest Parking</b>		<b>56</b>	
<b>Total Assigned Spaces</b>		<b>10</b>	
<b>Total Project Parking Provided</b>		<b>349</b>	

<sup>1</sup>Electric Vehicle charging station spaces are included as part of the Open Spaces and ADA spaces.

### 2.3.9. Open Space

Recreational and open spaces are important components to any development. These areas provide opportunities for relaxation and exercise, thereby enhancing the quality of life for the community. The Hallmark-Barham Specific Plan Area features a variety of evenly distributed and strategically placed active and passive outdoor recreational opportunities. The open spaces were designed to accommodate residents throughout the Specific Plan Area. By distributing open space and recreational areas in carefully chosen locations throughout the site, the Specific Plan was able to accommodate residents by locating amenities within a short walk, thereby maximizing community accessibility.

The Plan area provides sub-categories to passive and active open space to include: Common open space area with grades 10% or greater, common open space area with grades less than 10%, private open space, and biological retention areas. Total open space for the Specific Plan Area is approximately 5.35-acres; the first category mentioned is common open space with grades of 10% or greater. This category is by definition according to the City of San Marcos Zoning Ordinance, open space, which cannot be counted as usable open space. This category includes open space features such as landscaping, slopes, and biological retention areas, although for purposes of this section biological retention areas are classified separately. Common open space area with grades less than 10% include usable open space areas, which encourage relaxation activities such as observing nature, bird watching, painting, photography,

and picnicking as well as recreational open space areas such as open turf area, bocce ball courts, recreational building & facilities, tot lots, playgrounds, open turf areas, and fire pits. This category of open space encourages an active lifestyle, which promotes physical activity and community areas and will create additional outdoor opportunities for residents of the community to enjoy a healthy lifestyle. The third sub-category is private open space provided for each dwelling unit with ground for living space. This category will be discussed in further detail in Section 2.3.9.1. The final sub-category of open space, biological retention areas, are passive open space areas which are used to direct water during rain events to control for flooding and to treat water before its discharged from the site. Open space categories are clarified on **Figure 2-9, Conceptual Open Space Exhibit**.

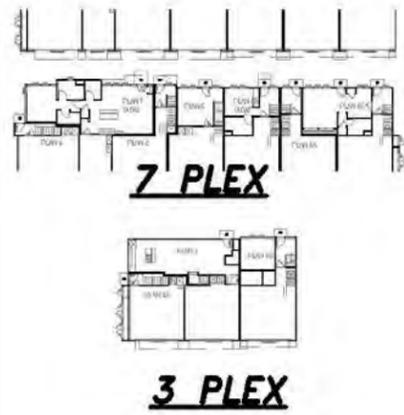
#### **2.3.9.1. Common Area Open Space**

The Hallmark-Barham Specific Plan provides five common-area recreation spaces totaling 10,742-sq. ft., inclusive of multi-age play areas, tot lots, seating, barbeque stations, open turf areas, and patio areas (**Figure 2-10** through **Figure 2-11**). The recreation facilities provided within the Plan area were carefully chosen to facilitate usage for all age groups that may reside within the Specific Plan Area. These amenities will allow residents to fully enjoy their community while also maintaining an active and healthy lifestyle.

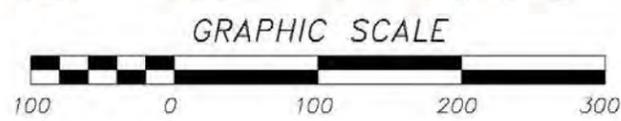
BARHAM DRIVE, SAN MARCOS, CA.

**LEGEND**

- BOUNDARY LINE 
- RIGHT-OF-WAY 
- CENTERLINE 



OPEN SPACE REQUIREMENTS		
	PROVIDED	REQUIRED
	SQ. FT.	
TOTAL AREA (GROSS)	476,378	-
TOTAL AREA (AFTER DEDICATION)	459,757	-
COMMON OPEN SPACE AREA WITH GRADES 10% OR GREATER	134,776	-
COMMON OPEN SPACE AREA WITH GRADES LESS THAN 10%	64,913	37,010
PRIVATE OPEN SPACE PATIOS/DECKS	26,390	25,150
BASIN	6,764	-
RECREATIONAL AREAS	10,742	2,400



Plotted: 4/28/2021 2:45 PM D:\75051 BARHAM DRIVE\03 DWG\EXISPECIFIC PLAN EXHIBITS\75052EX07 OPEN SPACE.DWG - mguarri

75052.35

Conceptual Open Space Exhibit  
Hallmark - Barham Specific Plan

Figure 2-9

The Specific Plan proposes to provide five recreational open space areas. The Specific Plan Area’s 3,564 sq. ft. primary recreation area will provide residents with amenities such as a barbeque counter and patio space, a bocce ball court, tot lot with seating, and open turf area. Excluding the tot lot, other recreational amenities within the primary recreation area may be substituted to make room for a pool. A multi-age recreation area has been established adjacent to Building 12 includes a multi-age play structure, open turf area, and bench seating and totals 2,345 sq. ft. A 1,805 sq. ft. amenity space adjacent to Building 1 will include a dog wash station, open turf areas, enhanced paving, and tables with seating. A 1,552 sq. ft. overlook tot lot area provided adjacent to Building 17 includes features such as a tot lot, firepit with seating, walkways, and bench seating. Lastly, a 1,476 sq. ft. recreation area will be sited at the southeast portion of the Specific Plan Area and will include amenities such as open turf area and a dog wash station. These recreational facilities have been strategically placed throughout the Specific Plan Area and will provide residents with relaxation opportunities and communal gathering space where they can enjoy time with friends, family, and neighbors. Overall, the Specific Plan provides four tot lots totaling 4,643 sq. ft.

Table 2-7 Common Recreational Open Space Amenities

Open Space Amenity	Approximate Square Footage	Amenities Provided
<b>Primary Recreation Area</b>	3,564	Recreational Building (1,685 sq. ft.) Firebowl with Seating Barbeque Counter & Patio Space Bocce Ball Court Tot Lot with Seating Pool (optional amenity) <sup>1</sup>
<b>Primary Tot Lot Bldg. 12</b>	2,345	Multi-Age Play Area Bench Seating Open Turf Area
<b>Amenity Space Bldg. 1</b>	1,805	Enhanced Paved Patio Area Tables with Seating Open Turf Area Dog Wash
<b>Overlook &amp; Tot Lot Area Bldg. 17</b>	1,552	Bench Seating Firepit with Seating Tot Lot
<b>Amenity Space Bldg. 25</b>	1,476	Tot Lot Open Turf Area
<b>Total</b>	<b>10,742</b>	

<sup>1</sup>Excluding the tot lot, other recreational amenities in the Primary Recreation Area may be substituted with a pool.

**REC AREA**

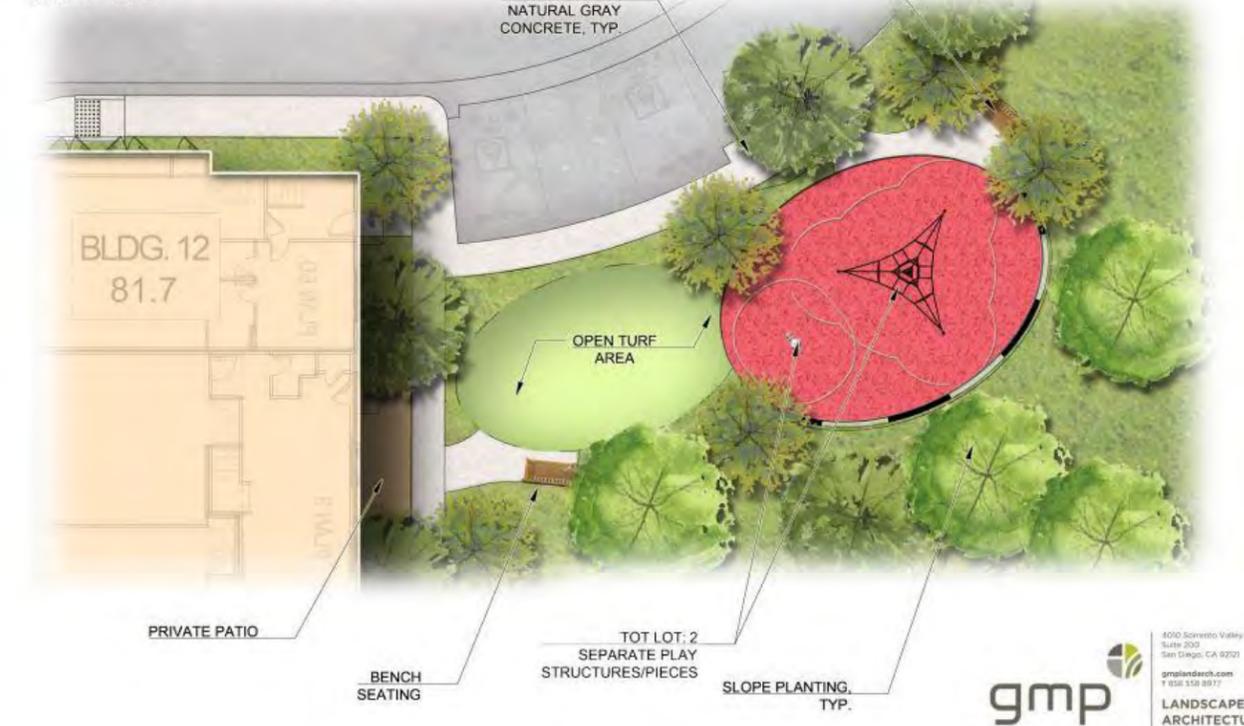
SCALE: 1" = 10' - 0"



4010 Sorenson Valley Blvd  
Suite 200  
San Diego, CA 92121  
gmplandscape.com  
760.538.8977  
**gmp**  
LANDSCAPE ARCHITECT & PLANNING

**PRIMARY TOT LOT**

SCALE: 1" = 10' - 0"



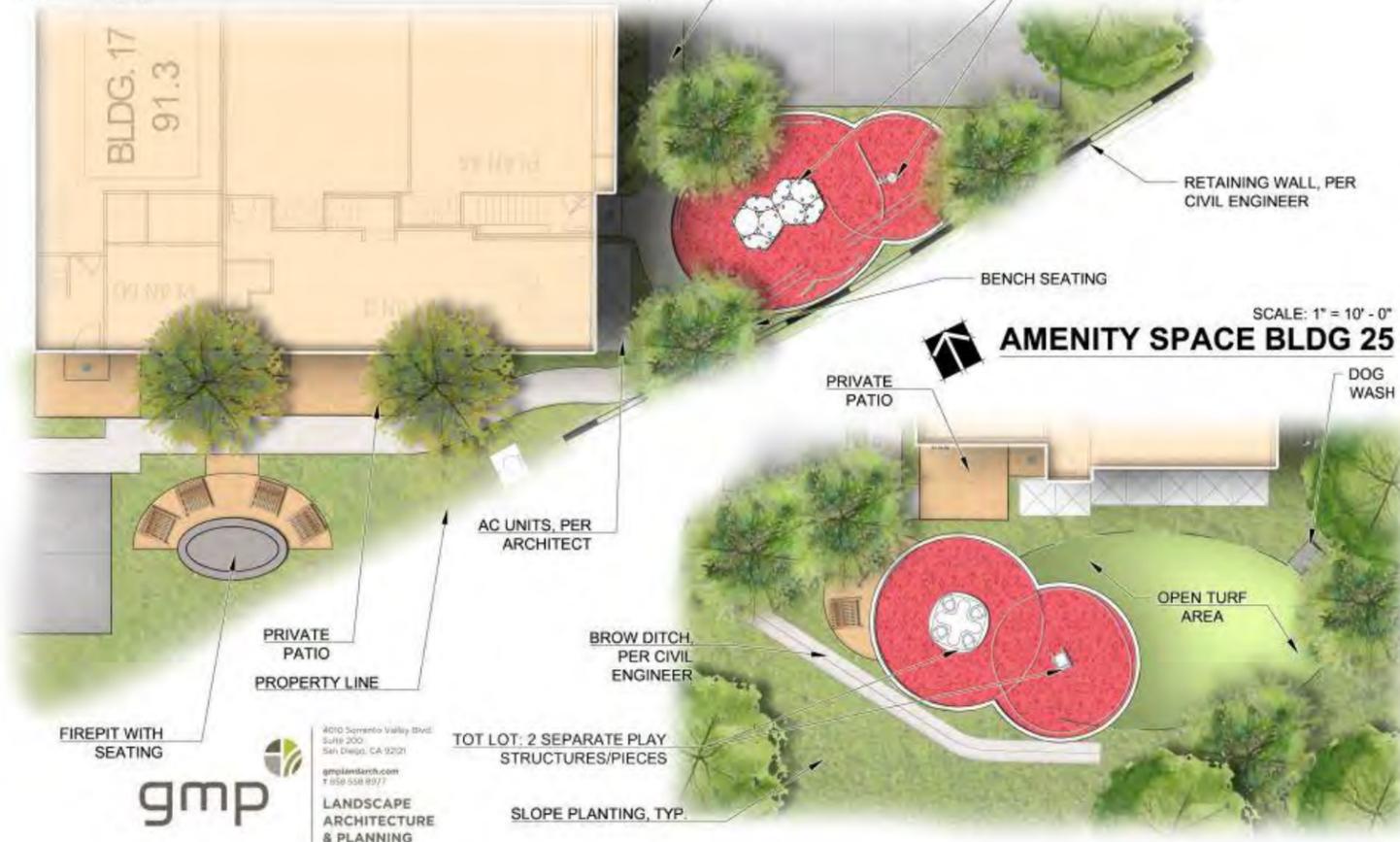
4010 Sorenson Valley Blvd  
Suite 200  
San Diego, CA 92121  
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760.538.8977  
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Recreational Amenities  
Hallmark - Barham Specific Plan

Figure 2-10

**OVERLOOK AND SMALL TOT LOT AREA**

SCALE: 1" = 10' - 0"



**AMENITY SPACE BLDG 1**

SCALE: 1" = 10' - 0"



Recreational Amenities (cont'd)  
Hallmark - Barham Specific Plan

Figure 2-11

### 2.3.9.2. Private Open Space

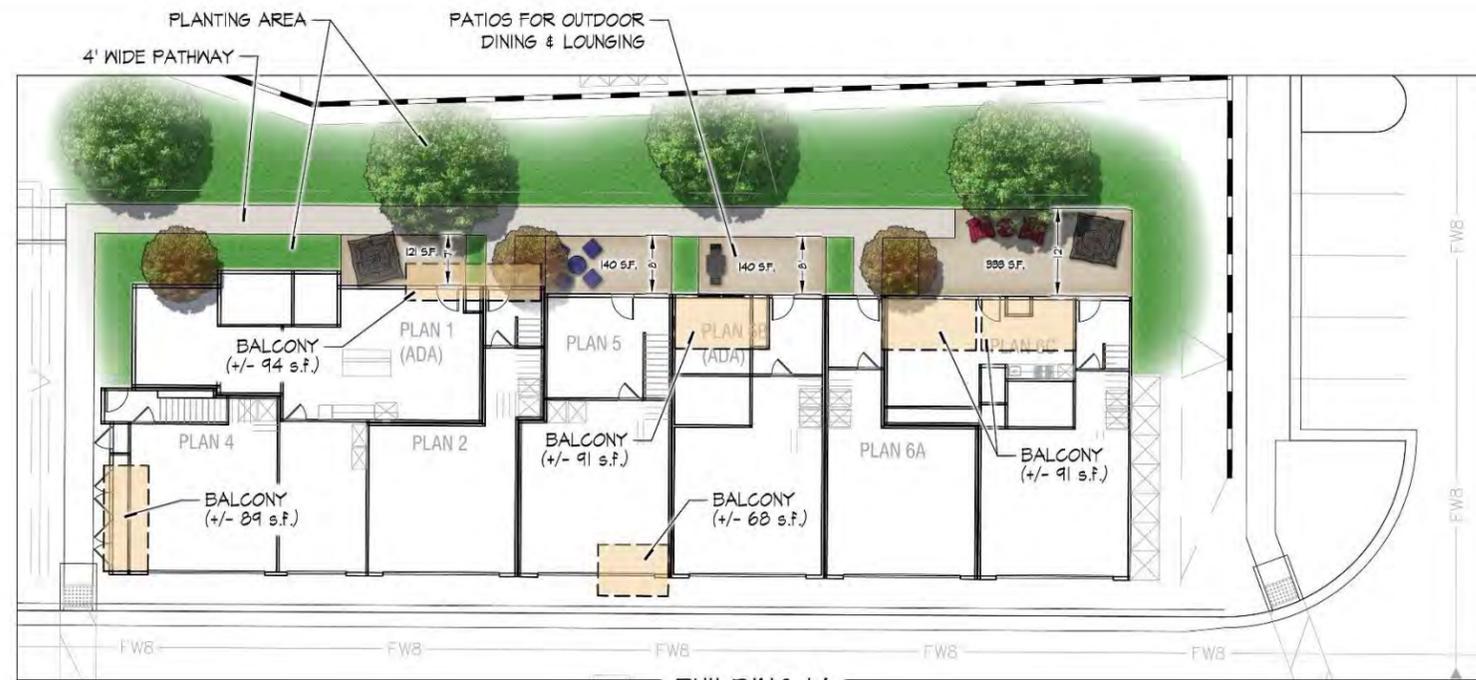
Private open space within the Specific Plan Area consists of private patio space and private balcony/deck space. The City of San Marcos requires each unit with ground floor living must provide 250 sq. ft. of private open space. Units with living space on the second floor and above must provide 50 sq. ft. of private open space in the form of decks or balconies. There are a total of 88 units within the Specific Plan Area that include ground floor living space and 63 units with living area on the second floor or above. Therefore, according to the City of San Marcos Zoning Ordinance, the units with ground floor living would be required to provide 22,000 sq. ft. of private patio space and the units with living space on the second floor and above would be required to provide approximately 3,150 sq. ft. of balcony/deck space. Combined, the minimum private open space required within the Specific Plan Area equates to 25,150 sq. ft. The project provides 26,390 sq. ft. of private open space.

Private open space within the Specific Plan Area should be designed to provide an open atmosphere that is inviting of social interactions with neighbors. Therefore, a series of paseo's have been incorporated between buildings, which are bounded by private open space patios delineated by tubular steel fencing and living hedges thereby encouraging neighbors to interact and socialize. This design serves a second purpose in that it precludes the usage of private patios as storage areas that can become cluttered and unsightly. This unique design provides less private patio space for some units than the 250 sq. ft. minimum required per the Municipal Code, however some dwelling units provide private balcony/deck spaces which exceed the 50 sq. ft. minimum requirement. Overall, the average private patio space provided in the Specific Plan equates to 26,390 sq. ft. which exceeds the 25,150 sq. ft. minimum.

The Specific Plan Area's private open space concept is designed to suit individual homeowners' private outdoor space needs and allows for variation in dwelling unit design, cost, and space as well as providing the Specific Plan Area with a unique outdoor living space concept that can be enjoyed by residents and visitors. Table 2-4 provides details on the private open space provided for the Specific Plan Area.

**Table 2-8 Private Open Space**

Plan	Unit total	Deck Included?	Total Deck sq. ft.	Patio Included?	Total Patio sq. ft.	Total Deck + Patio sq. ft.	Per/Unit Avg.
Plan 1	19	No	n/a	Yes	2,340	2,340	123
Plan 2	19	Yes	1,786	No	n/a	1,786	94
Plan 3	6	No	n/a	Yes	976	976	163
Plan 4A	6	Yes	534	Yes	478	1,012	169
Plan 4B	19	Yes	1,691	Yes	1,512	3,203	169
Plan 5	19	Yes	1,292	Yes	2,115	3,407	179
Plan 6A	19	Yes	1,729	No	n/a	1,729	91
Plan 6B	19	Yes	1,729	Yes	2,327	4,056	213
Plan 6C	19	Yes	1,729	Yes	5,140	6,869	362
Plan 6D	6	Yes	546	Yes	466	1,012	169
<b>Total</b>	<b>151</b>		<b>11,036</b>		<b>15,354</b>	<b>26,390</b>	<b>175</b>



**BUILDING 14**

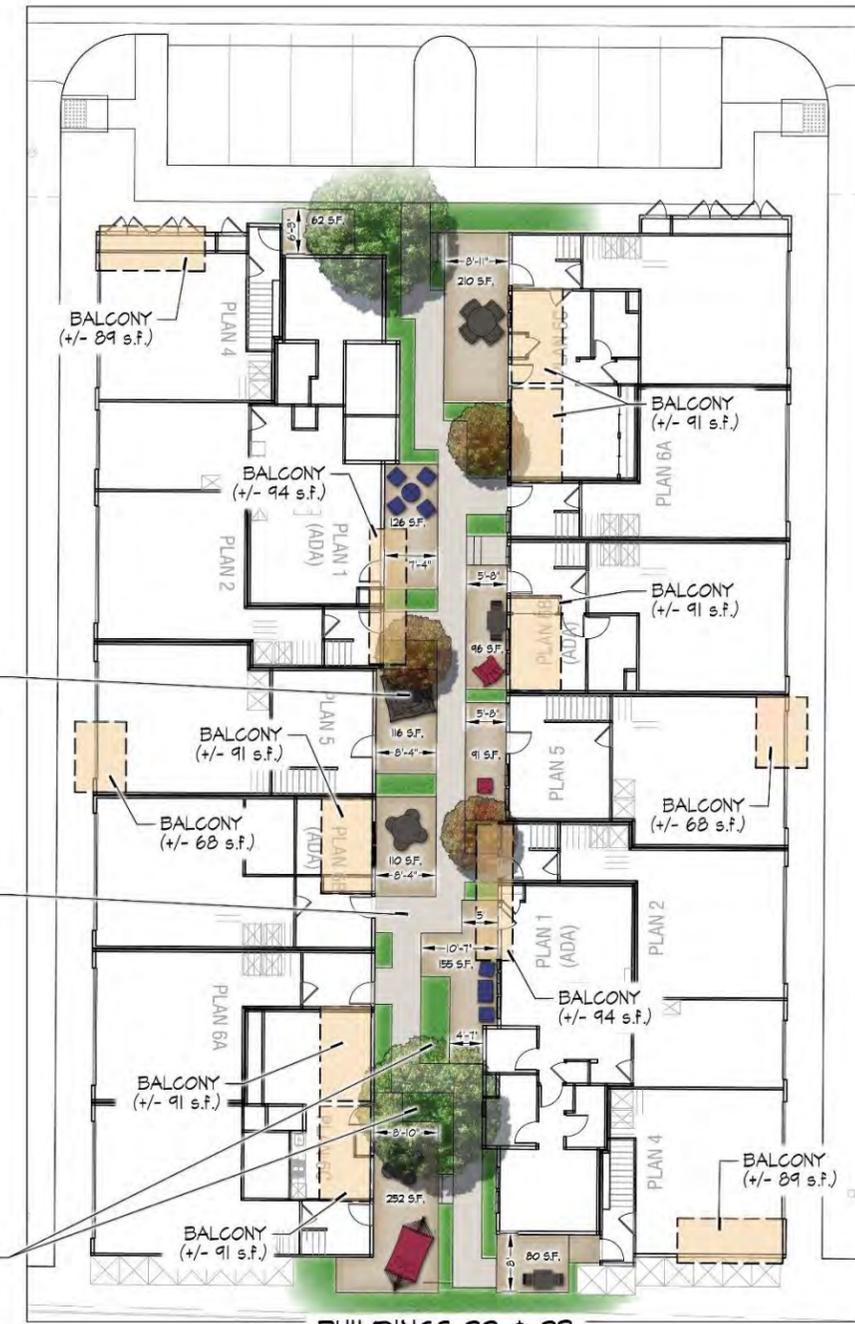


**BUILDING 11**

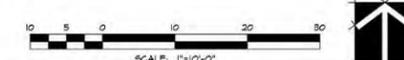
PATIOS FOR OUTDOOR DINING & LOUNGING

4' WIDE PATHWAY

PLANTING AREA



**BUILDINGS 22 & 23**



**BARHAM DRIVE:** SAN MARCOS, CA  
**HALLMARK COMMUNITIES**  
 740 LOMAS SANTA FE DR., SUITE 204  
 SOLANA BEACH, CALIFORNIA, 92075

**PATIO EXHIBIT**

**gmp**  
 4010 Sorrento Valley Blvd.  
 Suite 200  
 San Diego, CA 92121  
 gmplandarch.com  
 T 858 558 8977  
**LANDSCAPE ARCHITECTURE & PLANNING**

MAY 18, 2020  
 GMP JOB# 20-010

Private Paseo Concept  
 Hallmark - Barham Specific Plan

Figure 2-12

## 2.4. Landscape Design Guidelines

Along with architecture, landscaping helps form an identity and theme for development. Landscaping must be carefully considered to meld architecture with the landscape to form an attractive neighborhood, which is both functional and water efficient. To assure development of an attractive and cohesive community the following landscape guidelines have been provided. A landscape concept for the project can be seen on **Figure 2-13, Landscape Concept Plan**. Developers and/or builders will use the following information on the design, materials, lighting, and themes, which shall be incorporated into the Hallmark-Barham Specific Plan Area. Although provided, the following information should be considered conceptual in nature. Minor changes may be necessary due to changing material guidelines, design theme modifications, or changes to State or local regulations. Final landscape design shall be approved by City of San Marcos Development Services Department.

Irrigation within the Specific Plan Area shall utilize the following:

- Install automatic controllers which feature evapotranspiration or moisture sensing data, with manual and automatic shut-off,
- Low volume heads, subsurface irrigation system designed to prevent runoff, low head drainage, and overspray,
- Group plants by hydrozones and irrigate hydrozones separately.

### 2.4.1. Plant Material Guidelines

The Plant Material Guideline provided below in **Table 2-9** is intended to provide developers and/or builders of the Hallmark-Barham Specific Plan Area with guidelines for landscape plantings of locations such as entries, streetscapes, and common open space areas. Plant materials selected for the project area should be chosen based on a multitude of factors and should strengthen the overall character of the community.

Plants used in the Hallmark-Barham Specific Plan will be subdivided into two categories. The first category includes residential landscaping, while the second category covers slope plantings. These plants will conform to the City of San Marcos' requirement to utilize drought tolerant and California native plant palettes when designing and implementing landscaping on all projects in the City of San Marcos. Landscaping within the Plan area has been designed to use specific plants in certain areas of the landscaping. These plants and the applicable planting areas are defined in **Table 2-9**.

All plants and trees included on the Hallmark-Barham Specific Plan Plant Material Guidelines have been chosen for their appropriateness to the Specific Plan Area theme, local climate tolerance, soil conditions, and level of maintenance intensity. The selected plants are well suited to the local soils and have proven to flourish within the project area's climate and are consistent with AB 1881 requirements and the City of San Marcos Water Efficient Landscape Ordinance (WELO) and Municipal Code, Title 20. The plant materials are tolerant of a wide range of temperatures and require very little water consumption. No non-native invasive plant

species shall be used per the California Exotic Pest Plant Council List A-1 and California Invasive Plant Council (Cal-IPC). All street trees planted within 10' of public improvements shall have root barriers.

This Plant Material Guidelines should be considered fluid and subject to change, with final approval determined by the City of San Marcos Development Services Department. Should changes be necessary to the Plant Material Guidelines, the newly selected plants and trees should be similar in tolerance and water usage to the conceptual list provided. If those requirements are met, any proposed changes to the Plant Legend shall be considered minor. Details on any proposed changes to the Plant Legend are provided in Chapter 7, Amendments and Implementation.



**DESIGN INTENT STATEMENT**

THE LANDSCAPE DESIGN INTENT OF THIS PROJECT IS TO PROVIDE PLANT MATERIAL THAT ACCENTS AND FRAMES THE ARCHITECTURE AND ENHANCES THE PEDESTRIAN SCALE OF THE PROJECT. STREET TREES ARE CONSISTENT WITH SURROUNDING AREAS AND WILL BE USED TO PROVIDE CONTINUITY THROUGHOUT THE ADJACENT COMMUNITY. THE PLANT MATERIALS THAT HAVE BEEN SELECTED WERE DONE SO FOR THEIR LOW WATER USE QUALITIES. ADDITIONALLY, THE IRRIGATION SYSTEM WILL BE DESIGNED IN COMPLIANCE WITH THE CITY OF SAN MARCOS WATER EFFICIENT LANDSCAPE ORDINANCE. IT WILL USE A RAIN SENSING CONTROLLER AND BE ADJUSTABLE SO AS NOT TO WASTE WATER THROUGH RUNOFF OR OVERSPRAY.

BIO FILTRATION UNIT, PER CIVIL ENGINEER'S PLANS  
 PRIMARY TOT LOT ENLARGEMENT: SEE SHEET L-02

**PLANTING NOTES**

- NOTES:
- NO STRUCTURES OR LANDSCAPING THAT WOULD INHIBIT VEHICULAR ACCESS SHALL BE INSTALLED IN OR OVER ANY SEWER ACCESS EASEMENT.
  - SHRUBS TO BE PLANTED AT EXISTING TRANSFORMERS IN FORM OF SCREEN MULCH
- ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A DEPTH OF 4 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.

NOTE:  
 TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 10 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.

IRRIGATION - AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE. THE INTENDED IRRIGATION SYSTEM WILL BE A DRIP SYSTEM.

ALL ON-SITE LANDSCAPE SHALL BE MAINTAINED BY THE PROJECT HOA. THE EXISTING RIGHT OF WAY PLANTING AND IRRIGATION ALONG BARHAM DR SHALL BE MAINTAINED BY THE CITY CFD.

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN MARCOS LANDSCAPE REGULATIONS, LANDSCAPE STANDARDS AND WATER EFFICIENT LANDSCAPE ORDINANCE; THE CORE SUB-AREA DESIGN MANUAL, AND ALL OTHER STATE STANDARDS.

- PROPERTY LINE
- MINIMUM TREE SEPARATION DISTANCE**
- TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
  - UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
  - ABOVE GROUND UTILITY STRUCTURES - 10 FEET
  - DRIVEWAY (ENTRIES) - 10 FEET
  - INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

- ADDITIONAL NOTES**
1. LANDSCAPE PLANS SHALL BE DESIGNED TO COMPLY WITH THE CITY OF SAN MARCOS WATER EFFICIENCY LANDSCAPE ORDINANCE (WELO) CHAPTER 20.330
  2. TOTAL S.F. OF PROPOSED LANDSCAPE AREA: 129,581 S.F.

**COMPLIANCE STATEMENT**

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE REGULATIONS AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

DATE: 4/28/21

REGISTRATION NO. 3309 EXP. 03-2023

**SHEET INDEX:**

LANDSCAPE CONCEPT PLAN	L-01
LANDSCAPE CONCEPTUAL ENLARGEMENTS	L-02 TO L-03
CONCEPTUAL DETAILS & PRELIMINARY WATER CALCULATIONS	L-04
CONCEPTUAL FENCE AND WALL PLAN	L-05



REVISIONS

1ST SUBMITTAL	03-02-21
2ND SUBMITTAL	10-06-20
3RD SUBMITTAL	12-31-20
4TH SUBMITTAL	04-27-21

DATE: 4/28/21

APPROVER: JH

PLOT DATE: 4/28/2021

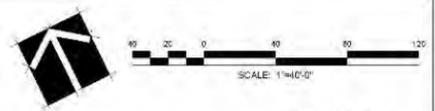
JOB NO.: 201411

SCALE: SEE SHEET

L-01

**BARHAM DRIVE: SAN MARCOS, CA**  
**HALLMARK COMMUNITIES**  
 740 LOMAS SANTA FE DR., SUITE 204  
 SOLANA BEACH, CALIFORNIA, 92075

**LANDSCAPE CONCEPT PLAN**



**gmp**

3170 Lomas Ave  
 Suite 100  
 Carlsbad, CA 92008  
 gmplandscape.com  
 T: 619 358 8977

**LANDSCAPE ARCHITECTURE & PLANNING**

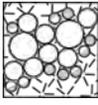
SHEET 01 OF 05

**Landscape Concept Plan**  
**Hallmark - Barham Specific Plan**

**Figure 2-13**

Table 2-9 Plant Material Guideline

Tree Symbol From Landscape Exhibit	<u>Location/Species/Specifications</u>		
	<b><u>COURTYARD</u></b> MAX SPREAD 15' / MAX HEIGHT 20'		
	CHILOPSIS LINEARIS `ARTS SEEDLESS` / DESERT WILLOW RHAPHIOLEPIS INDICA `MAJESTIC BEAUTY` TM / MAJESTIC BEAUTY INDIAN HAWTHORN UMBELLULARIA CALIFORNICA / CALIFORNIA LAUREL		
	<b><u>COLUMNAR</u></b>		
	CUPRESSUS SEMPERVIRENS `STRICTA` / COLUMNAR ITALIAN CYPRESS PODOCARPUS GRACILIOR / FERN PINE		
	<b><u>COMMON AREAS/ACCENT</u></b> MAX SPREAD 20' / MAX HEIGHT 25'		
	CERCIS OCCIDENTALIS/WESTERN REDBUD OLEA EUROPAEA / EUROPEAN OLIVE PARKINSONIA ACULEATA / MEXICAN PALO VERDE RHUS LANCEA / AFRICAN SUMAC MULTI-TRUNK		
	<b><u>SLOPE</u></b> MAX SPREAD 20' / MAX HEIGHT 20'		
	ARBUTUS UNEDO / STRAWBERRY TREE MULTI-TRUNK MELALEUCA LINARIIFOLIA / FLAXLEAF PAPERBARK QUERCUS AGRIFOLIA / COAST LIVE OAK RHUS LANCEA / AFRICAN SUMAC MULTI-TRUNK		
	<b><u>PALMS</u></b> MAX SPREAD 40' / MAX HEIGHT 50'		
	PHOENIX CANARIENSIS / CANARY ISLAND DATE PALM PHOENIX DACTYLIFERA `MEDJOO` / DATE PALM		
	EXISTING TREE TO REMAIN		
	<b><u>SHRUB (MEDIUM)</u></b>		
	BOUGAINVILLEA X `TEMPLE FIRE` / BOUGAINVILLEA CALLISTEMON VIMINALIS `LITTLE JOHN` / DWARF WEEPING BOTTLEBRUSH CARISSA MACROCARPA / NATAL PLUM LIGUSTRUM JAPONICUM `TEXANUM` / WAX LEAF PRIVET MYRTUS COMMUNIS / COMMON MYRTLE PITTOSPORUM CRASSIFOLIUM / KARO PITTOSPORUM ROSMARINUS OFFICINALIS `TUSCAN BLUE` / TUSCAN BLUE ROSEMARY	<b><u>WUCOLS</u></b> L L M M M M L	
	<b><u>GRASS</u></b>		
	CAREX PRAEGRACILIS / SLENDER SEDGE CHONDROPETALUM TECTORUM / CAPE RUSH FESTUCA SISKIYOU BLUE / BLUE FESCUE MUHLENBERGIA CAPILLARIS `REGAL MIST` TM / MUHLY	L M L L	
	<b><u>ACCENT SHRUB</u></b>		
	AGAVE ATTENUATA / AGAVE AGAVE VILMORINIANA / OCTOPUS AGAVE ALOE BAINESII / ALOE ALOE GLAUCA / ALOE ALOE SPICATA / LEBOMBO ALOE ANIGOZANTHOS X `BUSH GOLD` / KANGAROO PAW DASYLIRION WHEELERI / GREY DESERT SPOON		L L L L L L M

Tree Symbol From Landscape Exhibit	Location/Species/Specifications	
	PHORMIUM X `DARK DELIGHT` / PURPLE FLAX	
	<b>SHRUB (SMALL)</b>	
	DIANELLA TASMANICA `VARIEGATA` / FLAX LILY DIETES BICOLOR / FORTNIGHT LILY LOMANDRA LONGIFOLIA `BREEZE` / DWARF MAT RUSH	M M M
	<b>SLOPE SHRUBS</b>	
	ARCTOSTAPHYLOS HOOKERI / HOOKER`S MANZANITA CEANOTHUS CUNEATUS / BUCKBRUSH CEANOTHUS GRISEUS HORIZONTALIS `YANKEE POINT` / CALIFORNIA LILAC M CEANOTHUS PROSTRATUS / SQUAW CARPET CISTUS LAURIFOLIUS / ROCKROSE CISTUS X PURPUREUS / ORCHID ROCKROSE ENCELIA CALIFORNICA / CALIFORNIA ENCELIA ESCALLONIA FRADESII / ESCALLONIA LANTANA MONTEVIDENSIS / TRAILING LANTANA LEPTOSPERMUM SCOPARIUM `RUBY GLOW` / RED NEW ZEALAND TEA TREE LIGUSTRUM JAPONICUM / JAPANESE PRIVET RHAPHIOLEPIS INDICA `CLARA` / INDIAN HAWTHORN RHUS INTEGRIFOLIA / LEMONADE BERRY	L L M L L L L M L M M L L
	<b>SLOPES</b>	
	<b>WATER QUALITY BASINS</b>	
	BACCHARIS PILULARIS `TWIN PEAKS` / TWIN PEAKS COYOTE BRUSH MYOPORUM PARVIFOLIUM `PUTAH CREEK` / PUTAH CREEK MYOPORUM ROSMARINUS OFFICINALIS `PROSTRATUS` / DWARF ROSEMARY	L L L
	<b>TURF</b>	
	M	

WUCOLS = Water Use Classification of Landscape Species

### 2.4.2. Walls, Fences, and Entry Monuments

Walls, fences, and monuments within the Specific Plan Area are functional boundaries framing outdoor spaces and complementary pieces of the landscape design. Walls, fences, and monuments create partitions between private open space, screen the development from roadways, reduce noise from roadways, and enhance the overall site design. A general overview of wall and fence locations can be seen on **Exhibit 2-14**.

**Walls and Fencing** – Generally walls and fences within the Plan area are designed to function in three ways; they shall act as aesthetic boundaries for open space, sound attenuation, or retaining barriers along roadways or lots, fencing around recreational areas, and as privacy fencing between private open space for multi-family dwelling units. Fence and wall types allowed within the Specific Plan Area include tubular steel, split face block/earth-tone color, living hedge with tubular steel gate, wood, or vinyl privacy fencing. Walls and fences should also be designed in such a way as to become a visual amenity, compatible with the surrounding natural landscapes colors and materials. Wall and fence materials may be substituted with other wall and fence types and materials upon review and approval by the Development Services Department.

**Walls** – Standard masonry walls and masonry retention walls are suitable as retaining walls in areas where engineering requires more stability and strength. Masonry retaining walls should be split face block. Retaining walls may incorporate fencing along the top of the wall.

**Fencing** – Private open space fencing should utilize wood, vinyl, block, or tubular steel and be fire resistant as needed. Living walls (hedges) are encouraged as a private open space fencing option. Fencing around recreational areas should be tubular steel or other similar material and design. Fencing should incorporate pilasters.

*Table 2-8 Walls and Fencing*

<i>Wall and Fence Type</i>	<i>Application</i>
<b>Living Hedge</b>	Private open space areas and common walks
<b>Masonry Block</b>	Sound attenuation, Retaining
<b>Tubular Steel</b>	Perimeter; adjacent to open space areas and Recreational Open Space fencing
<b>Vinyl</b>	Private open space areas and common walks
<b>Wood</b>	Private open space areas and common walks



CONCEPTUAL FENCE AND WALL LEGEND

-  42" TUBE STEEL FENCE
-  RETAINING WALL PER CIVIL ENGINEER
-  RETAINING WALL WITH CABLE RAIL ATOP
-  RETAINING WALL WITH TS FENCING ATOP
-  FREESTANDING MASONRY WALL
-  COMBO WALL (SOUND ATTENUATING)



REVISIONS	
1ST SUBMITTAL	07-02-20
2ND SUBMITTAL	10-28-20
3RD SUBMITTAL	12-31-20
4TH SUBMITTAL	04-27-21

DRAWN	JP, KB
APPROVED	JP
PLOT DATE	4/28/2021
JOB NO.	20-013
SCALE	SEE SHEET

L-05

**BARHAM DRIVE:** SAN MARCOS, CA  
**HALLMARK COMMUNITIES**  
 740 LOMAS SANTA FE DR., SUITE 204  
 SOLANA BEACH, CALIFORNIA, 92075

CONCEPTUAL FENCE AND  
 WALL PLAN



SHEET 05 OF 05



337E LINDSEY AVE  
 SUITE 102  
 CARLSBAD, CA 92010  
 gmp@landarch.com  
 T 858 538 8977  
**LANDSCAPE  
 ARCHITECTURE  
 & PLANNING**

Conceptual Wall and Fence Plan  
 Hallmark - Barham Specific Plan

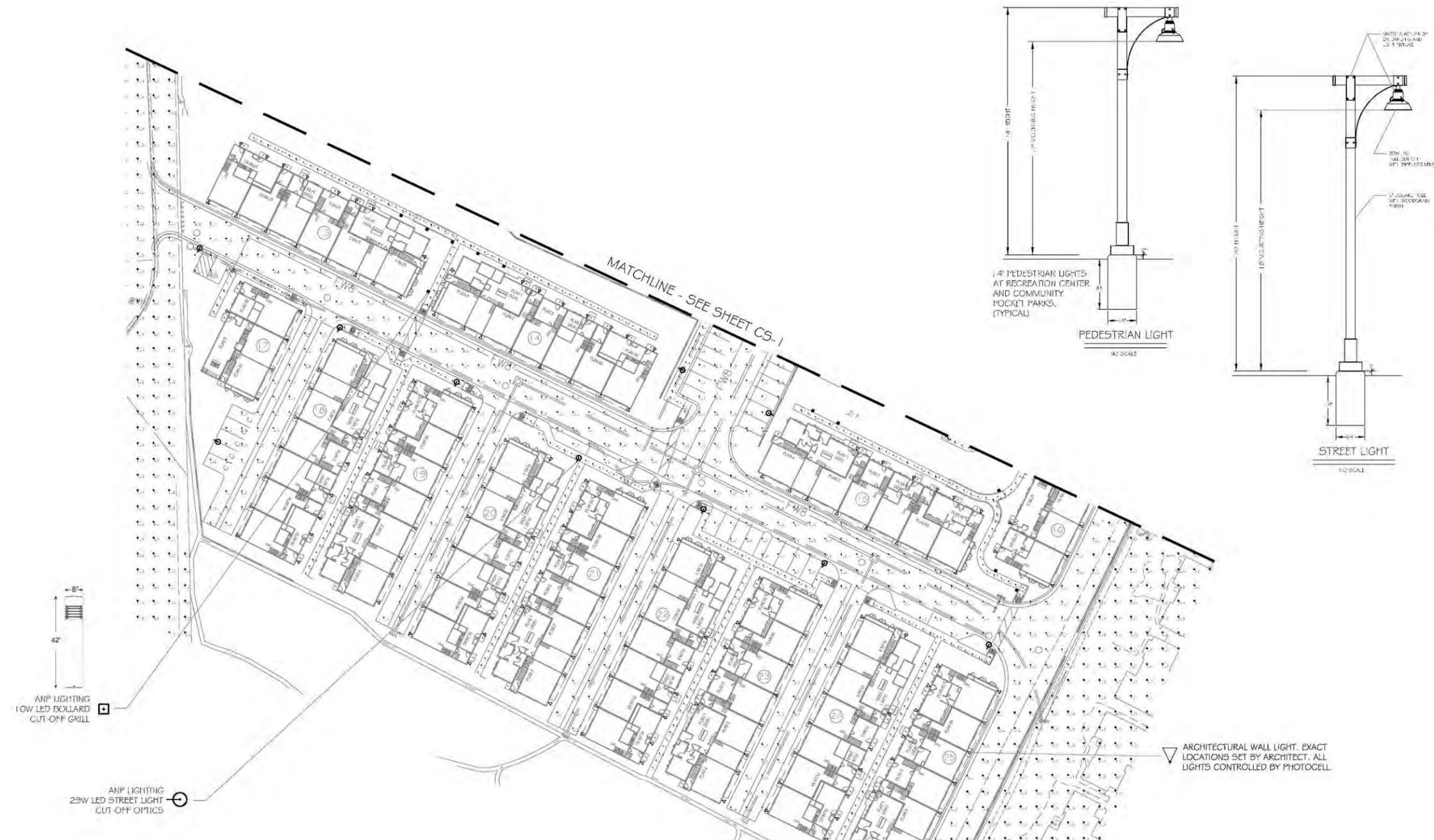
Figure 2-14

**Monuments** – Non-illuminated monuments may be included within the Specific Plan Area and if included shall accent the overall landscape design and provide focal points within the development as well as the entrance to the Plan area. The Plan area may incorporate a monument located at the primary entrance as a prominent feature of the landscape design. Monuments within the Plan area shall incorporate materials compatible with the surrounding natural landscape features and the Hallmark-Barham Specific Plan landscape design. A variety of materials may be used to design monuments. Some of these materials may include tile, stucco, stone veneer plaster, metalwork, draught tolerant shrubs and trees, or other draught tolerant vegetation. Monuments may include accent lighting. Entry monuments shall be limited to a maximum of 6' in height and setback a minimum of 5' from any property line and should not conflict with line-of-sight for vehicular turn motions. Signage identifying the site/development name may be included on site retaining walls near the project entry in-lieu of free-standing monumentation. If signage is included in-lieu of monuments, signage will comply with the City of San Marcos sign program requirements. Precise details for entry monuments will be provided with plans submitted for the construction of monuments.

### **2.4.3. Lighting**

Lighting within Specific Plan Area shall be used to accent landscaping and provide safety and accent lighting for multi-family building clusters. All lighting within the Plan area shall be energy efficient, architecturally appropriate fixtures designed to minimize glare, conflict, and light pollution, while providing illumination levels that create a safe environment for both vehicles and pedestrians. To achieve these goals, all areas of the community will be aptly lit to coincide with their relevant use and activities. Street area lights will be full cut-off fixtures and will utilize house-side shields to reduce light trespass and prevent light pollution. Lighting using the highest efficiency fixtures and lamps are preferred.

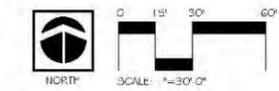
Common area lighting within the Plan area will be used to enhance and complement the character of the development. Lighting will need to be varied and appropriate for each use within the common areas of the development. Conceptual lighting fixtures and locations are illustrated on **Figure 2-14**. During the construction drawing phase, the builders will submit drawing details providing light fixtures (cut sheets) to the City of San Marcos for conformance with the lighting ordinance and standards.



Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Description	Lum. Watts
▽	328	ARCHITECTURAL WALL LANTERN	SINGLE	214	0.900	10W LED A19 2700K BULB @ 8' ON GARAGE AND 6' ON PORCH	10
○	21	ANP - STREET LIGHT	SINGLE	3640	0.900	SBWFT18-P029LD4DT330K*LENS/EVONIKW0852DF @ 18' MOUNTING HEIGHT	28.23
○	1	ANP - STREET LIGHT DBL	BACK-BACK	3640	0.900	SBWFT18-P029LD4DT330K*LENS/EVONIKW0852DF @ 18' MOUNTING HEIGHT	28.23
□	37	ANP - BOLLARD	SINGLE	439	0.900	BL6061CLM010LDDT5W30K @ 3.5'	16.73
□	3	AMERLUX - STEP LIGHT	SINGLE	277	0.900	PASSO RT - prod12-h30 @ 2.5'	4.5

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Automotive Hardscape	illumiance	Fc	0.56	2.6	0.0	N.A.	N.A.
OFF-SITE	illumiance	Fc	0.00	0.8	0.0	N.A.	N.A.

NOTE:  
 ANY CHANGE OR DEVIATION FROM THE LIGHTING SPECIFICATIONS ON PLAN SHALL INVALIDATE THIS PHOTOMETRIC ANALYSIS.



# Conceptual Lighting Plan

## Hallmark - Barham Specific Plan

Figure 2-15

# Chapter 3      Circulation Plan

## 3. Circulation Plan

The Circulation Plan is an integrated component of the Hallmark-Barham Specific Plan and facilitates an interconnected mobility system for bicycles, pedestrians, and vehicles. The Circulation Plan provides residents with the blueprint for safe movement within the Specific Plan Area, secondary access, and emergency vehicle access, connections to existing roadways within the vicinity of the Plan area, and access to regional arterial and highway networks. A minimum of 26-foot width curb to curb private internal driveway provides connections to all private alleyways should be provided within the Specific Plan Area. Two entryways are located off Barham drive on the east and west side of the Plan area for access to local and regional transportation options. **Table 3-1** and section 3.2 describe details of roadway design. **Exhibit 3-1** displays the Circulation Plan concept.

Vehicular, bicycle, and pedestrian circulation within the Hallmark-Barham Specific Plan Area features a main circulation driveway, which allows free movement through the Plan area. The private driveway accesses Hallmark-Barham Specific Plan from Barham Drive to the north via two entry points; one located on the eastern end of the Plan area and another located at the western end of the Plan area. The private driveway loops through the northern half of the Specific Plan Area and connects the southern portion of the Plan area via a short north-south connection at the center of the Specific Plan Area. All internal alleys connect to the main driveway. Entryways into the site via Barham Drive allow for left and right turn motions onto Barham Drive. Vehicles travelling from the east into the Specific Plan Area will be able to make left turns into the site. Internal traffic calming measures such as speed limit signs and stop signs may be provided to improve the overall safety of circulation within the Specific Plan Area.

The following sections provide additional detail on each element of circulation within the Hallmark-Barham Specific Plan Area. The information and standards provided herein should be utilized as the primary standard for the driveways and alleys, streetscapes, and safety measures designed within the Specific Plan Area. The private internal driveway paved surface area within the Specific Plan will be a minimum of 26' in width. Alley's within the Specific Plan Area will be a minimum of 20' in width. All sidewalks within the Specific Plan Area will be a minimum of 5' in width and will allow for an accessible path of travel from each building to a sidewalk connection in the Barham Drive right-of-way as seen on **Figure 3-1**. Sidewalks adjacent to perpendicular parking spaces feature a minimum of 6' of width to accommodate vehicle overhang. An access agreement will be secured to make an emergency vehicle only connection to the existing emergency access road adjacent to the Specific Plan Areas western boundary. The connection point is located approximately in the middle of the site. Where the Specific Plan is silent on a particular design aspect, the City of San Marcos Municipal Code, or the City of San Marcos standards, whichever standard is applicable, shall take precedence.

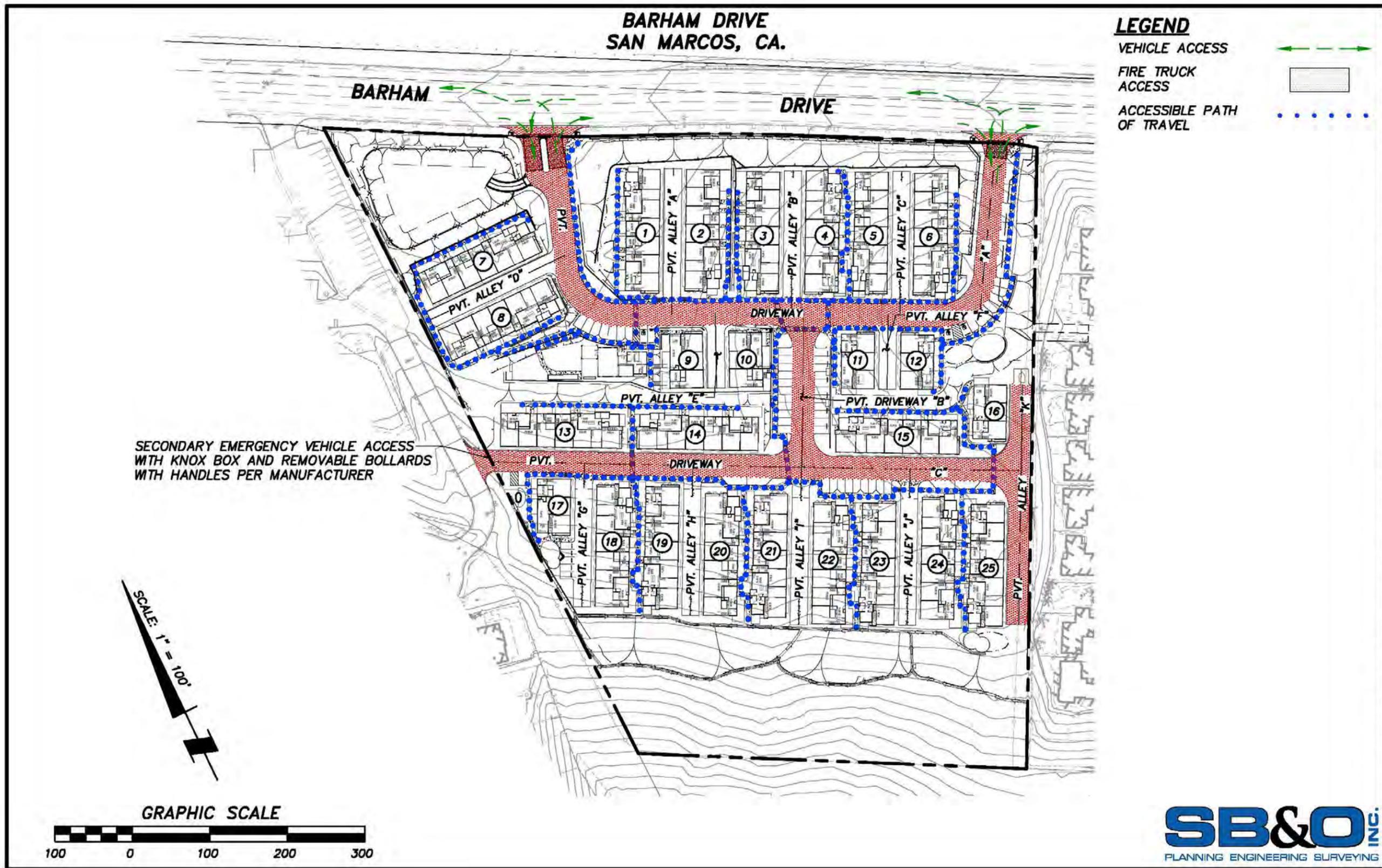
**Table 3-1 Internal Private Driveways & Alleys**

Roadway Type	Street Section Width (feet)	Provided Pavement Width (feet)	Vehicle Lanes	Lane Width	Street Parking	Minimum Pedestrian Component
Private Driveway's "A" "B" & "C"	26'-31'	26'	2	13'	Yes (Parking Bays. See Figure 3-1)	5' Sidewalk on one side <sup>1</sup>
Private Alley's "A" - "J"	20'	20'	2	10'	None	None
Private Alley "K"	24'	24'	2	12'	None	None
Courtyard Walkways	n/a	n/a	n/a	n/a	n/a	4'

<sup>1</sup>Shown on Driveway A and C. See Figure 3-1 for pedestrian circulation.

---

<sup>1</sup> Private Driveway "B" does not include a 5' sidewalk



Conceptual Circulation Plan  
 Hallmark - Barham Specific Plan

Figure 3-1

### 3.1. Streets and Circulation

Internal Private driveways and alleys proposed within the Specific Plan Area are neighborhood streets designed to accommodate the level of traffic generated by the project. Internal roadways are designed to provide the safe movement of pedestrian and vehicle traffic through the Plan area and to provide attractive frontages to residential lots. A typical cross section for the proposed private driveways and alleys can be seen on **Exhibit 3-2 and Exhibit 3-3**.

#### 3.1.1. Driveways

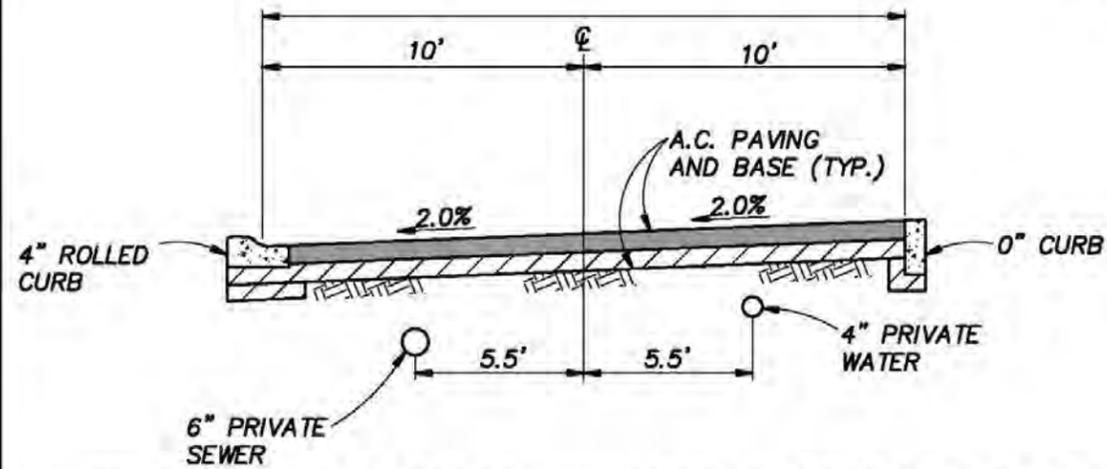
**Private Driveways “A” “B” & “C”** – This private internal driveway connects to Barham Drive to entryways at the north of the Specific Plan Area. The driveway is located on the northern portion of the Plan area and merges with driveway “B” which loops through the center of the Plan area and connects back to driveway “C” at the southern portion of the site. Driveway “A” is a 26-foot roadway section with a minimum 5-foot sidewalk on one side of the roadway. Where visitor parking is adjacent to driveways the sidewalk width will be a minimum of 6-feet to allow for vehicle overhang. This driveway features two 13-foot travel lanes with 6” curb and gutter on either side of the road surface. A portion of Driveway “C” is 24-feet in width.

**Private Alleys “A” “D” & “E”** – The Specific Plan Area will include minimum 20-foot-wide alleys for residents to access their dwelling units. Alley’s “A”, “D”, and “E” will at a minimum feature two 10-foot-wide travel lanes with a 0-inch curb to one side and a 4-inch modified rolled curb on the opposite travel lane. Private Alley “A” features a 2% cross slope.

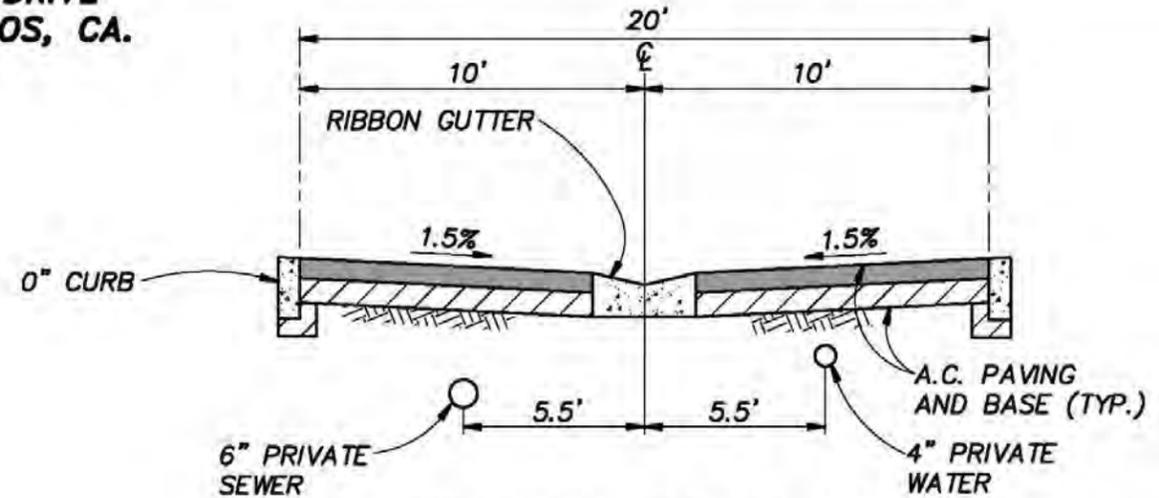
**Private Alleys “B”, “C”, “F”, “G”, “H”, & “I”** – These alleys will include a 20-foot-wide paved driving surface with two 10-foot travel lanes and 0-inch curbs separated in the centerline by a 1.5% cross slope draining to a ribbon gutter.

**Private Alley “K”** – Private alley “K” features a 24-foot-wide paved surface allowing for an emergency vehicle “Hammer Head” turn motion. This alley will include two 12-foot travel lanes with a 6-inch curb on one side and a 4-inch rolled curb on the opposite side. The surface will have a 5% slope.

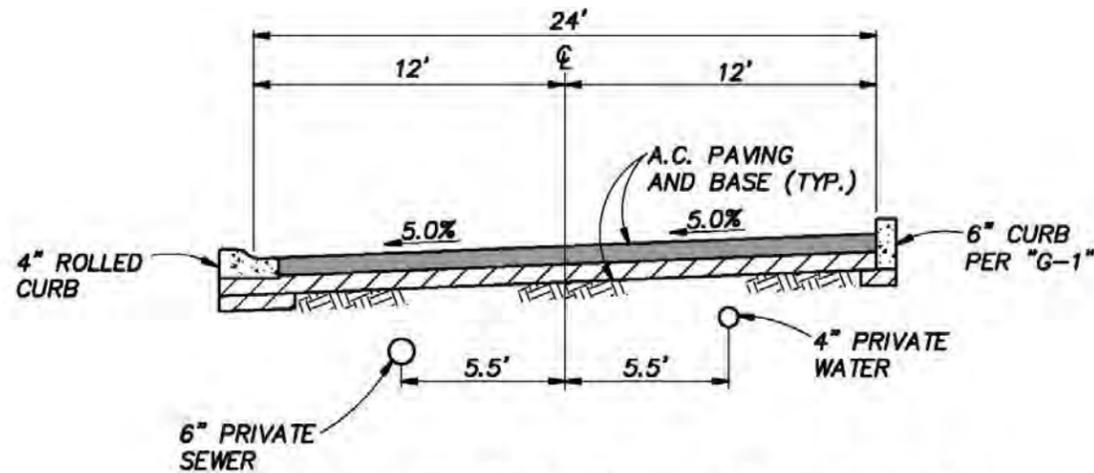
**BARHAM DRIVE  
SAN MARCOS, CA.**



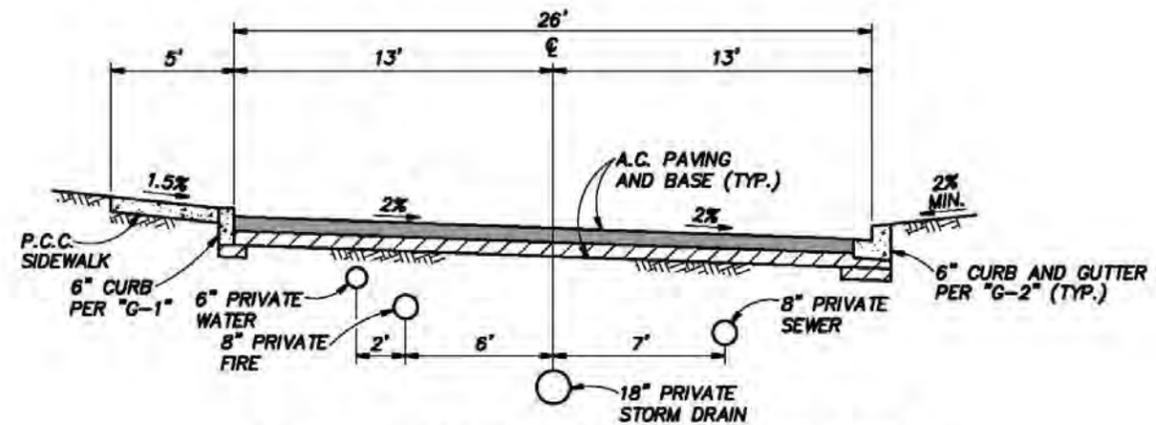
**TYPICAL SECTION ~ ALLEY "A", "D", "E"**  
NOT TO SCALE



**TYPICAL SECTION  
ALLEY "B", "C", "F", "G", "H", "I", "J"**  
NOT TO SCALE



**TYPICAL SECTION ~ ALLEY "K"**  
NOT TO SCALE



**TYPICAL SECTION ~ DRIVEWAY "A"**

NOT TO SCALE  
FROM STA. 10+61.67 TO STA. 12+64.16 AND  
FROM STA. 16+76.14 TO STA. 19+04.32

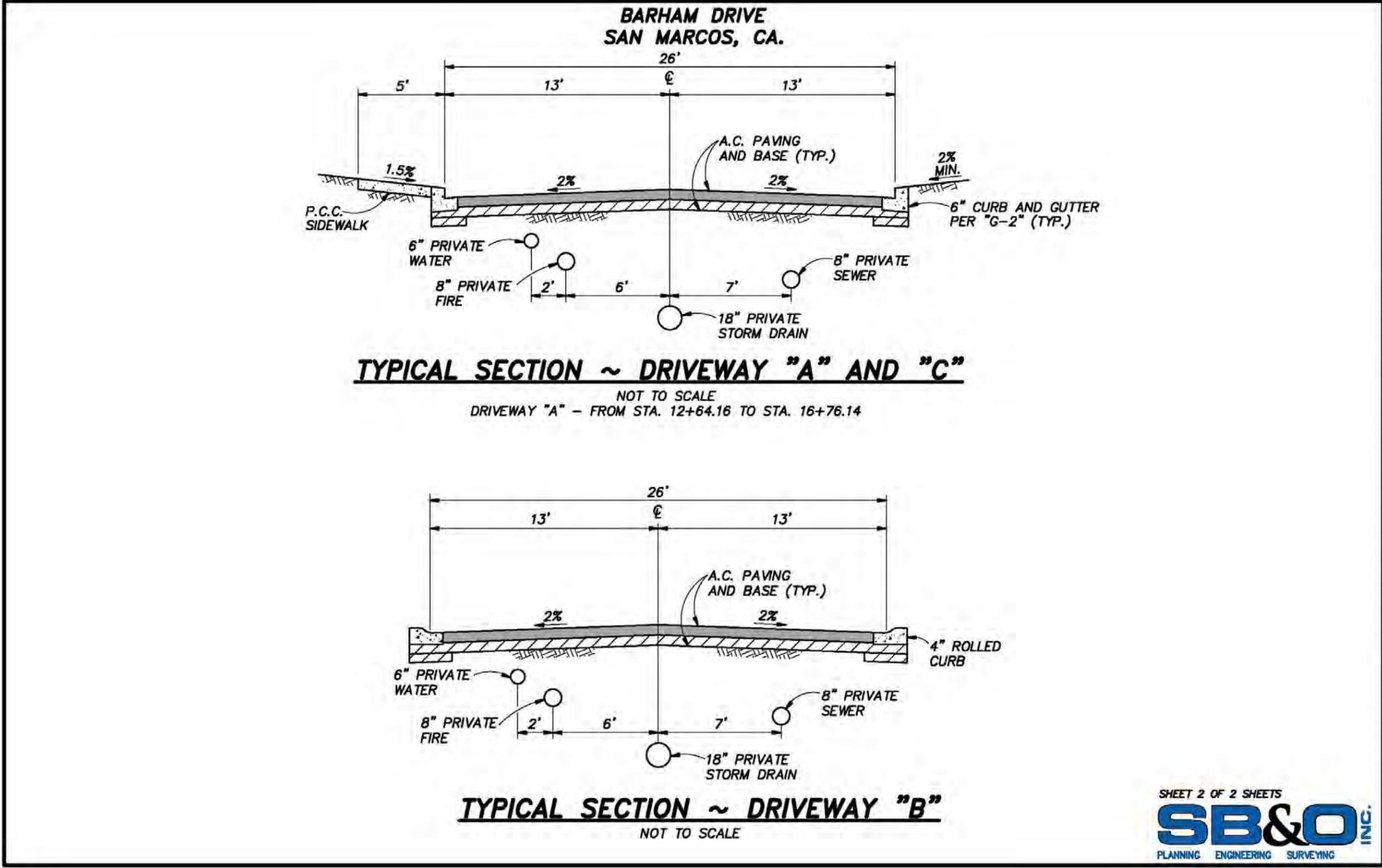
SHEET 1 OF 2 SHEETS  
**SB&O** INC.  
PLANNING ENGINEERING SURVEYING

Plotted: 12/29/2020 6:08 PM D:\75051 BARHAM DRIVE\03 DWG\EXISPECIFIC PLAN EXHIBIT\75052EX09 TYPICAL STREET SECTIONS.DWG - renbig

75052.35

Private Driveway and Alley Cross Sections  
Hallmark - Barham Specific Plan

Figure 3-2



Plotted: 12/29/2020 6:07 PM D:\175051 BARHAM DRIVE\03 DWG\EXIS\SPECIFIC PLAN EXHIBIT\SV75052EX09 TYPICAL STREET SECTIONS.DWG - renbrig

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Private Driveway and Alley Cross Sections (Cont'd)  
Hallmark - Barham Specific Plan

Figure 3-3

### 3.1.2. External Roadways

Barham Drive is the only external roadway adjacent to the Specific Plan Area. Barham Drive is located immediately to the north of the Specific Plan Area. This is the primary public roadway access to the Plan area as well as connection to regional highways and alternative forms of transportation.

The City of San Marcos Mobility Element classifies the existing condition of Barham Drive at the access point for the Specific Plan as a 4-lane collector road. This section of Barham Drive fronting the Specific Plan Area includes four 11-foot vehicle travel lanes, a 10-foot center turn lane, a Class II bike lane on the westbound and eastbound sides of the road, and 6-inch curb and gutter and a 5-foot sidewalk adjacent to the Specific Plan Area.

## 3.2. Specific Plan Area Access

Adequate access to the Specific Plan Area is a key component of circulation. The Hallmark-Barham Specific Plan Area provides two access points to the residential development. The entries provided will act as primary and secondary access and egress for the Plan area. An additional emergency access point is provided and is located at the western edge of the Plan area where it connects to an existing emergency access road for the adjacent parcel. Easement agreements will be obtained and recorded by the applicant/developer for the secondary emergency vehicle access to the Specific Plan Area. Two access points are located on Barham Drive. These access points will connect the project to Barham via a 48-foot private driveway at the western entryway and a 26-foot private driveway at the eastern entryway to the Specific Plan Area.

### 3.2.1. Emergency Access

The Hallmark-Barham project must be able to provide adequate facilities and access for emergency responders to deliver life and safety services to the community. The California Fire Code, along with local fire agency authorities, administers the rules and regulations on fire access design. At a minimum, the Hallmark-Barham Specific Plan Area must present a design which affords fire and emergency responders suitable fire access roads dimensions and surfaces (Chapter 5, § 503.1 through 503.4 of the California Fire Code), an adequate number of emergency rated entrances to the community (Appendix D, §D106 of the California Fire Code), and entryway gate access for first responders (Chapter 5 of the California Fire Code, §503.6). Two points of entry have been identified for the Plan area and designed to meet the design requirements codified in the California Fire Code as well as a third emergency vehicle access only located on the western project boundary. The emergency access road will include a gate and Knox type entry, or another emergency entry device as approved by the City of San Marcos Fire Department. The Barham Drive entrance as well as the third emergency access entry adjacent to the church meet the qualifications for emergency access to for the Specific Plan Area. The private internal driveway system has been designed to accommodate fire and emergency apparatus and includes a “hammer head” type turn located at Alley “K” at the southeast portion of the project side adjacent to buildings 16 and 25.

### 3.3. Regional Connectivity

As noted in Chapter 1, the Hallmark-Barham Specific Plan Area is connected regionally to San Diego County and north to Riverside County via Highway 78 to the Interstate 15 connection. An existing system of expressways, arterial highways, and local roads such as the previously mentioned Barham Road links the Specific Plan Area to the City of San Marcos' circulation system and ultimately to Highway 78. As noted in Section 1.6.4.1, residents will be able to access Highway 78 eastbound via an onramp located approximately 0.5-mile east of the Specific Plan Area. From the 78 east onramp it's approximately an additional 2.25-miles to Interstate 15. Access to Highway 78 westbound is located at the Nordahl-78 overpass, which lies approximately 1.25-miles east of the project site or residents may use the Woodland onramps, which are approximately 0.5-mile east of the project site. Another option for both westbound and eastbound 78 access are the Twin Oaks Valley Road on ramps located approximately 2-miles west of the site. These connections allow for convenient and rapid access to and from the Specific Plan Area to other communities, shopping centers, and employment centers thereby relieving some stress residents would otherwise feel with limited transportation route options.

### 3.4. Alternative Transportation Options

Alternate forms of transportation help alleviate many modern congestion problems for municipalities while also reducing strain on environmental resources. The City of San Marcos' General Plan includes policies and goals for new development to meet so they are in conformance with local and state climate and transportation goals. The Hallmark-Barham Specific Plan Area also encompasses the intent of San Diego Association of Government's (SANDAG) Transit Oriented Development (TOD). While not specifically applying for the TOD the project's density, product type, and most importantly the project's location, are consistent with several strategies outlined in SANDAG's Regional Transit Oriented Development Strategy such as Strategy #2; which facilitates access to employment centers through transit stations, Strategy #3; which promotes walking and biking to transit stations, connecting people to jobs in transit oriented districts, and Strategy #9; which the project would pay into community facilities and infrastructure programs. The features mentioned above help facilitate alternative transit usage and helps to reduce the overall vehicle trips, thereby reduce the projects regional carbon footprint. The following section will provide information on available alternative transportation options and how this Specific Plan incorporates those options to conform to agency policy.

#### 3.4.1. Public Transit

Public transportation access provides a pivotal role in the accessibility of goods and services throughout the City of San Marcos for residents of the Specific Plan Area who are looking for alternative transportation options, while also reducing traffic congestion through reductions in personal vehicle use. Establishing alternative public transportation options allows municipalities to meet local and State transportation and environmental goals. Locally, the Hallmark-Barham Specific Plan must comply with the standards and policies set forth within the City of San Marcos' Mobility Element of the General Plan. Regionally and statewide, public transit is a factor in lowering reliance on individual vehicle use so the City, and Hallmark-Barham Specific Plan, can play their respective parts in the implementation of California

Assembly Bill 32 (AB 32), which mandates the reduction of greenhouse gas emissions locally, regionally, and statewide to sustainable levels.

To achieve compliance with the previously stated goals, the City of San Marcos has established public transportation options and mandates that any Specific Plan within the City must be compliant with the Mobility Element of the General Plan and AB 32. The City of San Marcos utilizes the North County Transit District (NCTD) for Coaster rail service, Sprinter light rail service, and Breeze bus service for connections throughout the County of San Diego. Sprinter service operates between Escondido and Oceanside with connections to Interstate 5 and the Coaster rail service operating out of the City of Oceanside. The NCTD operates the Nordahl Road Sprinter and Breeze transit station located approximately one mile east from the Specific Plan Area. Connections to Orange County can be made via the Metrolink in Oceanside. Similarly, connections to Riverside Transit Authority buses can be made via the transit station in Oceanside and Escondido. Both the Metrolink connection in Oceanside and the Riverside Transit Authority Bus connection in Oceanside and Escondido are accessible through Sprinter light rail service. These public transit options will offer residents of the Hallmark-Barham Specific Plan Area quick access to a variety of alternative modes of transportation.

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# Chapter 4 Public Services and Facilities Plan

## 4. Public Services and Facilities Plan

The Hallmark-Barham Specific Plan Public Services and Facilities Plan focuses on those services and facilities related to the Specific Plan Area, which are required to provide a safe, healthy, and well-rounded community. This section will provide details on the scope of services and facilities needed to provide a comprehensive development while minimizing impacts to existing service providers and infrastructure including districts and schools for children of the Plan area, community facilities, police and fire protection, and finally solid waste disposal. Details on the financing and maintenance of public services and facilities the developer must provide can be read in Chapter 6.

The US Census Bureau has compiled information related to the average number of people per household. Based on the 2010 census, the City of San Marcos General Plan Housing Element determined the average population of San Marcos equates to 3.05 persons-per-household. The 151 units proposed in the Plan area would accommodate approximately 461 residents within the City of San Marcos. The impacts and contributions those additional residents have on public services and facilities are explained in more detail below.

### 4.1. Schools

This section of the Hallmark-Barham Specific Plan will identify the school districts and individual schools which school age children residing within the Plan area will attend. The San Marcos Unified School District will provide educational instruction for children residing within the Specific Plan Area. The following institutions have been identified as the primary education providers to the Plan area. Elementary school students residing in the Hallmark-Barham Specific Plan Area will attend Knob Hill Elementary School located at 1825 Knob Hill Road. Knob Hill Elementary is located approximately two miles north of the plan area. Middle school age students will attend Woodland Park Middle School located approximately one mile from the Specific Plan Area at 1270 Rock Springs Road. All high school students living within the Specific Plan Area will attend Mission Hills High School which is located approximately one mile from the Specific Plan Area at 1 Mission Hills Court.

Table 4-1 Schools

School	Address
<b>Knob Hill Elementary School</b>	1825 Knob Hill Rd. San Marcos, Ca 92069
<b>Woodland Park Middle School</b>	1270 Rock Springs Rd. San Marcos, Ca 92069
<b>Mission Hills High School</b>	1 Mission Hills Ct. San Marcos, Ca 92069

The developer, and/or builder for the Hallmark-Barham Specific Plan Area will offset its expected increase in students through monetary contributions in the form of school district development fees paid to the San Marcos Unified School District.

#### **4.2. Parks, Recreation, and Open Space**

The Hallmark-Barham Specific Plan Area incorporates private park and recreation space, and open space as a component of the land use concept. A total of 5.35-acres of open space is distributed throughout the Specific Plan Area. Per the City's Municipal Code, which is consistent with the Quimby Act, a total of 5 acres of public park space is required for every 1000 residents generated by a proposed project or the developer can opt to pay in-lieu fees. The applicant/developer has the option to pay the in-lieu fee as opposed to the development or dedication of new public park space to the City of San Marcos. Those fees are used by the City to construct new public park space and recreation facilities or to maintain existing public park and recreation facilities.

#### **4.3. Library Services**

The Hallmark-Barham Specific Plan Area is served by the San Diego County Library System. The San Marcos branch is located at 2 Civic Center Drive and is approximately two miles from the Plan area. The San Marcos branch offers a variety of services to the public including book and music rentals, computer access, as well as literary programs and other programs beneficial to the community. Additional library resources are provided to the public through the two colleges located in San Marcos. Palomar Community College located at 1140 West Mission Road is a short distance from the Plan area and provides free access to materials with valid picture identification and proof of current mailing address. California State University San Marcos (CSUSM) is approximately one mile from Hallmark-Barham Specific Plan. Purchase of an annual Community Borrower Card for \$30.00 allows the public access to privileges at CSUSM.

#### **4.4. Fire Protection**

The Hallmark-Barham Specific Plan is located within the San Marcos Fire Protection District boundary. The San Marcos Fire Department (SMFD) will provide fire protection for urban and wildland fires and emergency services to the entire Plan area. SMFD services San Marcos with four stations, the closest of which is Fire Station Three located at 404 Woodland Parkway approximately one mile from the plan area. Fire Station Three houses one paramedic engine company, one paramedic truck company. The Hallmark-Barham Specific Plan Area is surrounded by existing development however, the Plan area is located within close proximity to open space areas with slopes, fuel, and fire hazards, therefore residents of the Hallmark-Barham Specific Plan Area, in accordance with the Community Wildfire Protection Plan (CWPP) and Hazard Risk Assessment (HRA) doctrines adopted by the SMFD, shall be required to comply with the rules and regulations established within the CWPP and HRA. The measures incorporated in the above text contribute to the Hallmark-Barham Specific Plan's comprehensive approach to fire safety.

#### **4.5. Police Protection**

Police protection for the Hallmark-Barham Specific Plan shall be provided by the County of San Diego Sheriff's Department. The County Sheriff provides contract law enforcement services to the City of San Marcos through the station located at 182 Santar Place located within City limits. The station's location is approximately one mile from the Plan area and provides services to San Marcos and the surrounding unincorporated areas.

Community law enforcement services are provided year-round, 24-hours a day. The Sheriff's Department offers a variety of services to help keep the community safe. Deputies are responsible for general patrol services including traffic enforcement, suppression of drug activities, and response to theft and gang-related crimes. The San Marcos station has the only ASTREA (Sheriff's Aviation) landing pad in the County providing assistance to ground units and extending the range deputies can patrol. Additional services to the community include detective units responsible for crime investigations, the Community Oriented Policing and Problem Solving (COPPS) program assigned to investigate community quality of life issues, crime prevention units, crime analysis, and senior volunteers, as well as various administrative services. Child Protective Services, Adult Protective Services, and Juvenile Probation all operate out of the San Marcos Station. Together, these services offer the Hallmark-Barham Specific Plan Area comprehensive law enforcement to help maintain community safety.

#### **4.6. Solid Waste Disposal**

Solid waste collection and recycling services to the Specific Plan Area shall be provided by EDCO Waste & Recycling. Non-recyclable waste, including general trash and green materials, is collected and transported to the Sycamore Sanitary Landfill in Santee. Recyclable materials are transferred to the Escondido Resources Recovery Transfer Station for further processing. Household hazardous waste can be disposed free of charge for residents of San Marcos at the Vista HHW Collection Facility at 1145 E. Taylor Street or the Poway HHW Collection Facility at 12325 Crosthwaite Circle.

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# Chapter 5 Grading and Utilities Plan

## 5. Grading and Utilities Plan

The Grading and Utilities Plan provides the description of the infrastructure necessary to support each proposed land use within the Hallmark-Barham Specific Plan Area. This section will discuss in detail the distribution, capacity, size, and extent of grading and utilities which must be constructed and installed to facilitate a safe and efficient residential community. Information will be provided for grading and the following utilities: water, wastewater, stormwater drainage and detention, electricity and natural gas, and telephone and cable services. **Table 5-1** identifies the utility providers anticipated for the Hallmark-Barham Specific Plan Area.

**Table 5-1 Utility Providers**

<b>Utility</b>	<b>Provider</b>
<b>Water</b>	Rincon Del Diablo Water District
<b>Wastewater</b>	Vallecitos Water District
<b>Stormwater Drainage and Detention</b>	Developer/Builder
<b>Natural Gas</b>	SDG&E
<b>Electricity</b>	SDG&E
<b>Telephone and Cable</b>	Cox Communications

### 5.1. Grading

Most of the site has been cleared of vegetation for some time, therefore the project proposes to clear and grub only the vegetation located in areas to be developed, demolish any existing improvements and private utilities, and perform mass grading activities over the site with a total of 39,711 CY of cut and 86,052 CY of fill with 46,341 cy of import included within the fill number. Rough grading will prepare pads for residential lots, interior driveway and alley sections to subgrade, and further define drainage courses, and recreation and amenity areas. Final and precise grading activities during the ultimate build-out of the project at the time of vertical construction would include taking roads, lots, and landscape areas to finish grades with final surface/hardscape/planting installations and preparation of the ground for any foundations for proposed residential buildings/community buildings. <sup>2</sup>

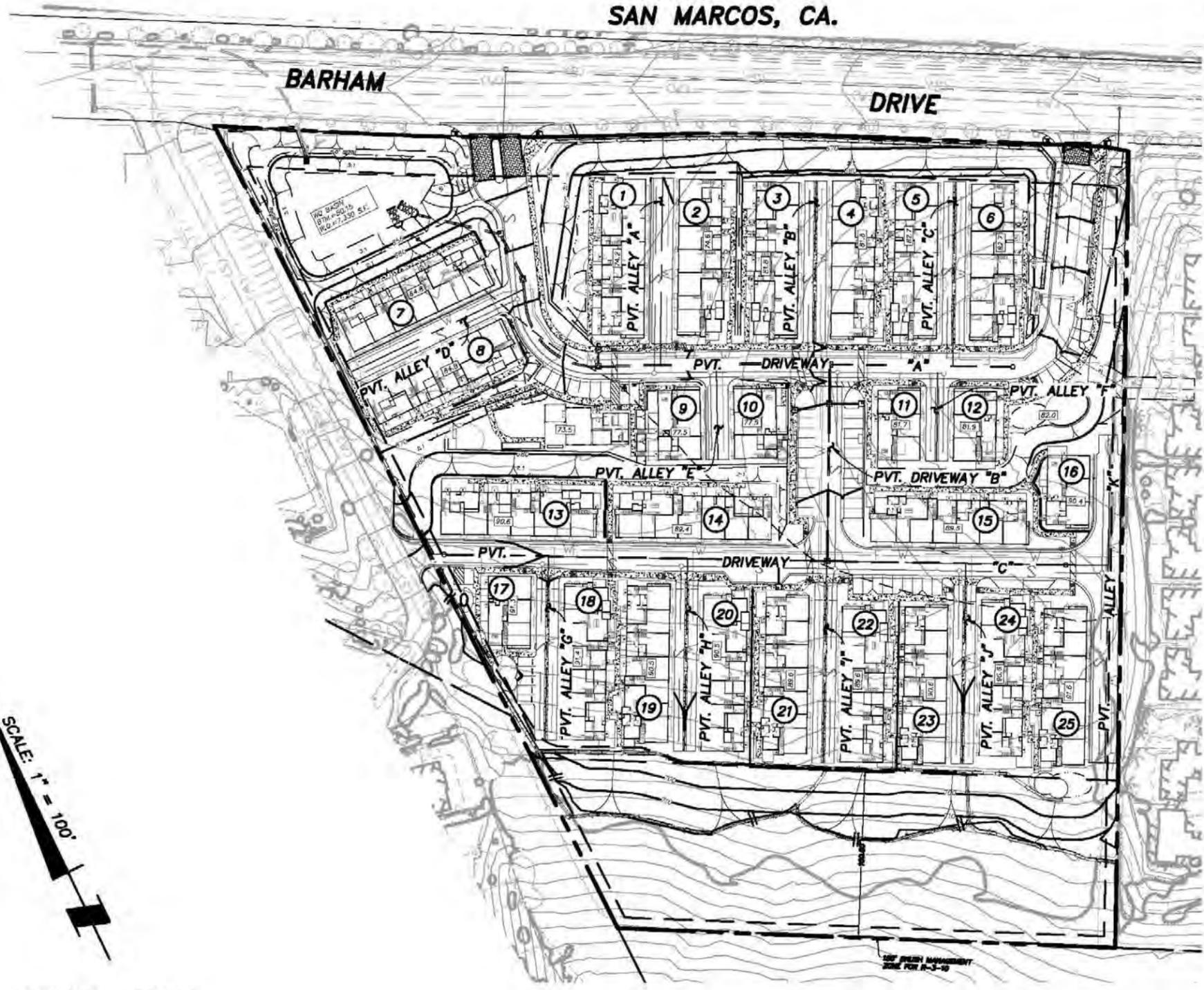
The existing 10.56 ac. property consists of hillside topography with steeper grades of approx. 30% located at the south half and flatter grades located along Barham Drive. The elevation changes 105 ft., from 753 to 648 msl. The existing contours are generally smooth and produce a sheet-flow runoff directed towards a low-point catch basin located at the northwest corner of the property. Proposed grading shall be consistent with multi-family development and be comprised of private streets and 26 building pads. The two pad sizes, for the 7-unit and 3-unit are approximately 7,400 sq. ft. and 3,600 sq. Ft., respectively. Due to the existing terrain, the site also has slopes with a vertical height of over 20 feet, with a maximum height of 35 feet. Similarly, the project contains retaining walls, with the majority of the walls are limited to 6 feet or less in height. Some retaining walls will be a maximum of 11 feet but have been designed in locations that reduce wall visibility. The project is proposing to grade 9.42 acres and is an import of 46,400 cy with a max fill depth of 25 feet and max cut depth of 18 feet.

<sup>2</sup> All grading quantities are estimates.

### 5.1.1. Grading Variances

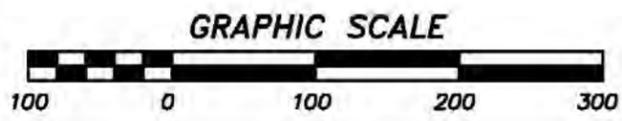
A grading variance is required for projects including slopes that exceed 20 feet in height without benching. The Specific Plan Area proposes several locations where slopes will exceed 20-feet without benching. Approval of a grading variance allows for reduced grading and lower overall slope heights due to the removal of benching. **Figure 5-2** depicts the areas within the Specific Plan Area that contain slopes in excess of 20' in height.

**BARHAM DRIVE  
SAN MARCOS, CA.**



**LEGEND**

- BOUNDARY LINE
- RIGHT-OF-WAY CENTERLINE
- SLOPE
- RETAINING WALL
- PROPOSED STORM DRAIN PIPE (PRIVATE)
- PROPOSED DOMESTIC WATER (PRIVATE)
- PROPOSED 8" FIRE SERVICE (PRIVATE)
- PROPOSED SEWER (PRIVATE)



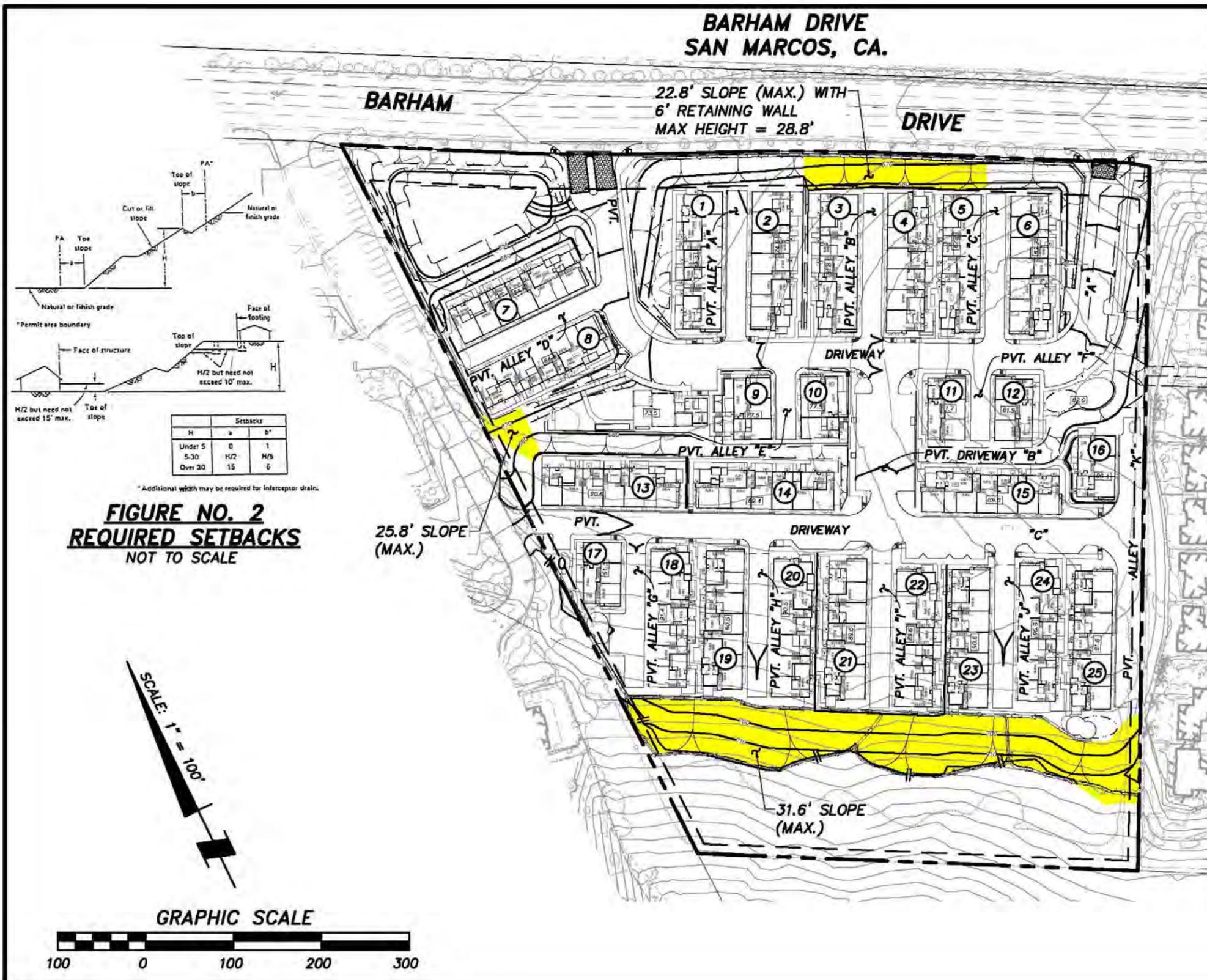
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Conceptual Grading Plan  
Hallmark - Barham Specific Plan

Figure 5-1

**BARHAM DRIVE  
SAN MARCOS, CA.**



**LEGEND**

- BOUNDARY LINE
- RIGHT-OF-WAY
- CENTERLINE
- EXIST. LOT LINE
- PROPOSED SLOPES GREATER THAN 20' (FEET)

**GRADING ORDINANCE NOTES**

**17.32.090 SLOPE HEIGHT**  
(a) THE TOTAL HEIGHT FOR ALL CUT AND FILL SLOPES SHALL NOT EXCEED TWENTY (20) FEET IN HEIGHT, INCLUDING CRIB WALLS AND RETAINING WALLS, UNLESS A VARIANCE IS OBTAINED AS PROVIDED FOR HEREINAFTER

**17.32.100 FILLS**  
(g) SLOPE. THE SLOPE OF FILL SURFACES SHALL BE NO STEEPER THAN IS SAFE FOR THE INTENDED USE. FILL SLOPES SHALL BE NO STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL.

**17.32.110 FILLS SETBACKS**  
(b) SETBACKS FROM PROPERTY LINES. THE TOPS OF CUTS AND TOES AND FILL SLOPES SHALL BE SET BACK FROM BUILDINGS AND THE OUTER BOUNDARIES OF THE PERMIT AREA, INCLUDING SLOPE RIGHT AREAS AND EASEMENTS, IN ACCORDANCE WITH FIGURE NO. 2. A LETTER OF PERMISSION FROM THE EFFECTED AND ADJACENT PROPERTY OWNERS SHALL BE REQUIRED FOR ANY GRADING DIRECTLY ADJACENT TO OR WITHIN PROPERTIES OUTSIDE THE PERMIT AREA.  
(c) DESIGN STANDARDS FOR SETBACKS. SETBACKS BETWEEN GRADED SLOPES (CUT OR FILL) AND STRUCTURES SHALL BE PROVIDED IN ACCORDANCE WITH FIGURE NO. 2 (SEE LEFT)



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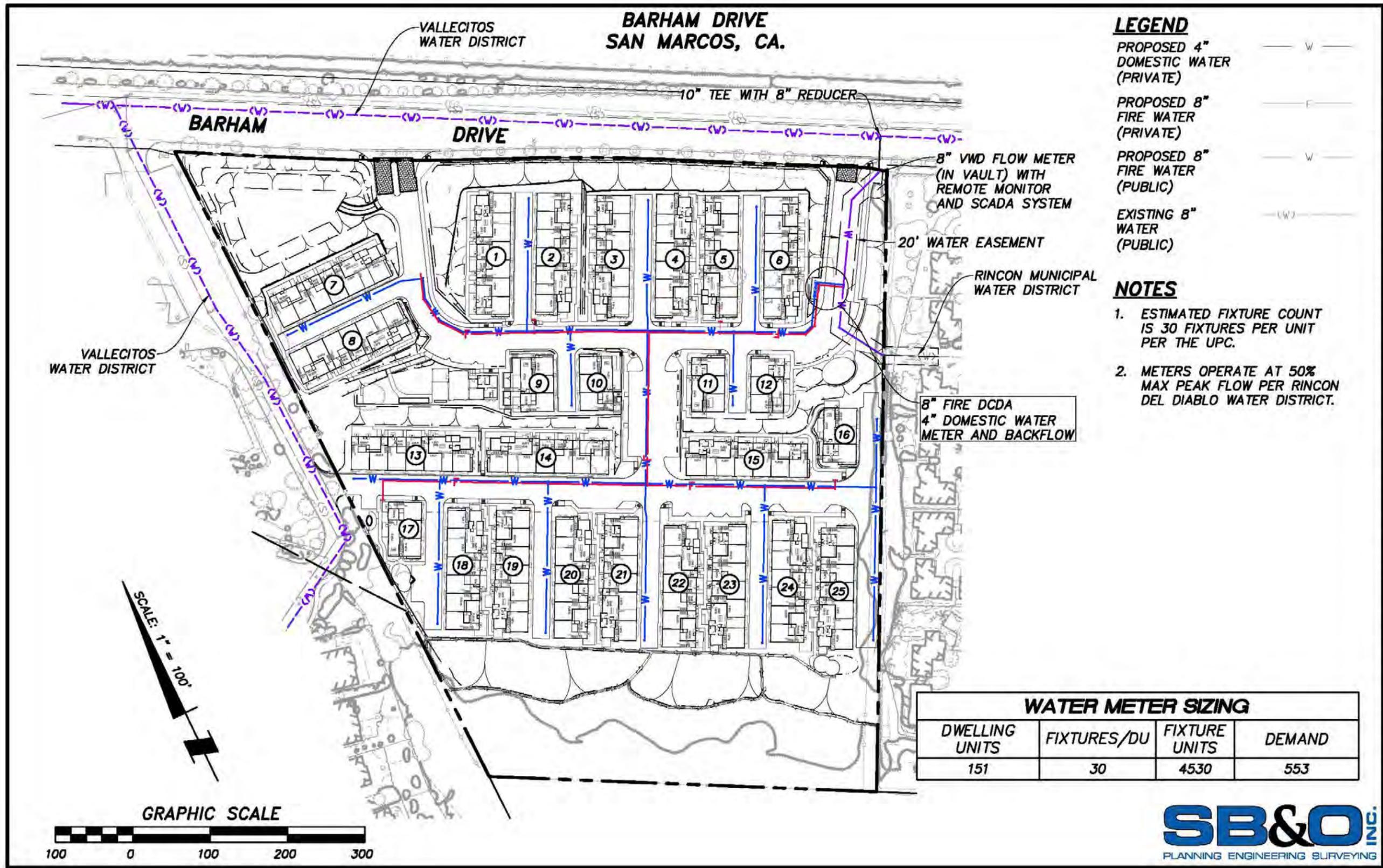
Grading Variance Exhibit  
Hallmark - Barham Specific Plan

Figure 5-2

## 5.2. Water Supply

Water service for potable residential use and fire service to the Hallmark-Barham Specific Plan Area will be provided by the Rincon Del Diablo Water District (RDDWD). The Hallmark-Barham Specific Plan Area is located entirely within the boundaries of VWD, which may provide potable water, fire water service, and landscape irrigation service to the Specific Plan Area. However, a service agreement may allow the Specific Plan Area to utilize Vallecitos Water District infrastructure. That arrangement would require agreement between both water districts. If no agreement can be made water service would fall to RDDWD. The District services several local municipalities and portions of the County of San Diego.

Water lines within the Specific Plan Area will consist of an 8-inch fire main and a 4-inch domestic main water line. Both lines will circulate beneath the main driveways throughout the Specific Plan Area as shown on **Figure 5-3**. The 8-inch fire main will run under Private Driveway's "A", "B", and "C". The 6-inch domestic water lines will loop through alley's "A," through "K" teeing off of from driveway's "A", "B" and "C." the 8" fire main and 6" domestic water lines will connect to existing 10-inch public water main underneath Barham Drive and an existing 8-inch public water main underneath Barham Drive.



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Proposed Water Exhibit  
Hallmark - Barham Specific Plan

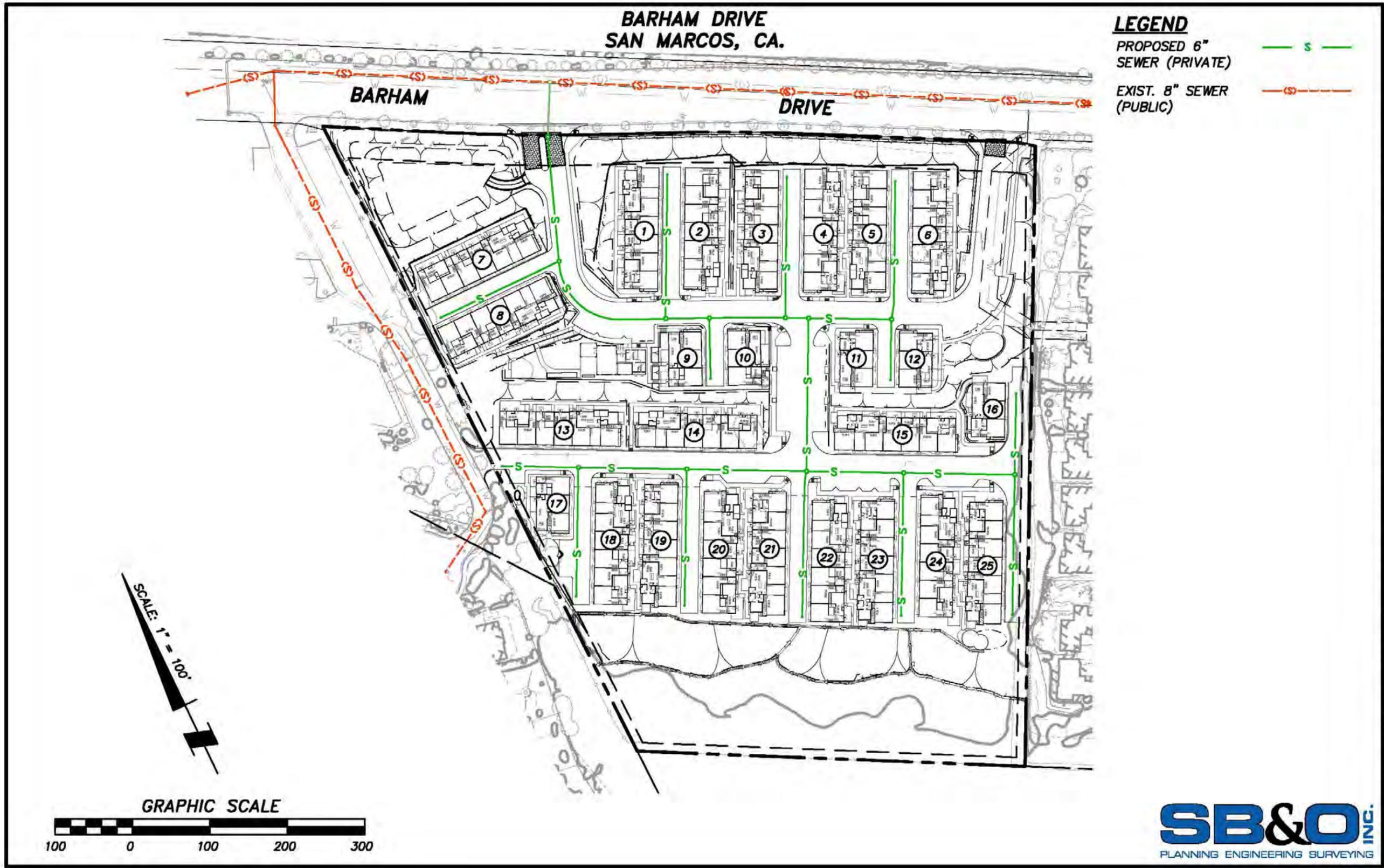
Figure 5-3

### 5.3. Wastewater

Wastewater service to the Hallmark-Barham Specific Plan Area will be provided by Vallecitos Water District, which they determined has the existing sewer capacity to serve the expected buildout of the Plan area.

Engineering analysis conducted for the Plan area determined the approximate flows of wastewater from the development. Based on those conclusions, one internal pipe size is proposed for the Specific Plan Area. Preliminary sewer design concluded a 6-inch PVC sewer main will be needed to adequately service individual homes and community areas discharging wastewater (**Figure 5-4**). Pipes will be located underneath the internal private driveways and alleys.

Under this design, wastewater lines will flow north toward Barham Drive where the Specific Plan Area's internal private 6-inch sewer main will connect to an 8" public sewer main underneath Barham Drive.



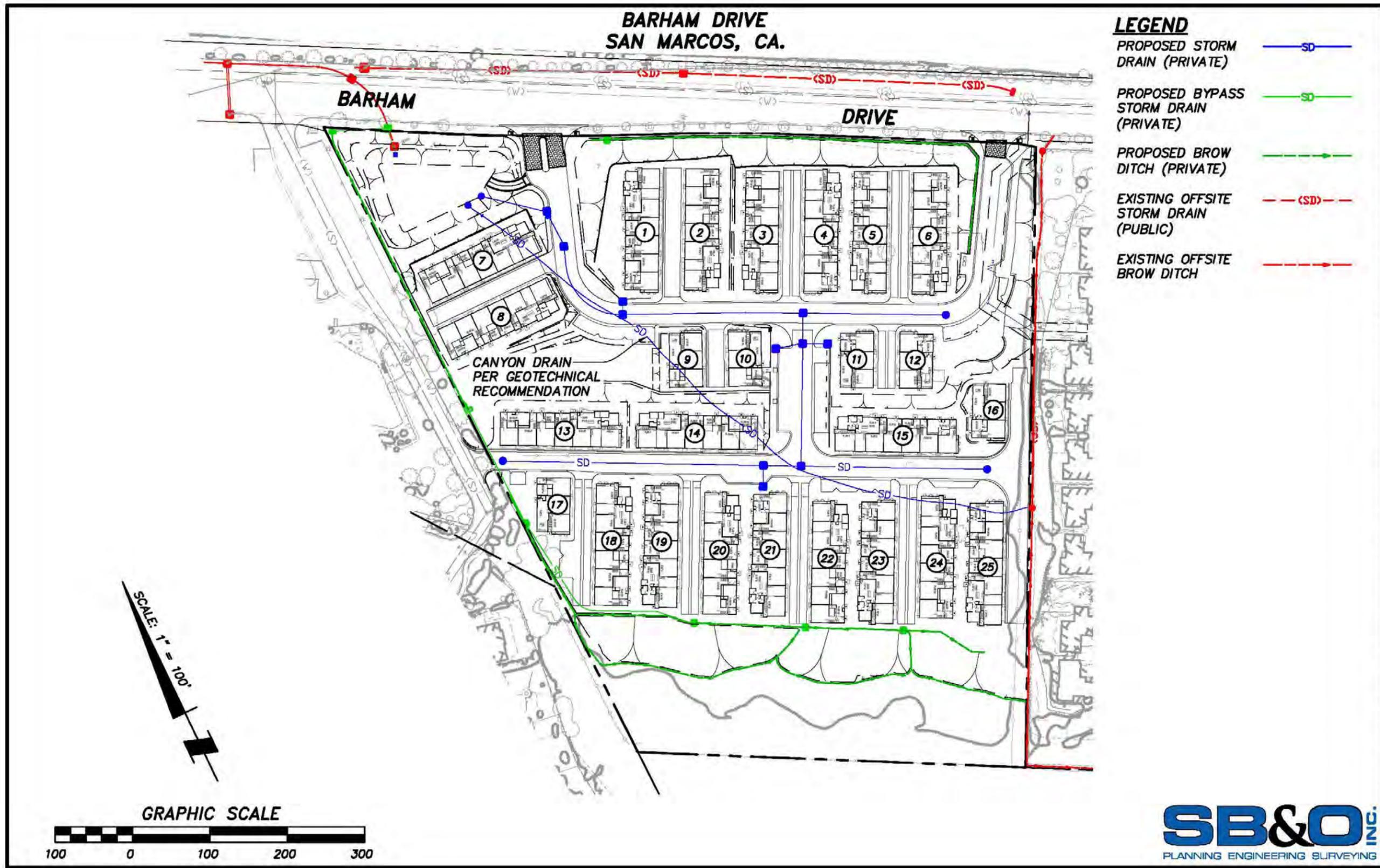
Proposed Sewer Exhibit  
 Hallmark - Barham Specific Plan

Figure 5-4

#### 5.4. Stormwater Management

Statewide rules and regulations require that stormwater runoff from rain events must be appropriately captured and conveyed into treatment systems, so that water runoff does not increase water flows onto adjacent properties or properties downstream, which could potentially cause damage.

The Hallmark-Barham Specific Plan Area has carefully studied stormwater flows and identified the points of entry for flows into and through the site. One biofiltration basin is located at the northwest corner of the Plan area. The biofiltration basin is approximately 7,331 sq. ft. Stormwater flows will be conveyed to the filtration system via storm drains, where water will be cleaned prior to being discharged. The location of the Plan's biofiltration basin is illustrated on the **Open Space Exhibit, Figure 2-7**. Hydromodification will be required with final engineering submittals in conformance with the 2016 City of San Marcos BMP Design Manual.



Conceptual Drainage Plan  
Hallmark - Barham Specific Plan

Figure 5-5

## 5.5. Dry Utilities

Dry Utilities are the primary power generation source for the Hallmark-Barham Specific Plan Area. Electricity and/or gas may provide heat, air conditioning, and any other power-generating source for each home or common-area facility within the development. Solar power generating systems, alternative green energy systems, or alternative energy programs may be utilized for alternative power generation for the Specific Plan Area to supplement electrical and gas systems; however, any proposed solar generation system, alternative green energy system, or alternative energy program must be compliant with State regulations or local ordinances. A description of dry utility distribution is provided in the following sections.

### 5.5.1. Electricity

Electrical service distribution systems proposed for the Hallmark-Barham Specific Plan Area shall be provided by San Diego Gas & Electric (SDG&E). The project area will connect to an underground 69KV lines at the project frontage on Barham Drive.

Developers of the Hallmark-Barham Specific Plan Area will be required to hire a contractor to provide all trenching, backfill, substructures, conduits, and transformer pads necessary for electrical utility installation work. Should SDG&E find installation of extra facilities is required for system reliability, it shall be the responsibility of the developer to perform the related work aforementioned in this section. SDG&E shall be responsible for the installation of necessary cables, connectors, and pad-mounted equipment as required.

### 5.5.2. Gas

SDG&E maintains a gas distribution system within Barham Drive. If the project utilizes gas utilities, the gas lines will be extended to the developable area within the Hallmark-Barham Specific Plan Area through the same joint trench alignment as electric, cable, and telephone facilities.

### 5.5.3. Cable and Telephone

Cable and telephone service will be provided through Cox Communications. Cable connections will be stubbed for the property at the time of construction for dry utilities. Residents will be able to choose to connect to cable and telephone via a number of packages offered through Cox Communications.

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# Chapter 6 Public Facilities and Financing Plan

## 6. Public Facilities and Financing Plan

This section describes the various options for financing of the required improvements for the Hallmark-Barham Specific Plan. A detailed financing plan should be prepared to ensure improvements to the Specific Plan Area are implemented in a successful manner and within an orderly timeframe. The financing plan will establish specific methods of financing to achieve the goals and policies set forth in this Chapter.

Financing mechanisms for each improvement shall be timed with any proposed phasing of the Specific Plan Area, established conditions of approval, and site plan and/or design review approval. The following descriptions provide information of possible methods, which could be employed to finance improvements of the Specific Plan Area. It should be noted there may be other sources not listed below which would fulfill any mandates for the financing of improvements.

### 6.1. Methods of Financing for Public Improvements and Services

The developer or builder shall be responsible for their fair share of financing construction of any public improvements as well as the entirety of private infrastructure improvements required to support development within the Hallmark-Barham Specific Plan Area. Improvements may include, however, may not be limited to, construction of internal and adjacent streets, water lines, sewer lines, and storm drains, and electrical and gas power delivery systems. The developer or builder can use a combination of financing mechanisms to achieve the required construction and maintenance of facilities and improvements; however, the developer or builder shall be ultimately responsible for all fair share costs identified with implementation of development within the Hallmark-Barham Specific Plan Area, including but not limited to, costs associated with infrastructure construction, compliance with any mitigation measures identified within the EIR conditions of approval, or any other associated requirements which may need to be fulfilled. It is anticipated that the developer will construct all required public improvements. It is also anticipated that any long-term maintenance of public improvements or facilities will be maintained through CFD's.

#### 6.1.1. Developer Funded Options

Many of the onsite facilities to be constructed will be financed and constructed entirely by the developer or builder. Some examples of these types of improvements are onsite private streets, alleys, and driveways, utility connections from main trunk lines, and storm drain facilities. In the case of electricity connections, the developer or builder may be required to use the electricity providers' construction crews or contractors provided from an approved list determined by the energy provider. In those cases, correspondence will occur between the parties to establish the funding method, at a cost to the developer or builder, to finance those improvements.

#### 6.1.2. Special Assessment Districts

Special assessment districts may be used by the City of San Marcos to pay for improvements within a defined area so long as the property owner votes to allow the assessment to proceed. Once an approval vote has been made, the City has the authority to form the special

assessment district by the authority of the Improvement Act of 1911, and the Municipal Improvement Act of 1913. The property owners will bond to pay for improvements such as streets, storm drains, sidewalks, landscape and lighting, water and sewer services, and other similar public improvements.

### **6.1.3. Community Facilities Districts and Mello-Roos**

The City of San Marcos may use a Community Facility District and require Mello-Roos to finance public improvements for the Specific Plan Area. The Mello-Roos, Community Facilities Act of 1982 allows the City to establish special districts and to levy special taxes and issue tax exempt bonds to finance those improvements. Mello-Roos do not require municipalities to show any specific special benefit to assessed properties, therefore they may be used to finance a broad range of general improvements such as police and fire facilities, libraries, parks, and any improvements which may benefit specific properties.

### **6.1.4. Other Funding Sources**

The developer or builder may secure other sources of funding to construct and maintain public and private facilities such as government grants, private developer coalitions, or various bonds not specifically mentioned above.

## **6.2. Financing of Public Improvements and Services**

The orderly development of the Specific Plan Area requires the procurement of sufficient funding for public facilities and services. The following summaries provide detail on financing of facilities and services for the Hallmark-Barham Specific Plan Area required to be available at the time of need. The sections described below will provide information on specific financing options and implementation methods for facilities and service within the Specific Plan Area.

### **6.2.1. Circulation Improvements**

The Hallmark-Barham Specific Plan Area includes a comprehensive circulation plan, which includes private road improvements and may be required to provide public road improvements, public utility upgrades or other infrastructure improvements. Development within the Specific Plan Area is contingent upon the financing and maintenance of both private internal streets and external public road improvements, public streetscape improvements, and any mitigation measures for traffic impacts identified in the traffic study produced for the EIR.

Internal private streets will be financed in whole, by the developer or builder.

Improvements to public external roads, rights-of-way, landscaped medians, and landscaping adjacent to the project's frontage identified by the City of San Marcos will be financed and constructed by the developer and/or builder.

### **6.2.2. Fire, Paramedics & Law Enforcement Services and Facilities**

#### **Fire and Paramedic Services and facilities**

The Hallmark-Barham Specific Plan Area is within the San Marcos Fire Protection District. To offset impacts to fire, paramedic services and facilities the developer and/or builder will pay fees to the City of San Marcos. Service to the Specific Plan Area shall be provided by the San

Marcos Fire Department (SMFD). The developer will pay its fair share contribution to the City of San Marcos' CFD for fire service to the Specific Plan Area. Future homeowners will be assessed annual fees for this district with increases as determined by the City.

#### **Law Enforcement Services and Facilities**

The County of San Diego Sheriff's Department, under contract with the City of San Marcos, will provide police protection services to the Hallmark-Barham Specific Plan Area. The Hallmark-Barham Specific Plan developer shall pay its fair share contribution to the City of San Marcos' CFD for law enforcement service. Future homeowners will be assessed annual fees for this district with increases as determined by the City.

#### **6.2.3. Schools**

The Hallmark-Barham Specific Plan Area is located within the San Marcos Unified School District (SMUSD). Impacts to SMUSD will be mitigated by a per square foot fee paid by the developer to the school district and based on total residential dwelling unit square footage.

#### **6.2.4. Recreational Facilities, Parks, and Open Space**

All categories of open space located within the Hallmark-Barham Specific Plan Area, including common-area open space, parks, water quality features, and any biological preserved areas, will be financed and constructed by the developer. Maintenance responsibilities of recreational facilities, parks, and open space are described in section 6.4. The developer and/or builder will pay Public Facilities Fees to offset the projects impacts to City-owned parks and recreation facilities.

### **6.3. Operational and Maintenance of Public Improvements and Private Facilities**

Maintenance of open space, recreational facilities, water quality features, private streets, public streets, water and sewer systems, and landscaping of public rights-of-way are important components to the image of Hallmark-Barham Specific Plan and the functionality and safety of stormwater movement. This Section will define each entity responsible for maintenance of public improvements and private facilities which will have a prolonged impact on the Specific Plan Areas appearance.

There are several options for funding operation and maintenance of public and private facilities and landscaping. For operation and maintenance of private facilities, the Specific Plan Area will require the formation of a homeowner's association (HOA). Private facility maintenance areas will be the financial responsibility of the HOA and will be maintained privately. These areas include, but are not limited to, common area open space, onsite landscaping, parks, HOA pool facilities, onsite streets, and water quality basins and associated facilities. Landscaping within each private lot within the Specific Plan Area shall be the sole responsibility of the homeowner. Operation and maintenance responsibilities are defined in detail below.

- Private parks and common area facilities maintenance within Hallmark-Barham Specific Plan shall be the responsibility of the Hallmark-Barham Specific Plan HOA(s).
- Maintenance of common area landscaping within the Hallmark-Barham Specific Plan Area shall be the responsibility of the Hallmark-Barham Specific Plan HOA(s).

- Maintenance of landscaping within individual dwelling unit private open space shall be the responsibility of the homeowner.
- Maintenance within front yards of multifamily residential units shall be the responsibility of the HOA(s).
- Private streets, landscaped parkways, and entry monuments and gates shall be maintained by the Hallmark-Barham Specific Plan HOA(s).
- All private storm drain systems within the Specific Plan Area will be maintained by the HOA.
- Public sewer systems will be maintained by VWD, public water systems will be maintained by RDDMWD and private water/sewer systems within the Hallmark-Barham Specific Plan Area will be maintained by the HOA.
- Maintenance of landscaping, lighting, and storm drain systems, in public right-of-way easements along public streets shall be the responsibility of the City of San Marcos with an assessment paid to the City of San Marcos by the property owner.
- Public street maintenance shall be the responsibility of the City of San Marcos.
- Onsite private streets shall be the responsibility of the Hallmark-Barham Specific Plan HOA(s).

**Table 6-1 Financing and Maintenance Responsibilities**

<b>Improvement</b>	<b>Installation/Financing Responsibility</b>	<b>Long-term Maintenance Responsibility</b>
Common Area landscaping	Developer	HOA(s)
Private Open Space	Developer	HOA(s)
Private Recreational Facilities	Developer	HOA(s)
Private Streets	Developer	HOA(s)
Public Streets	n/a	n/a
Public Landscaping in rights-of-way	CFD/Developer	CFD
Private Storm Drain Systems	Developer	HOA
Public Storm Drain Systems	Developer	City of San Marcos
Public Water	Developer	Rincon Del Diablo Water District
Public Sewer	Developer	Vallecitos Water District
Private Water	Developer	HOA(s)
Private Sewer	Developer	HOA(s)

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# Chapter 7 Administration and Implementation

## 7. Administration and Implementation

This chapter of the Hallmark-Barham Specific Plan is essential to establishing a thorough review process for proposed discretionary entitlements and other processes which may become necessary within the Plan area. Sections within this chapter form the procedures for review of entitlements and modifications or amendments to the Specific Plan (i.e., administration authority of the Plan, descriptions of the entitlements to be processed concurrently with this Specific Plan, compliance with CEQA, and substantial conformance and amendments to the Plan). Those rules, regulations, and processes outlined within this chapter govern the lead agency's implementation of development within the Plan area.

In addition to the Hallmark-Barham Specific Plan implementation, several discretionary entitlements will also be processed concurrently. This section provides a detailed description of the mechanisms needed for implementation of the Specific Plan and should be the primary document consulted when questions arise concerning future development or development changes within the Hallmark-Barham Specific Plan Area. As the lead agency, the City of San Marcos is responsible for the administration of the Hallmark-Barham Specific Plan and as such is responsible for ensuring the rules and procedures described herein are implemented in a consistent manner with all City rules, regulations and policies. California Government Code 65451 (a) (4) and 65452 gives the City discretion to address subjects in the Specific Plan the City deems necessary for proper implementation of the General Plan.

### 7.1. Project Review Procedures and Future Entitlements

This section outlines the procedures necessary to review entitlement efforts for all development within the Hallmark-Barham Specific Plan Area. The intent of the development and design review process is to ensure development proposals are consistent with the provisions of the Hallmark-Barham Specific Plan and are compatible with surrounding land uses. The Development Review process may include, but is not limited to, subdivision maps, plot/site plans, final engineering plans, architectural building plans, landscape plans, and materials boards. Conformance with the Hallmark-Barham Specific Plan is contingent upon the thorough review process of the aforementioned plans.

#### **Specific Plan Authority**

The Hallmark-Barham Specific Plan is to be adopted by Ordinance by the San Marcos City Council and used as the primary guiding document for review of all subsequent discretionary entitlements within the confines of the Specific Plan Area. As a regulatory document, successful implementation of a development project within the Plan area is contingent upon meeting the land use and associated design, development, and infrastructure standards, and other policies outlined herein.

The Hallmark-Barham Specific Plan establishes development design, infrastructure, and implementation parameters and incorporates those standards through reference of applicable Zoning Ordinance or other appropriate standards and provisions, or the City of San Marcos Municipal Code, to establish specific zoning standards, which govern all development within the Plan area. Any proposed development and design activities within the Hallmark-Barham Specific Plan Area must be consistent with the established parameters of this Plan. Should

any requirements contained herein of the Hallmark-Barham Specific Plan conflict with the City of San Marcos Municipal Code, the Hallmark-Barham Specific Plan shall be the primary document used to resolve the conflict. If the Hallmark-Barham Specific Plan is silent on any issues, the City of San Marcos Municipal Code, or other applicable adopted City standard(s) shall be referred to for regulations and standards.

### **Administration**

Several entities may/shall be responsible for the administration and enforcement of the Hallmark-Barham Specific Plan. The City of San Marcos' Development Services Department is the primary agency responsible for the implementation, administration, and enforcement of the Hallmark-Barham Specific Plan. The homeowner's association or other comparable group established for the Hallmark-Barham Specific Plan Area shall be responsible for the enforcement of private property and open space easement requirements pursuant to standards identified herein as well as any covenants, conditions, and restrictions (CC&R's) developed separately from this Plan.

## **7.2. Project Processing**

In addition to this Specific Plan, the City of San Marcos is concurrently processing a General Plan Amendment, Multi-Family Site Development Plan, Grading Variance, Tentative Subdivision Map, Conditional Use Permit and a Rezone. Any future development projects within the Specific Plan Area may be subject to further review and subsequent discretionary permits and approval from the City of San Marcos Development Services Department. Examples of subsequent approvals include site plans, final maps, grading plans, improvement plans, and building permits. Application(s), fee, and processing requirements shall be in accordance with the City's regulations, unless modified by this Plan. Project application(s) will be reviewed for consistency with the Hallmark-Barham Specific Plan and all pertinent development standards, design standards, and mitigation measures identified during the environmental review process, as well as other applicable conditions of approval adopted as part of this Specific Plan. Application(s) for subsequent development projects or public improvements and other activities will be reviewed by the Development Services Department using established procedures for consistency with this Plan. Review and analysis of subsequent project permit(s) may trigger additional conditions the City determines to be reasonably necessary to ensure the project application(s) and or plans achieve compliance with this Specific Plan. Procedures to amend the Hallmark-Barham Specific Plan are detailed in Section 7.4 below, should the applicant or City staff determine changes in the project area would trigger an amendment to this Specific Plan in order to remain compliant with the adopted Specific Plan/General Plan.

Project processing regulations described within this Plan apply to all development proposed within the Hallmark-Barham Specific Plan Area. The following items described address only the entitlements the City of San Marcos has the authority to grant and shall be processed to complete the development of the Hallmark-Barham Specific Plan Area:

**General Plan Amendment**

A General Plan Amendment is necessary to rezone parcel 228-310-01 within the city from Mixed Use 3 (MU-3) to Specific Plan Area (SPA). The rezone from Mixed Use 3 (MU-3) to Specific Plan Area will allow this Specific Plan to provide rules and regulations for a residential development. The project as planned will be consistent with other multi-family residential densities within the City of San Marcos. Once the zoning is changed to SPA, the Hallmark-Barham Specific Plan Area will be consistent with, and able to implement, the goals and policies of the San Marcos General Plan.

**Multi-Family Site Development Plan**

The Multi-Family Site Development Plan ensures the development of multi-family structures conserve the value of adjacent properties by respecting adjacent design standards and aesthetics. Multi-Family Site Development Plans ensure architectural design, setbacks, heights and stories, open space, parking requirements, utilities, and trash enclosures conform with the Specific Plan criteria and the City's adopted design Manuals and guidelines.

**Rezone**

A rezone will be required to change parcel 228-310-01 within the city from Mixed Use 3 (MU-3) to Specific Plan (SPA).

**Specific Plan**

A Specific Plan Area is required to develop the site as a multi-family residential development as described in this Specific Plan. A Specific Plan is required to be reviewed and approved as part of the Multi-Family Site Development Plan application. The Specific Plan establishes the development rules and regulations of all land uses within the Plan area boundary. Upon adoption of the Specific Plan by the San Marcos City Council, all development within the Plan area must conform to the regulations of the Plan and all other entitlements required for this project.

**Conditional Use Permit**

A Conditional Use Permit is included with the entitlement of the proposed project for potential use of a rock crusher on site.

**7.2.1. Environmental Review**

Each subsequent development project requiring discretionary approval shall be reviewed to ensure consistency and compliance with the California Environmental Quality Act (CEQA) Guidelines 15162(c). The Environmental Impact Report (EIR) shall be certified concurrently with the Hallmark-Barham Specific Plan and shall serve as the primary environmental document for all subsequent discretionary entitlements within the Plan area. Each discretionary development application shall be reviewed on a project-by-project basis to determine consistency with the certified EIR. Subsequent administrative approvals are not subject to CEQA review, because they do not trigger the exercise of the City's discretionary powers (CEQA Guidelines 15060[c] [1]). Projects which are not fully consistent with the Specific Plan will require additional analysis for only those factors which create potential

impacts. Additional analysis will be performed through the analysis methods described in Section 7.2.1.1.

**7.2.1.1. Options for Further CEQA Review of Subsequent Discretionary Approvals**

Subsequent determinations of the level of environmental review for discretionary approvals will be determined by the City of San Marcos in accordance with CEQA.

**7.2.2. Substantial Conformance and Specific Plan Amendment**

**Substantial Conformance**

Changes in housing market trends and the economy may necessitate slight modifications to the Specific Plan Area, thereby prompting minor modifications to the Specific Plan Area. California Government Code 65452 grants the City of San Marcos the authority to make minor modifications to the Specific Plan to account for market force changes, either administratively through the Planning Manager's review or through the Planning Commission. The applicant may submit an application to the City of San Marcos' Development Services Department, which may include maps, text, and or technical studies describing the nature and intent of minor modifications. Upon submittal, the Planning Manager will make a determination as to the applicability of the Substantial Conformance. The Planning Manager may delegate his/her administrative decision to the Planning Commission and conversely the applicant may apply to the Planning Commission for administrative decision. Modifications of the following items are deemed consistent with the General Plan and Specific Plan:

- **Multi-Family Site Development Plan** – Changes to the site development plan such as but not limited to plotting and elevations will be considered administrative level changes and may be reviewed under the minor modification process.
- **Architectural Styles** – Section 2.2.4 includes the guidelines for architectural design and community features;
- **Walls and Fencing** – Section 2.3.2 provides guidance for the design and styles of walls and fencing;
- **Landscaping** – Refer to Section 2.3 for all landscaping guidelines and a list of suitable plants for the Hallmark-Barham Specific Plan Area;
- Final facility sizing and alignment for water, sewer, and storm drain improvements (with concurrence from the City Engineer);
- Removal of unnecessary utility infrastructure or design changes to utility infrastructure (with concurrence from the City Engineer);
- Final alignment, width, or grade of public or private streets within the Specific Plan Area as long as the design changes are within general conformance with the Specific Plan and the exhibits herein;
- Changes in landscaping materials or location, wall materials or locations, entry design, fencing, signage, gates, lighting and streetscape design so long as the design changes are consistent with the conceptual landscape design guidelines for the Specific Plan;
- Minor architectural changes in relation to design materials;

- Addition or relocation of accessory structures (i.e. recreational buildings, play structures, etc. including a pool amenity within the primary recreation area) as long as the relocation conforms to the approved development standards;
- Changes to design guidelines the Planning Manager determines to be of superior design aesthetic;
- Minor changes that modify or realign lot lines, pad levels, grading line adjustments, or changes to overall grading quantities within the Plan area (with concurrence from the City Engineer);
- Changes in the location or size of private parks or recreational areas so long as the minimum park space is provided in accordance with this document (with concurrence from the Community Services and Planning Manager);
- As long as the change does not create a net increase of the Specific Plan's total peak hour Vehicle Miles Travelled (VMT) identified in the Hallmark-Barham Specific Plan's EIR, any change that: (1) expands or contracts the geographic area of a planning area within the outer boundaries of the Specific Plan; (2) changes land uses, including density and intensity changes, height and setback changes, or substitution of uses (as long as the use and development standards are allowed within the respective planning area); (3) change in housing type (e.g. multi-family units to duplexes), so long as the housing type is allowed; (4) decreases the total number of units, so long as the density is within the acceptable range presented within the Specific Plan; or (5) changes the sequencing or thresholds for development phasing;
- Changes necessary to comply with final conditions of approval in City issued permits, regulations, and approvals issued by other agencies with jurisdiction over the project;
- Minor changes to planning area boundaries provided that the total acreage of the affected planning area does not increase or decrease by more than 10%;
- Revisions to the number of dwelling units within a planning area provided that the total number of units within the Specific Plan Area as a whole does not exceed the maximum number of units allowed by the Specific Plan and the maximum density allowed in any given planning area is not exceeded;
- Changes initiated from amendments to permits from other agencies with jurisdiction over the project, which are deemed minor modifications under the other agencies' rules and regulations governing such approvals;

Substantial Conformance is a necessary tool the City can use to help develop the Specific Plan Area. The conceptual land use plan and general guidelines and regulations set forth in this Specific Plan require a modification process to allow minor design changes to conform to the intent of the Specific Plan. The land uses and development yield identified herein have been carefully analyzed in the EIR. The results of the EIR analysis and subsequent mitigation requirements are valid for minor modifications to the land uses and development yields which result in equal to or a reduction in vehicular miles travelled during peak-hour travel times. Minor adjustments, including substitutions and density changes, therefore are allowable under this Specific Plan as Substantial Conformance, provided they do not result in an increase in vehicle miles travelled for peak-hour travel times. Proposed development projects within the Specific Plan Area, which exceed the VMT generation thresholds identified in the EIR, may still

be processed as Substantial Conformance, so long as no new mitigation measures are required to offset any potential increase in traffic impacts. Similarly, any change that does not create new significant unmitigated environmental impacts that would require a subsequent or supplemental Environmental Impact Report pursuant to Public Resources Code Section 21166, changes that do not violate any applicable public safety and health standards as applied to each line item herein, and any other minor modifications, similar to those listed above and deemed minor by the Planning Manager, which are in keeping with the intent of the Specific Plan would be considered as Substantial Conformance. A revision to the Plan will not be considered minor if the revision causes an impact for the adjacent property or property owner that is determined to surpass the level of significance as determined by city guidelines for each studied environmental subject as described in the Final EIR, and as determined by the Planning Manager.

#### **Other Revisions**

Should the Planning Manager for the City of San Marcos determine a proposed revision does not meet the criteria from the above-listed minor modification guidelines, then a Revised Tentative Tract Map, Plot Plan, and/or a modification to the Site Plan, whichever is determined to be appropriate by the Planning Manager, can be processed without concurrently processing a formal amendment to the Specific Plan. The Planning Manager shall determine the applicable process by referencing the procedures stated herein with the Subdivision Ordinance or Zoning Ordinance.

#### **Formal Amendments**

If no minor modification mechanism can be applied from the defined parameters listed previously in this chapter or as determined by the Planning Manager, a formal amendment to the Specific Plan shall be required. California Government Code, Section 65453 allows for discretionary Specific Plan Amendment procedures and regulations and allows for the amendment approval by the Planning Commission and City Council of the City of San Marcos. The City of San Marcos shall process all formal Specific Plan Amendments with additional environmental review unless the proposed changes do not warrant additional environmental review in accordance with the “**Options for Further CEQA Review of Subsequent Discretionary Approvals**” as described in Section 7.2.1.1.