

ALVAREZ FARMS LLC

COMMERCIAL CANNABIS SITE PLAN

12990 SPRUCE GROVE ROAD
LOWER LAKE, CA 95457
APN: 012-067-40

Project Information

OWNER: EDDIE ALVAREZ
760 SEBASTOPOL ROAD
SANTA ROSA, CA 95407
EDDIEATOTHEZ@GMAIL.COM
(707) 393-7026

CONSULTANT: KYLE GEITNER, PRINCIPAL
CONSULTANT
WINDSOR RIVER ROAD
WINDSOR, CA 95492
(707) 293-4224

PROJECT ADDRESS: 12990 SPRUCE GROVE ROAD
LOWER LAKE, CA 95457

PARCEL AREA : 65 ACRES

Abbreviations

AB	AGGREGATE BASE	F.F.	FINISHED FLOOR
AC	ASPHALT CONCRETE	F.G.	FINISHED GRADE
APN	ASSESSOR'S PARCEL NUMBER	F.L.	FLOW LINE
B.C.	BEGIN HORIZONTAL CURVE	HP	HIGH POINT
BSL	BUILDING SETBACK LINE	INV.	INVERT
BW	BOTTOM OF WALL	L.F.	LINEAR FEET
BLDG	FINISH GRADE BUILDING	MAX.	MAXIMUM
C.L.	CENTERLINE	MIN.	MINIMUM
CL	CLASS	N.T.S.	NOT TO SCALE
C.P.P.	CORRUGATED PLASTIC PIPE	PL	PROPERTY LINE
CONC.	CONCRETE	R.C.	RELATIVE COMPACTION
C.Y.	CUBIC YARD	R/W	RIGHT-OF-WAY
DI	DROP INLET	S	SLOPE
DJA	DIAMETER	S.C.	SPIRAL CURVE
DL	DAYLIGHT	S.G.	SUBGRADE
E.C.	END HORIZONTAL CURVE	STA.	STATION
E.G.	EXISTING GROUND	TW	TOP OF WALL
E.P.	EDGE OF PAVEMENT	TYP.	TYPICAL
EX.	EXISTING	V.C.	VERTICAL CURVE

Linetype Legend

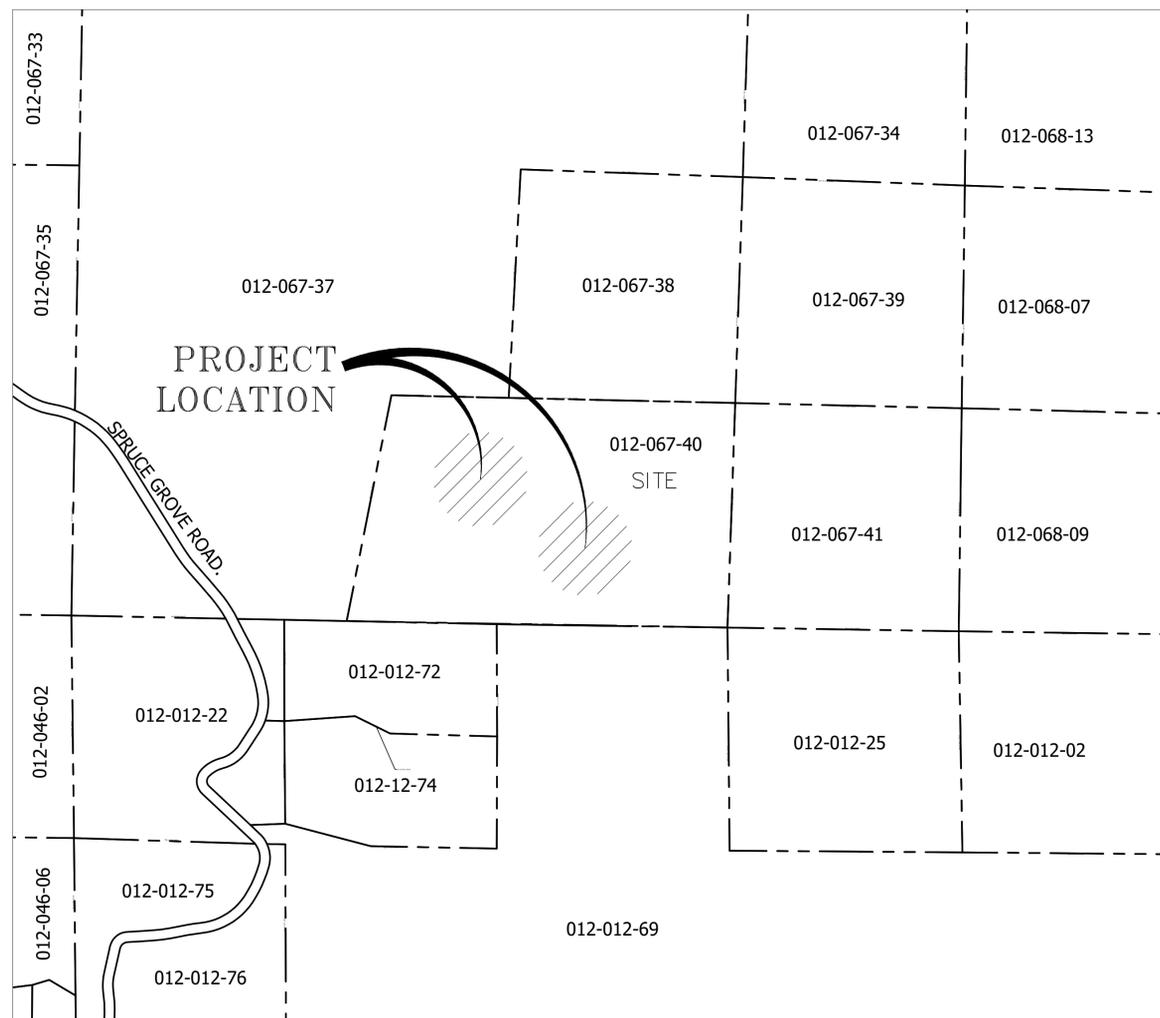
---	LIMITS OF WORK
----	GRADING CONFORM
----	SUBDRAIN
----	EX EDGE OF PAVEMENT
-X-X-	EX FENCE
----	PROPOSED DRAIN PIPE
----	PROPERTY LINE
----	EX PROPERTY LINE
====	RETAINING WALL
----	DRAINAGE SWALE
----	ELECTRICAL
-X-	FENCE
----	GREASE WASTE
----	WATER LINE
----	SANITARY SEWER
----	FIRE LINE
----	FIBER ROLL
-X-	TREE TO BE REMOVED
---	POINT OF COORDINATION
---	PIPE CAP
---	HYDRANT

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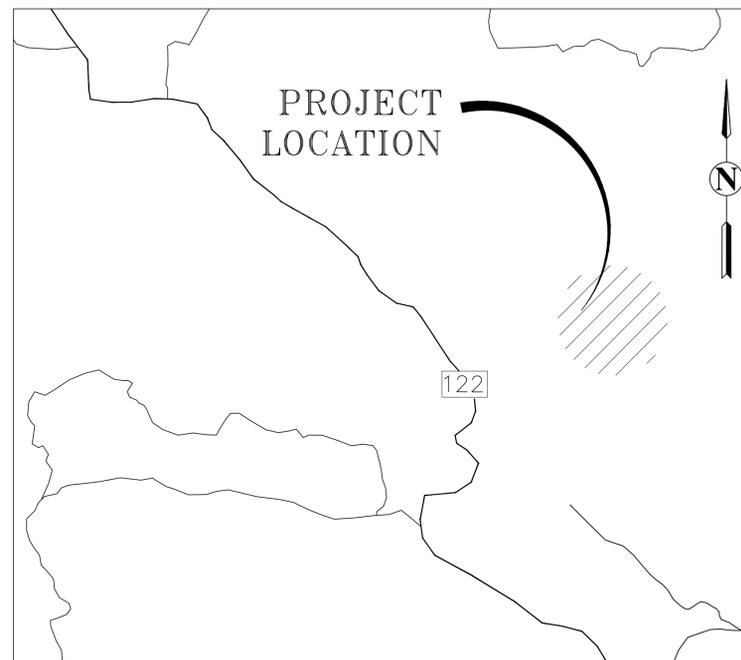
- 1.0 COVER SHEET
- 2.0 PROPERTY DIAGRAM
- 3.0 PREMISES DIAGRAM

Purpose

THE PURPOSE OF THIS PLAN SET IS TO PROVIDE SUPPORT IN OBTAINING A COMMERCIAL CANNABIS USE PERMIT FOR 3 ACRES OF OUTDOOR CANNABIS CULTIVATION AND 500 SQUARE FEET OF INDOOR CULTIVATION IN THE COUNTY OF LAKE.



Assessor's Parcel Map
NTS



Location Map
NTS



- NOTES:**
- PROPERTY LINES, EASEMENTS, AND TOPOGRAPHIC INFORMATION IS APPROXIMATE AND OBTAINED FROM PUBLICLY AVAILABLE INFORMATION. THERE ARE NO PUBLIC OR PRIVATE SCHOOLS FOR GRADES 1 THROUGH 12, DEVELOPED PARK CONTAINING PLAYGROUND EQUIPMENT, DRUG OR ALCOHOL REHABILITATION FACILITY, LICENSED CHILD CARE FACILITY OR NURSERY SCHOOL, OR CHURCH OR YOUTH-ORIENTED FACILITY CATERING TO OR PROVIDING SERVICES PRIMARILY INTENDED FOR MINORS WITHIN 1,250 FEET OF THE PROPERTY.
 - FOR PARCEL BOUNDARIES, ADJACENT PARCEL BOUNDARIES, AND LOCATION MAP SEE SHEET 1.0.
 - WATERCOURSE LINETYPE THICKNESS TO DELINEATE THE TOP OF BANK.
 - BASED ON PUBLICLY AVAILABLE DATA THERE ARE NO FAULT ZONES ON THE SUBJECT PROPERTY.
 - ALL ROADWAY SLOPES SHOWN WITHIN THIS PLAN SET ARE LESS THAN 16%. ROADWAY SLOPES EXCEEDING 16% ARE NOT ALLOWED BY COVERING JURISDICTION AND ALL FUTURE ROAD IMPROVEMENTS ON-SITE SHALL COMPLY WITH THE SUBJECT PROPERTY.
 - ALL PROPOSED WATER TANKS INTENDED FOR FIRE SUPPRESSION WATER STORAGE SHALL BE STEEL OR FIBERGLASS. ANY EXISTING WATER TANKS INTENDED FOR FIRE SUPPRESSION WATER STORAGE THAT CONSIST OF MATERIAL OTHER THAN STEEL OR FIBERGLASS SHALL BE REPLACED WITH A STEEL OR FIBERGLASS TANK.
 - ALL ROADWAYS SHALL BE IMPROVED TO MEET STATE, FEDERAL, AND LOCAL FIRE JURISDICTIONS' REQUIREMENTS AT THE TIME PERMITS ARE OBTAINED FOR SUCH IMPROVEMENTS.
 - ALL STRUCTURES SHALL HAVE 100' OF DEFENSIBLE SPACE. DEFENSIBLE SPACE SHALL BE AS DEFINED IN STATE, FEDERAL, AND LOCAL FIRE JURISDICTIONS' REQUIREMENTS. STRUCTURES AND/OR LOCATIONS WHICH STORE HAZARDOUS, FLAMMABLE, OR DANGEROUS MATERIAL SHALL ESTABLISH AND MAINTAIN A MINIMUM 300' VEGETATION FUELS REDUCTION BUFFER.

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CLIENT: EDDIE ALVAREZ	
CONSULTANT: KYLE GEITNER, PRINCIPAL CONSULTANT	
DATE: 8/5/2020	DRAWN: ANR
JOB #: 20-001	SCALE: AS SHOWN
REVISION:	CHECKED: KJG

SHEET TITLE: COVER SHEET	
SHEET: 1.0	1 OF 3



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 Plotted by AR
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 Alvarez Farms\CAD\Planning\20-001 - 12290 Spruce Grove Road - Alvarez Farms\CAD\Planning\20-001_RPD Diagram.dwg

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 2. DEVELOPED PARK CONTAINING PLAYGROUND EQUIPMENT, DRUG OR ALCOHOL REHABILITATION FACILITY, LICENSED CHILD CARE FACILITY OR NURSERY SCHOOL, OR CHURCH OR YOUTH-ORIENTED FACILITY CATERING TO OR PROVIDING SERVICES PRIMARILY INTENDED FOR MINORS WITHIN 1,250 FEET OF THE PROPERTY.
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 7. ALL PROPOSED WATER TANKS INTENDED FOR FIRE SUPPRESSION WATER STORAGE SHALL BE STEEL OR FIBERGLASS. ANY EXISTING WATER TANKS INTENDED FOR FIRE SUPPRESSION WATER STORAGE THAT CONSIST OF MATERIAL OTHER THAN STEEL OR FIBERGLASS SHALL BE REPLACED WITH A STEEL OR FIBERGLASS TANK.
 8. STRAW WATTLES SHALL BE PLACED AROUND CULTIVATION AREAS TO PREVENT STORMWATER RUNOFF.
 9. THE ENTIRE CULTIVATION SITE SHALL BE SEEDED TO STABILIZE THE SOIL.
 10. EXISTING ACCESS GATE SHALL BE RELOCATED TO BE AT LEAST 30' FROM THE ROADWAY UNLESS THE CURRENT ACCESS GATE LOCATION IS AT LEAST 30' FROM THE ROADWAY. EXISTING ACCESS GATE SHALL BE REPLACED WITH A NEW GATE THAT HAS A MINIMUM WIDTH OF 14'. UNLESS THE EXISTING ACCESS GATE HAS A MINIMUM 14' WIDE UNOBSTRUCTED OPENING.

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PREMISES DIAGRAM

SHEET:
3.0
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